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Change Memorandum

Padis Residence Viewshed P24-00207-VIEW
Zoning Administrator Hearing Date (January 22, 2025)



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Planning, Building & Environmental Services

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Brian D. Bordona
Director

To: Zoning Administrator	From: Andrew Amelung, Planner II
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Date: January 22, 2025	Re: P24-00207 Padis Residence Viewshed Correction Memorandum 3023 Dry Creek Road, Napa, 94558 APN: 035-470-044-000
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The purpose of this memorandum is to address clerical errors that exist within the submitted hearing documents, including the attachment coversheets, the CEQA Exemption Memorandum, and the Recommended Conditions of Approval. Corrections have been made and changes are reflected in the redline revisions included with this memorandum.

Should the Zoning Administrator decide to approve the applicant's proposal, be advised that approval will be based on the Conditions of Approval and project documents as amended in Attachment F.

TO: NAPA COUNTY ZONING ADMINISTRATOR
FROM: Michael Parker – Planning Division Manager
REPORT BY: Andrew Amelung - Planner II
SUBJECT: Padis Residence Viewshed Protection Program P24-00207-VIEW

RECOMMENDATION

P24-00207-VIEW

PADIS RESIDENCE VIEWSHED PROTECTION PROGRAM / PERMIT NO. ~~P24-00702-VIEW~~

CEQA status: It has been determined that this type of project is exempt from the California Environmental Quality Act. [See Class 1 ("Existing Facilities") and Class 2 ("Replacement or Reconstruction") which may be found in the guidelines for the implementation of the California Environmental Quality Act at 14 CCR §15301 & §15302; see also Napa County's Local Procedures for Implementing the California Environmental Quality Act, Appendix B.]

Request: Review and approval of an application under the Viewshed Protection Program, as defined in Chapter 18.108 of the Napa County Code, for the reconstruction and expansion of an existing residence within view of Dry Creek Road, a County designated viewshed road. The proposed structure is 6,750 square feet and includes the addition of a 1,370 square-foot second floor, as well as a landscape plan that will screen 61 percent of the proposed structure from view. The project is located on an approximately 12.68-acre parcel within the Agricultural Watershed (AW) Zoning District and has a General Plan designation of Agriculture, Watershed and Open Space (AWOS). 3023 Dry Creek Road, Napa, CA 94558. APN: 035-470-044-000.

Staff Recommendation: Find the project categorically exempt from CEQA and approve the Viewshed Protection Permit, as conditioned.

Staff Contact: Andrew Amelung, Planner II, 1195 Third St, Suite 210, Napa, CA 94559; (707) 253-4307; andrew.amelung@countyofnapa.org

Applicant Contact: Steve & Judith Padis, 888 Brannan St. Unit 128, San Francisco, CA 94103, (415) 515-6411, or padis@pacbell.net

EXECUTIVE SUMMARY

PROPOSED ACTIONS:

That the Zoning Administrator:

1. Find the project categorically exempt based on the recommended Findings 1-3 in Attachment A;
2. Approve Viewshed Protection Program Application No. P24-207-VIEW, based on recommended Findings 4-10 in Attachment A, and subject to the recommended Conditions of Approval in Attachment B; or

Discussion:

The project consists of a request to approve a Viewshed Protection Program application to reconstruct and expand an existing single-family residential structure that was significantly damaged in a structure fire. The proposed new structure is 6,750 square feet and includes a 1,370 square-foot second floor that was not part of the previously existing structure. A 981 square-foot attached accessory dwelling unit exists in the basement and was undamaged by the structure fire.

The structure sits just over 1,500 feet from Dry Creek Road, a County designated viewshed road, and is elevated approximately 145 feet above the road, making it quite visible within the scenic corridor. As such, the applicant has proposed a landscape plan that will screen approximately 61 percent of the proposed structure through a combination of existing vegetation that survived the structure fire as well as the installation of three coastal live oaks, four swan hill olive trees, and 13 purple-leaved hopseed bushes.

ENVIRONMENTAL IMPACT

ENVIRONMENTAL DETERMINATION: It has been determined that this type of project does not have a significant effect on the environment and is exempt from the California Environmental Quality Act. [See Class 1 ("Existing Facilities") and Class 2 ("Replacement or Reconstruction") which may be found in the guidelines for the implementation of the California Environmental Quality Act at 14 CCR §15301 & §15302; see also Napa County's Local Procedures for Implementing the California Environmental Quality Act, Appendix B.]

BACKGROUND AND DISCUSSION

Owner: Steve & Judith Padis

Applicant: Steve & Judith Padis

Zoning: AW (Agricultural Watershed)

General Plan Designation: AWOS (Agricultural, Watershed, and Open Space)

Filed: August 20, 2024

Complete: October 30, 2024

Property Area: 12.68 Acres

Surrounding Uses:

North:	AW Zoning District; AWOS General Plan Designation; Vinyards & Residence
East:	AP Zoning District; AR General Plan Designation; Vinyards & Residence
South:	AW Zoning District; AWOS General Plan Designation; Vinyards & Residence
West:	AW Zoning District; AWOS General Plan Designation; Vinyards & Residence

Existing Development: 5,208 square-foot residence, damaged by structure fire; accessory structures, landscaping and vineyards

Proposed Structural Development: 6,750 square-foot residence; 1,227 square-foot garage

Code Compliance History: The applicant initially submitted plans for a building permit to construct an ADU on the property, which was ultimately withdrawn in June 2024. During the same period, the applicant submitted plans for a demolition permit to clear out the damaged part of the structure prior to reconstruction, however at that point they had not submitted new plans to replace the structure. As PBES staff worked with the applicant and their architects, it was determined that a viewshed protection program permit would be required, and Code Enforcement decided to conduct an inspection of the property. Following their inspection, a citation was issued (CE24-00161) for unpermitted electrical improvements for pool equipment as well as a temporary trailer with unpermitted electrical and plumbing connection. The Code Enforcement case addresses issues that are not included within this permit, can be addressed separately, and Code Enforcement staff is currently working with the applicant to correct the violations.

Existing Development:

The parcel includes a single-family residence that was constructed in 1995 (B56231) adjacent to an existing vineyard. In 2006 a permit was issued for the construction of an underground storage system (B06-00248), and in 2008 a permit was issued for the construction of a pool (B08-00524). An Erosion Control Plan for an additional 2.06 acres of vineyard block was approved in 2009 (P09-00340). A home occupancy administrative permit was issued in 2011 (P11-00046), and in 2024 a permit was issued for a temporary 200 amp power pole following the structure fire that damaged the existing structure.

Viewshed Protection Program:

According to NCC §18.106.010(A), a primary purpose of the Napa County Viewshed Protection Program is to provide hillside development standards to minimize the impact of man-made structures and grading on views of existing landforms, unique geologic features, existing landscape features and open space as seen from designated public roads within the county. These standards include the protection of “substantial views” where fifty-one percent or more of the area facing the designated viewshed road can be seen, while NCC §18.106.030(A) states that the Viewshed Protection Program shall apply to all new structures located on slopes of fifteen percent. As such, the proposed project is located on slopes between 15-30 percent, with nearly 100 percent visibility from certain sections of Dry Creek Road, a County designated viewshed road.

According to NCC §18.106.040, in order to qualify for administrative review for the Viewshed Protection Program, the maximum floor area, including all floors, of the main residence or agricultural structure is four thousand square feet or less and the maximum floor area, including all floors, for accessory structures are a combined total of two thousand five hundred square feet or less. The proposed structure has a total square footage of 6,750 square feet, and as such, is not subject to administrative review and requires Zoning Administrator approval as applied through NCC §18.106.050, within findings for approval that support these requirements found in Attachment A.

Public Comments

At the time this staff report was completed no public comments have been received.

Decision Making Options:

As noted in the Executive Summary Section above, staff is recommending the Zoning Administrator support the project as summarized in Option 1, below. Decision making options include the following:

Option 1 – Approve the Applicant’s Proposal (Staff Recommendation)

Disposition – This action will result in approval of the Viewshed Protection Program Permit for the Padis Residence. Staff recommends this option as, with approval, the request is consistent with all other aspects of the Zoning Ordinance including allowable use, development standards and required setbacks, as well as applicable General Plan policies and other County regulations as presented in the Recommended Findings (Attachment A).

Action Required – Follow the proposed action listed in the Executive Summary. This option has been analyzed for its environmental impacts, and the project was found to be categorically exempt from CEQA.

Option 2 - Modify the Applicant's Proposal

Disposition - This option will result in the modification of the applicant's proposal and/or conditions of approval.

Action Required - Make recommendations for an amended scope and or applicable conditions of approval. The item will need to be continued to a future date if significant revisions to the project scope and recommended conditions of approval are desired.

Option 3 – Deny the Applicant's Proposal

Disposition – This option will result in the denial of Viewshed Protection Program Application No. P24-00207-VIEW because it cannot satisfy one or more of the required findings.

Action Required – Zoning Administrator will take tentative action to deny the project, articulating the reasons and grounds for the denial, and remand the matter to staff for preparation of required findings to return to the Zoning Administrator on a specific date.

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. CEQA Exemption Memo
- D. Application Packet
- E. Site Plans & Landscape Plan
- F. Graphics
- G. Public Comments

“A”

Recommended Findings

Padis Residence Viewshed P24-00207-VIEW
~~Solar Pavilion Variance P24-00122-VAR~~
Zoning Administrator Hearing Date (January 22, 2025)

ZONING ADMINISTRATOR HEARING – JANUARY 22, 2025
RECOMMENDED FINDINGS

PADIS RESIDENCE VIEWSHED PROTECTION PROGRAM
P24-00207-VIEW
3023 DRY CREEK ROAD, NAPA 94558
APN: 035-470-044-000

ENVIRONMENTAL:

The Zoning Administrator has received and reviewed the Categorical Exemption Determination pursuant to the provisions of the California Environmental Quality Act (CEQA) and of Napa County's Local Procedures for Implementing CEQA, and finds that:

1. The project is categorically exempt from CEQA under Section 15301 (Class 1 Existing Facilities) and Section 15302 (Class 2 Replacement or Reconstruction).
2. The site of this proposed project is not on any of the lists of hazardous waste sites enumerated under Government Code Section 65962.5 and is not within the boundaries of any airport land use plan.
3. The Planning, Building and Environmental Services Director is the custodian of the records of the proceedings on which this decision is based. The records are located at the Napa County Planning, Building & Environmental Services Department, 1195 Third Street, Second Floor, Napa, California.

VIEWSHED PROTECTION PROGRAM FINDINGS:

The following findings must be made in order for the Zoning Administrator to approve a project applicable to the Viewshed Protection Program pursuant to Napa County Code (NCC) Section 18.106.050(B):

4. The project as designed or modified is consistent with Chapter 18.108 of the code;

Analysis: The project as proposed does not encroach on any stream setbacks, is not located on excessively steep slopes, and does not involve the removal of trees or natural habitat, and as such is consistent with the Napa County Conservation Regulations as described in NCC 18.108.

5. If the highest point of the proposed project is located more than twenty-five vertical feet below a major or minor ridgeline, that measures have been included in the project to reduce its visual impact on the major or minor ridgeline through use of existing natural vegetation, landscaping, topographical siting, architectural design, and colortone; or if the highest point of the proposed structure is within twenty-five vertical feet of a major or minor ridgeline, that the existing vegetation, proposed landscaping, topographical siting

architectural design, and colortone screen the predominant portion of the proposed structure;

Analysis: The proposed structure is located approximately 130 feet below the unidentified ridgeline above the proposed residence.

6. The proposed structure, access roads and other site improvements are sited and designed to minimize adverse effects on views from designated public roads;

Analysis: The proposed structure qualifies as a reconstruction and alteration of an existing residence that burned in a structure fire and does not qualify as part of Napa's County Disaster Recovery Viewshed Protection Program. The previously existing structure was built prior to the County's viewshed requirements and was prominently visible from Dry Creek Road, a County designated viewshed road. With the incorporation of the submitted landscape plan designed for vegetative screening of more than 50 percent of the proposed structure, the design will minimize adverse effects on views from designated public roads.

7. The proposed structure, access road and other site improvements, including earthmoving or grading, and benches or shelves minimize the removal of vegetation;

Analysis: The proposed structure does not involve the removal of vegetation.

8. The siting and design of site improvements and access roads minimize grading and alteration of natural landforms and topography;

Analysis: The siting and design of site improvements do not involve significant grading nor alteration of natural landforms and topography. The foundation of the original structure is still in tact and will be used for the proposed development without expansion of the existing footprint.

9. A landscape and/or vegetation retention plan in conformance with the Design Manual has been submitted and approved for the site that would provide maximum screening from designated public roads through preservation of existing vegetation and the planting of new vegetation and provide for defensible space in conformance with state law;

Analysis: A landscape plan has been submitted that, through the installation of three coastal live oaks, four swan hill olive trees, and 13 purple-leaved hopseed bushes, along with existing vegetation, screens approximately 61 percent of the proposed structure.

10. The proposed structure and associated improvements substantially conform with the Design Manual in order to reduce their visual impact on the views of major and minor ridgelines as viewed from any designated public road and unique topographic features as viewed from any county road. The following landforms will be considered to be unique topographic or

Recommended Findings

Padis Residence – Viewshed Protection Program

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geologic features for the purposes of this subsection: Mt. St. Helena, Stag's Leap, Calistoga Palisades, Round Hill, Mt. George and Mt. St. John;

Analysis: The proposed structure is not within proximity to identified major or minor ridgelines as viewed from any designated public road nor does it present a visual impact of views of unique topographic features as viewed from any county road.

“B”

Recommended
Conditions of Approval

Padis Residence Viewshed - P24-00207-VIEW
Zoning Administrator Hearing Date (January 22, 2025)

RECOMMENDED CONDITIONS OF APPROVAL

**PADIS RESIDENCE VIEWSHED
ZONING ADMINISTRATOR HEARING – JANUARY 22, 2025
VIEWSHED PROTECTION PROGRAM APPLICATION
P24-00207-VIEW
3023 DRY CREEK ROAD
APN 035-470-044-000**

This Permit encompasses and shall be limited to the project commonly known as the **Padis Residence Viewshed, located 3023 Dry Creek Road, Napa, CA 94558**. Part I encompasses the Project Scope and general conditions pertaining to statutory and local code references, project monitoring and the process for any future changes or activities. Part II encompasses the ongoing conditions relevant to the operation of the project. Part III encompasses the conditions relevant to construction and the prerequisites for a Final Certificate of Occupancy. It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and the general public to ensure compliance is achieved.

Where conditions are not applicable or relevant to this project, they shall be noted as “Reserved” and, therefore, have been removed.

When modifying a legally established entitlement related to this project, these conditions are not intended to be retroactive or to have any effect on existing vested rights except where specifically indicated.

PART I

1.0 PROJECT SCOPE

This Permit encompasses and shall be limited to:

- 1.1 Approval of A Viewshed Protection Program Application, pursuant to Napa County Code Section 18.106 to address the construction of a residential structure, as shown on the plans dated on October 25, 2024.

The residence shall be designed in substantial conformance with the submitted site plan, elevation drawings, and other submittal materials and shall comply with all requirements of the Napa County Code (the County Code). It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and the general public to ensure compliance is achieved. Any expansion of or change in use or alternative locations for fire suppression or other types of water tanks shall be approved in accordance with the County Code and may be subject to the permit modification process.

2.0 STATUTORY AND CODE SECTION REFERENCES

All references to statutes and code sections shall refer to their successor as those sections or statutes may be subsequently amended from time to time.

3.0 MONITORING COSTS

All Staff costs associated with monitoring compliance with these conditions, previous permit conditions, and project revisions shall be borne by the permittee and/or property owner. Costs associated with conditions of approval and mitigation measures that require monitoring, including investigation of complaints, other than those costs related to investigation of complaints of non-compliance that are determined to be unfounded, shall be charged to the property owner or permittee. Costs shall be as established by resolution of the Board of Supervisors in accordance with the hourly consulting rate established at the time of the monitoring and shall include maintenance of a \$500 deposit for construction compliance monitoring that shall be retained until issuance of a Final Certificate of Occupancy. Violations of conditions of approval or mitigation measures caused by the permittee's contractors, employees, and/or guests are the responsibility of the permittee.

The ~~Planning Commission Zoning Administrator~~ may implement an audit program if compliance deficiencies are noted. If evidence of a compliance deficiency is found to exist by the ~~Planning Commission Zoning Administrator~~ at some time in the future, the ~~Planning Commission Zoning Administrator~~ may institute the program at the permittee's expense (including requiring a deposit of funds in an amount determined by the ~~Commission Zoning Administrator~~) as needed until compliance assurance is achieved. The ~~Planning Commission Zoning Administrator~~ may also use the data, if so warranted, to commence revocation proceedings in accordance with the County Code.

PART II

4.0 OPERATIONAL CHARACTERISTICS OF THE PROJECT

Permittee shall comply with the following during operation of the project:

- 4.1 GROUND WATER MANAGEMENT – WELLS **[RESERVED]**
- 4.2 AMPLIFIED MUSIC **[RESERVED]**
- 4.3 TRAFFIC **[RESERVED]**
- 4.4 PARKING **[RESERVED]**
- 4.5 BUILDING DIVISION – USE OR OCCUPANCY CHANGES **[RESERVED]**
- 4.6 FIRE DEPARTMENT – TEMPORARY STRUCTURES **[RESERVED]**
- 4.7 NAPA COUNTY MOSQUITO ABATEMENT PROGRAM **[RESERVED]**
- 4.8 GENERAL PROPERTY MAINTENANCE – LIGHTING, LANDSCAPING, PAINTING, OUTDOOR EQUIPMENT STORAGE, MECHANICAL EQUIPMENT, AND TRASH ENCLOSURE AREAS
 - a. All lighting shall be permanently maintained in accordance with the lighting and building plans approved by the County.

- b. All landscaping shall be permanently maintained in accordance with the landscaping approved by the County.
- c. **[RESERVED]**
- d. The colors used for the roof, exterior walls and built landscaping features of the project shall be limited to earth tones that will blend the facility into the colors of the surrounding site-specific vegetation. The permittee shall obtain the written approval of the Planning Division prior to any change in paint color that differs from the approved building permit. Highly reflective surfaces are prohibited.
- e. **[RESERVED]**

4.9 NO TEMPORARY SIGNS
Temporary off-site signage, such as "A-Frame" signs are prohibited.

4.10 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES - OPERATIONAL CONDITIONS **[RESERVED]**

~~The attached project conditions of approval include all of the following County Divisions, Departments and Agencies' requirements. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:~~

- a. ~~Engineering Services Division operational conditions as stated in their Memorandum dated April 1, 2021.~~

~~The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify this permit.~~

4.11 OPERATIONAL MITIGATION MEASURES **[RESERVED]**

4.12 OTHER CONDITIONS APPLICABLE TO THE OPERATIONAL ASPECTS OF THE PROJECT **[RESERVED]**

4.13 PREVIOUS CONDITIONS **[RESERVED]**

PART III

5.0 PREREQUISITE FOR ISSUANCE OF PERMITS

5.1 PAYMENT OF FEES

Recommended Conditions of Approval
Padis Residence – Viewshed Protection Program
~~P24-00702 VIEW~~ **P24-00207-VIEW**

No building, grading or sewage disposal permits shall be issued or other permits authorized until all accrued planning permit processing fees have been paid in full. This includes all fees associated with plan check and building inspections, associated development impact fees established by County Ordinance or Resolution, and the Napa County Affordable Housing Mitigation Fee in accordance with County Code.

6.0 GRADING/DEMOLITION/ENVIRONMENTAL/BUILDING PERMIT/OTHER PERMIT PREREQUISITES

Permittee shall comply with the following with the submittal of a grading, demolition environmental, building and/or other applicable permit applications:

6.1 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES - PLAN REVIEW, CONSTRUCTION AND PREOCCUPANCY CONDITIONS [RESERVED]

~~The attached project conditions of approval include all of the following County Divisions, Departments and Agencies' requirements. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:~~

- ~~a. Engineering Services Division plan review/construction/preoccupancy conditions as stated in their Memorandum dated April 1, 2021.~~

~~The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify the permit.~~

6.2 BUILDING DIVISION – GENERAL CONDITIONS

Please contact the Building Division with any questions regarding the following:

- a.** A building permit shall be obtained for all construction occurring on the site not otherwise exempt by the CBC or any State or local amendment adopted thereto.
- b.** If there are any existing structures and/or buildings on the property that will need to be removed to accommodate construction activities, a separate demolition permit shall be required from the Building Division prior to removal. The permittee shall provide a "J" number from the Bay Area Air Quality Management District (BAAQMD) at the time the permittee applies for a demolition permit if applicable.
- c. [RESERVED]**

1.3 LIGHTING – PLAN SUBMITTAL

- a.** Two (2) copies of a detailed lighting plan showing the location and specifications for all lighting fixtures to be installed on the property shall be submitted for Planning Division review and approval. All lighting shall comply with the CBC.
- b.** All exterior lighting, including landscape lighting, shall be shielded and directed downward; located as low to the ground as possible; the minimum necessary for

Recommended Conditions of Approval

Padis Residence – Viewshed Protection Program

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security, safety, or operations; on timers; and shall incorporate the use of motion detection sensors to the greatest extent practical. All lighting shall be shielded or placed such that it does not shine directly on adjacent properties or impact vehicles on adjacent streets. No flood-lighting or sodium lighting of the building is permitted, including architectural highlighting and spotting. Low-level lighting shall be utilized in parking areas as opposed to elevated high-intensity light standards.

6.4 LANDSCAPING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed final landscaping and irrigation plan, including parking details, shall be submitted with the building permit application package for the Planning Division's review and approval prior to the issuance of any building permit associated with this permit. The plan shall be prepared pursuant to the Water Efficient Landscape Ordinance (Chapter 18.118 of the County Code) requirements in effect at the time of building permit application submittal, as applicable, and shall indicate the names and locations of all plant materials to be used along with their method of maintenance.
- b. Plant materials shall be purchased locally when practical, and, to the greatest extent possible, the plant materials shall be the same native plants found in Napa County. The Agricultural Commissioner's office shall be notified of all impending deliveries of live plants with points of origin outside of Napa County.
- c. No trees greater than 6" diameter at breast height shall be removed, except for those identified on the submitted site plan. Any Oak trees removed as a result of the project shall be replaced at a 2:1 ratio and shown on the landscaping plans for the Planning Division's review and approval. Trees to be retained shall be protected during construction by fencing securely installed at the outer most dripline of the tree or trees. Such fencing shall be maintained throughout the duration of the work undertaken in connection with project development/construction. In no case shall construction material, debris or vehicles be stored in the fenced tree protection area.
- d. Evergreen screening shall be installed between the industrial portions of the operation (e.g., tanks, crushing area, parking area, etc.) and any off-site residence from which these areas can be viewed.
- e. **[RESERVED]**

6.5 COLORS

The colors used for the roof, exterior walls and built landscaping features of the project shall be limited to earth tones that will blend the facility into the colors of the surrounding site specific vegetation. The permittee shall obtain the written approval of the Planning Division in conjunction with building permit review and/or prior to painting the building. Highly reflective surfaces are prohibited.

6.6 OUTDOOR STORAGE/SCREENING/UTILITIES **[RESERVED]**

6.7 MECHANICAL EQUIPMENT **[RESERVED]**

Recommended Conditions of Approval

Padis Residence – Viewshed Protection Program

~~P24-00702 VIEW~~ **P24-00207-VIEW**

6.8 TRASH ENCLOSURES **[RESERVED]**

6.9 ADDRESSING

All project site addresses shall be determined by the PBES Director, and be reviewed and approved by the United States Post Office. The PBES Director reserves the right to issue or re-issue an appropriate situs address at the time of issuance of any building permit to ensure proper identification and sequencing of numbers. For multi-tenant or multiple structure projects, this includes building permits for later building modifications or tenant improvements.

6.10 HISTORIC RESOURCES **[RESERVED]**

6.11 DEMOLITION ACTIVITIES **[RESERVED]**

6.12 VIEWSHED – EXECUTION OF USE RESTRICTION

The property owner shall execute and record in the County Recorder's Office a use restriction, in a form approved by County Counsel, requiring that this residence shall be constructed in substantial compliance with the plans approved with this application dated October 25, 2024. To satisfy Viewshed Protection Program requirements, all existing trees and vegetation shall be maintained and shall not be removed in areas that screening is needed to ensure that substantial views of the residence are not visible from Dry Creek Road. Should any of the protected trees and vegetation be destroyed or require removal due to disease, said trees and vegetation shall be replaced in the same or equivalent size, or as approved by the Department. The required and associated plant materials installed for Viewshed Protection Program Application P24-00207 shall be maintained as long as needed to screen the proposed residential development, as determined by the Director. Any change in size, location or construction of the residence, or addition of any other new structure on the property, shall comply with applicable zoning, building and other ordinances, including additional review pursuant to the Viewshed Protection Program, prior to issuance of required building permits. All appropriate permits shall be secured and completed prior to any changes to the structures on or use of the property.

6.13 PERMIT PREREQUISITE MITIGATION MEASURES **[RESERVED]**

6.14 PARCEL CHANGE REQUIREMENTS **[RESERVED]**

6.15 FINAL MAPS **[RESERVED]**

6.16 OTHER CONDITIONS APPLICABLE TO THE PROJECT PERMITTING PROCESS **[RESERVED]**

7.0 PROJECT CONSTRUCTION

Permittee shall comply with the following during project construction:

7.1 SITE IMPROVEMENT

Please contact Engineering Services with any questions regarding the following:

a. **GRADING & SPOILS**

All grading and spoils generated by construction of the project facilities shall be managed per Engineering Services direction. Alternative locations for spoils are permitted, subject to review and approval by the PBES Director, when such alternative locations do not change the overall concept, and do not conflict with any environmental mitigation measures or conditions of approval.

b. **DUST CONTROL**

Water and/or dust palliatives shall be applied in sufficient quantities during grading and other ground disturbing activities on-site to minimize the amount of dust produced. Outdoor construction activities shall not occur when average wind speeds exceed 20 mph.

c. **AIR QUALITY**

During all construction activities the permittee shall comply with the most current version of BAAQMD Basic Construction Best Management Practices including but not limited to the following, as applicable:

1. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. The BAAQMD's phone number shall also be visible.
2. Water all exposed surfaces (e.g., parking areas, staging areas, soil piles, grading areas, and unpaved access roads) two times per day.
3. Cover all haul trucks transporting soil, sand, or other loose material off-site.
4. Remove all visible mud or dirt tracked onto adjacent public roads by using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
5. All vehicle speeds on unpaved roads shall be limited to 15 mph.
6. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
7. Idling times shall be minimized either by shutting off equipment when not in use or reducing the maximum idling time to five (5) minutes (as required State Regulations). Clear signage shall be provided for construction workers at all access points.
8. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator. Any portable engines greater than 50 horsepower or associated equipment operated within the BAAQMD's jurisdiction shall have either a California Air Resources Board

Recommended Conditions of Approval

Padis Residence – Viewshed Protection Program

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(ARB) registration Portable Equipment Registration Program (PERP) or a BAAQMD permit. For general information regarding the certified visible emissions evaluator or the registration program, visit the ARB FAQ http://www.arb.ca.gov/portable/perp/perpfaq_04-16-15.pdf or the PERP website <http://www.arb.ca.gov/portable/portable.htm>.

d. **STORM WATER CONTROL**

The permittee shall comply with all construction and post-construction storm water pollution prevention protocols as required by the County Engineering Services Division, and the State Regional Water Quality Control Board.

7.2 ARCHEOLOGICAL FINDING

In the event that archeological artifacts or human remains are discovered during construction, work shall cease in a 50-foot radius surrounding the area of discovery. The permittee shall contact the PBES Department for further guidance, which will likely include the requirement for the permittee to hire a qualified professional to analyze the artifacts encountered and to determine if additional measures are required.

If human remains are encountered during project development, all work in the vicinity must be halted, and the Napa County Coroner informed, so that the Coroner can determine if an investigation of the cause of death is required, and if the remains are of Native American origin. If the remains are of Native American origin, the permittee shall comply with the requirements of Public Resources Code Section 5097.98.

7.3 CONSTRUCTION NOISE

Construction noise shall be minimized to the greatest extent practical and feasible under State and local safety laws, consistent with construction noise levels permitted by the General Plan Community Character Element and the County Noise Ordinance. Construction equipment muffling and hours of operation shall be in compliance with the County Code. Equipment shall be shut down when not in use. Construction equipment shall be staged, loaded, and unloaded on the project site, if at all practicable. If project terrain or access road conditions require construction equipment to be staged, loaded, or unloaded off the project site (such as on a neighboring road or at the base of a hill), such activities only shall occur daily between the hours of 8:00 AM to 5:00 PM.

7.4 CONSTRUCTION MITIGATION MEASURES [RESERVED]

7.5 OTHER CONSTRUCTION CONDITIONS APPLICABLE TO THE PROJECT PROPOSAL [RESERVED]

8.0 TEMPORARY CERTIFICATE OF OCCUPANCY – PREREQUISITES [RESERVED]

9.0 FINAL CERTIFICATE OF OCCUPANCY – PREREQUISITES

Permittee shall comply with the following before a Final Certificate of Occupancy is granted by the County Building Official, which upon granting, authorizes all use permit activities to commence:

9.1 FINAL OCCUPANCY

All project improvements, including compliance with applicable codes, conditions, and requirements of all Departments and Agencies with jurisdiction over the project, shall be completed.

9.2 SIGNS

Detailed plans, including elevations, materials, color, and lighting for any project identification or directional signs shall be submitted to the Department for administrative review and approval prior to installation. Administrative review and approval is not required if the signage to be installed is consistent with signage plans submitted, reviewed and approved as part of this permit approval. All signs shall meet the design standards as set forth in the County Code. Any off-site signs allowed shall be in conformance with the County Code.

9.3 GATE/ENTRY STRUCTURES

Any gate installed at the project entrance shall be reviewed by the PBES Department and the Fire Department to assure that the design allows large vehicles, such as motorhomes, to turn around if the gate is closed without backing into the public roadway, and that fire suppression access is available at all times. If the gate is part of an entry structure an additional permit shall be required pursuant to the County Code and in accordance with the Napa County Roads and Street Standards. A separate entry structure permit is not required if the entry structure is consistent with entry structure plans submitted, reviewed, and approved as part of this permit approval.

9.4 LANDSCAPING

Landscaping shall be installed in accordance with the approved landscape plan.

9.5 ROAD OR TRAFFIC IMPROVEMENT REQUIREMENTS **[RESERVED]**

9.6 DEMOLITION ACTIVITIES **[RESERVED]**

9.7 GRADING SPOILS

All spoils piles shall be removed in accordance with the approved grading permit and/or building permit.

9.8 MITIGATION MEASURES APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY **[RESERVED]**

9.9 OTHER CONDITIONS APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY **[RESERVED]**

“C”

CEQA Exemption Memorandum

Padis Residence Viewshed P24-00207-VIEW
~~Solar Pavilion Variance P24-00122-VAR~~
Zoning Administrator Hearing Date (January 22, 2025)



A Tradition of Stewardship
A Commitment to Service

Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

Main: (707) 253-4417
Fax: (707) 253-4336

Brian D. Bordona
Director

To: Zoning Administrator	From: Andrew Amelung, Planner II
--------------------------	----------------------------------

Date: January 22, 2025	Re: P24-00207 Padis Residence Viewshed Categorical Exemption Determination 3023 Dry Creek Road, Napa, 94558 APN: 027-150-001-000 035-470-044-000
------------------------	--

Background:

On August 7, 2024, the Applicant submitted a request for approval of a Napa County Viewshed Protection Permit for the reconstruction of a 6,750 square-foot residence that included the addition of a 1,370 square-foot second floor, as well as landscape plan that will screen 61 percent of the proposed reconstruction from view. Portions of the previously existing structure were destroyed in a structure fire and the proposal involves reconstructing the previous structure with improvements that meet current County and State development standards and requirements.

Existing Conditions and Environment Setting:

The proposed project is located on an approximately 12.68-acre parcel within the Agricultural Watershed (AW) Zoning District and has a General Plan designation of Agriculture, Watershed and Open Space (AWOS). The project is located at 3023 Dry Creek Road, Napa, CA 94558. APN: 035-470-044-000.

Entitlement History:

Existing entitlements on the property include the building permit for the original single-family residence that was constructed in 1995 (B56231). In 2006 a permit was issued for the construction of an underground storage system (B06-00248), and in 2008 a permit was issued for the construction of a pool (B08-00524). An Erosion Control Plan for an additional 2.06-acre vineyard block was approved in 2009 (P09-00340). A home occupancy administrative permit was issued to the current property owners in 2011 (P11-00046), and in 2024 a permit was issued for a temporary 200-amp power pole following the structure fire that damaged the existing structure.

CEQA Exemption Criteria and Analysis:

Article 19 of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA Guidelines) establishes a list of classes of projects that are categorically exempt from the provisions of CEQA. This project qualifies as an exempt activity under two sections of Article 19:

Class 2: Replacement or Reconstruction [California Code of Regulations (CCR) §15302]

Consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

Class 4: Minor Alterations to Land [California Code of Regulations (CCR) §15304]

Consists of minor public or private alterations in the condition of land, water, an/or vegetation which do not involve removal of healthy, mature, scenic trees except for forestry and agricultural purposes.

Examples include:

- (b) New gardening or landscaping, including the replacement of existing conventional landscaping with water efficient or fire-resistant landscaping.

The scope of the project is limited to the replacement and reconstruction of a fire-damaged residential structure with the addition of a 1,370 square-foot second floor, which is located on the same footprint as the previously existing structure. As a residential structure the property will have substantially the same purpose and capacity as the structure replaced. The proposed landscaping that is designed to shield at least 50 percent of the structure from Dry Creek Road, a county viewshed road, does not involve the removal of healthy, mature, scenic trees, and as a condition of approval the applicant will be required to submit a landscaping and irrigation plans for review and approval by the Planning Division prior to the issuance of any building permits associated with this permit.

Conclusion:

The project is categorically exempt from CEQA under Section 15302 and Section 15304.

“D”

Application Packet

Padis Residence Viewshed P24-00207-VIEW
~~Solar Pavilion Variance P24-00122-VAR~~
Zoning Administrator Hearing Date (January 22, 2025)



A Tradition of Stewardship
A Commitment to Service

FILE # _____

NAPA COUNTY
PLANNING, BUILDING, AND ENVIRONMENTAL SERVICES
1195 THIRD STREET, SUITE 210, NAPA, CALIFORNIA, 94559 • (707) 253-4417

APPLICATION FOR VIEWSHED PROTECTION PROGRAM

FOR OFFICE USE ONLY

ZONING DISTRICT: _____
TYPE OF APPLICATION: _____
REQUEST: _____

DATE SUBMITTED: _____
DATE PUBLISHED: _____

Project Type: Structure _____ Driveway _____ Road _____ Reservoir _____ Mass Grading _____ Other _____
Other Permits Applied/Pending/Required:

ECP _____ Grading Permit _____ Use Permit _____ Variance _____
SDSDS _____ Groundwater Permit: _____
_____ # _____ # _____ # _____ # _____

Review Agencies: PBES: County Consultant: _____ Name/Contact: _____

Final Approval: PBES Date: / / Conditions: Yes No

TO BE COMPLETED BY APPLICANT

(Please type or print legibly)

Applicant's Name: Steve Padis

Telephone #: (415) 515-6411 Fax #: () - E-Mail: JudyPadis@gmail.com

Mailing Address: 888 Brennen St #128 SAN Francisco No. Street City CA State 94103 Zip

Status of Applicant's Interest in Property: Owner

Property Steve C. Padis and Judith Padis TL Owner's Name: Judy Padis

Telephone #: (415) 515-6411 Fax #: () - E-Mail: Judy Padis@gmail.com

Mailing Address: 888 Brennen St #128 SAN Francisco No. Street City CA State 94103 Zip

Site Address/Location: 3023 Dry Creek Road NAPA No. Street City CA State 94555 Zip

Assessor's Parcel #: 035-470-044 Parcel Size: 12.68 acres Development Area Size: _____ acres

Slope Range of Development Area: _____ % to _____ %

(NOTE: Contour map/survey is required for all development areas with an estimated slope of 15% or greater and for all road/driveway projects. Contour map must include all areas within 100' of the cut and fill edges. Percent slope shall be calculated and presented as whole numbers. (Please see attached Slope Determination Methodology)

I hereby certify that all the information contained in this application, including but not limited to, this application form, the supplemental information sheets, site plan, plot plan, cross sections/elevations, is complete and accurate to the best of my knowledge. I hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for evaluation of this application and preparation of reports related thereto, including the right of access to the property involved.

7/9/24

Signature of Applicant

Date

7/9/24

Signature of Property Owner

Date

Steve Padis

Steve Padis

Print Name

Print Name

TO BE COMPLETED BY PLANNING, BUILDING, AND ENVIRONMENTAL SERVICES

Application Fee: \$ _____ Receipt. No. _____ Received by: _____ Date: _____

INDEMNIFICATION AGREEMENT

Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.

Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.

In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

Steve Padis

Applicant

7/9/24

Date

Property Owner (if other than Applicant)

Project Identification

WILLIAM WOOD ARCHITECTS

TRANSMITTAL

301 Hartz Avenue, Suite 203
Danville, California 94526
(925) 820-8233
(925) 820-8793 fax

DATE: 8-6-24
PROJECT: Padis Viewshed permit
SUBJECT: Submittal of PDFs
FROM: Jonathan James

TO: County of Napa

Mail Overnight Delivery Pick-up

QTY	DESCRIPTION	DATE
1	set of drawings	08/06/24
1	Application and indemnification agreement	08/06/24
1	Color Board	08/06/24

COMMENTS:

Viewshed Submittal

PADIS RESIDENCE

**3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558**

**WILLIAM WOOD
A R C H I T E C T S**

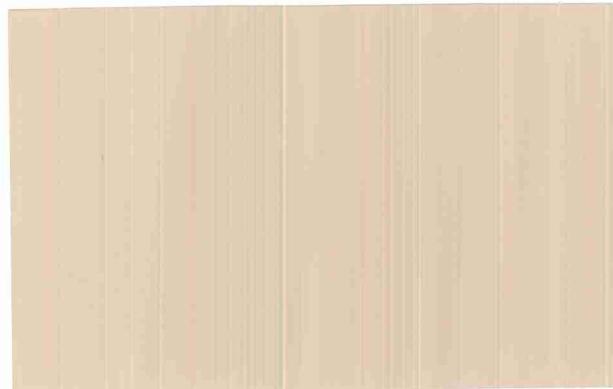
301 HARTZ AVENUE, SUITE 203

DANVILLE, CALIFORNIA

(925) 820-8233 FAX (925) 820-8793

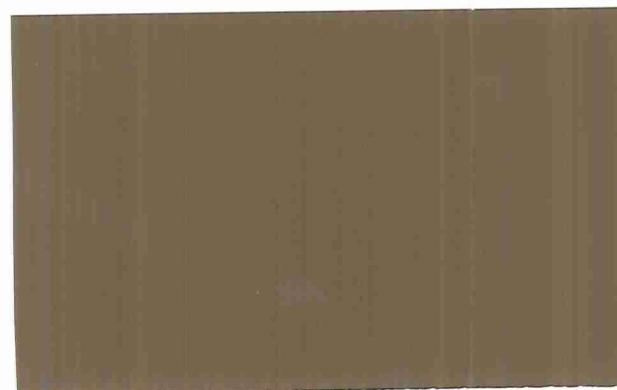
BODY

Dunn Edwards
Almond Latte - DE6143



TRIM

Dunn Edwards
Old Boot - DE6133



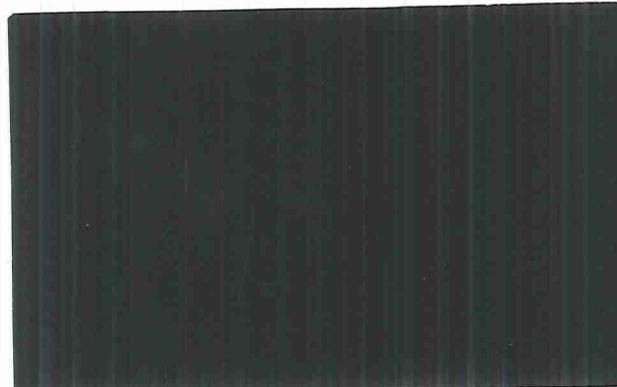
ROOF

MCA
Old Santa Barbara Medium



WINDOWS

Black

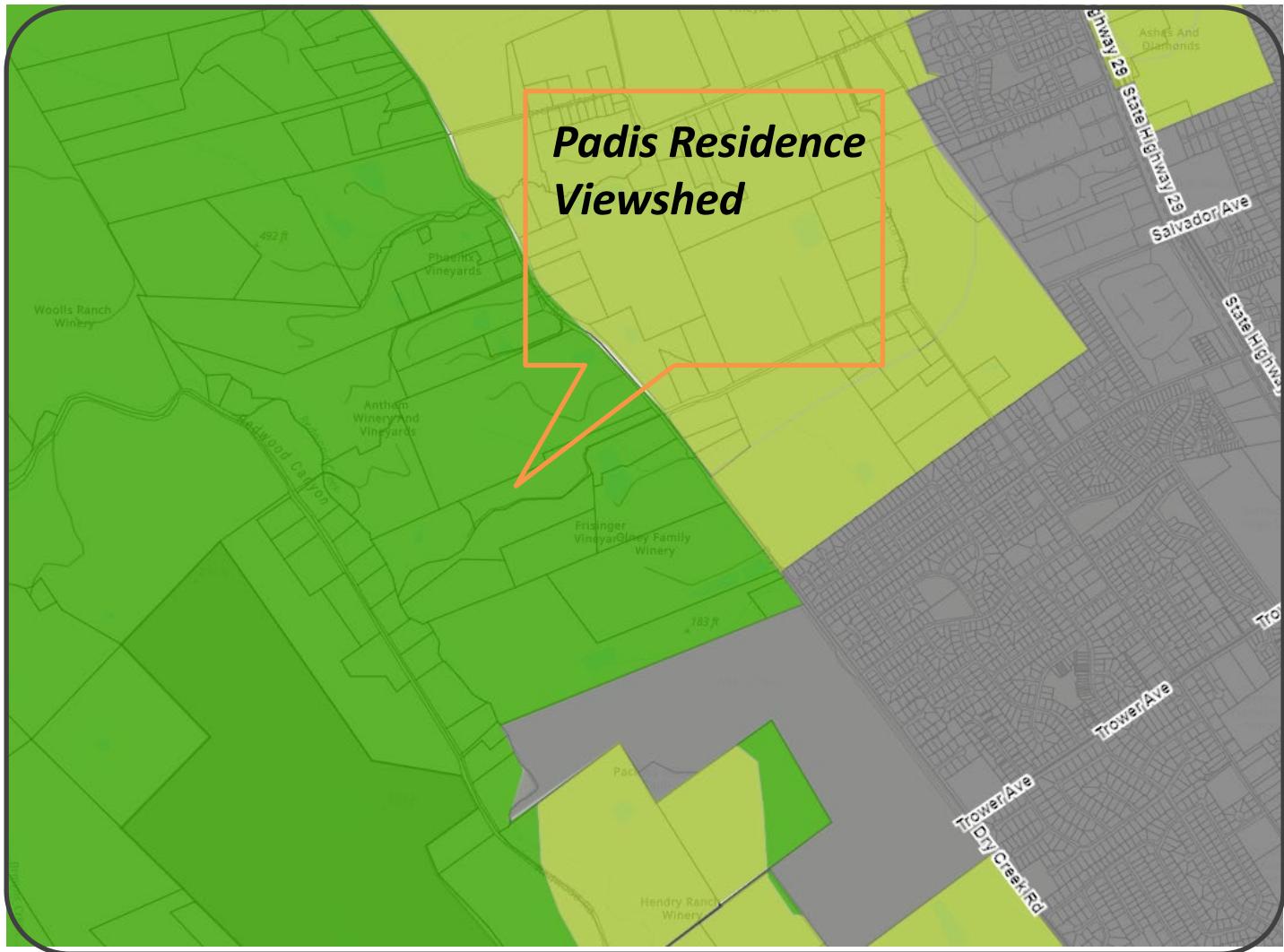


“E”

Graphics

Padis Residence Viewshed P24-00207-VIEW
~~Solar Pavilion Variance P24-00122-VAR~~
Zoning Administrator Hearing Date (January 22, 2025)

NAPA COUNTY LAND USE PLAN 2008 – 2030



SCALE IN MILES
0 $\frac{1}{4}$ Mile]

LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone



LEGEND

— Zoning

— Parcels



0

1.2 Miles

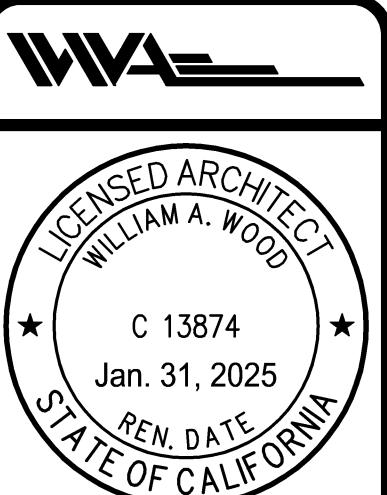


ZONING MAP



Existing Conditions

REVISIONS	DATE
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PADIS RESIDENCE

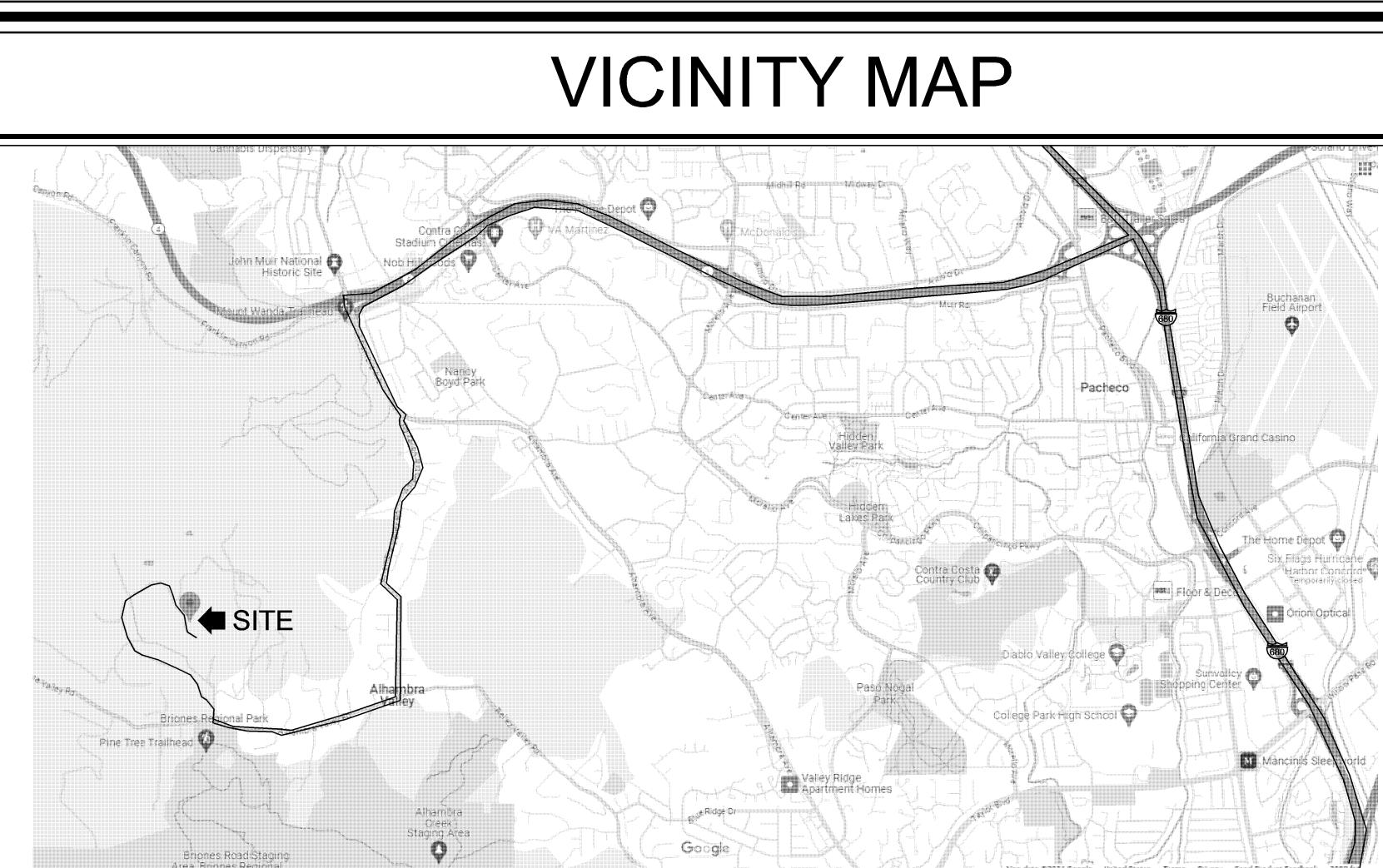
3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558

PADIS RESIDENCE

PROJECT DIR.
OWNER STEVE & JUDY PADIS 888 BRANNAN ST. #128 SAN FRANCISCO, CA 94103 (415) 516-6411 STEVE'S CELL (415) 515-6411 JUDY'S CELL CONTACT: STEVE & JUDY PADIS
ARCHITECT WILLIAM WOOD ARCHITECTS 301 HARTZ AVENUE, STE. 203 DANVILLE, CA 94526 (925) 820-8933 CONTACT: BILL WOOD
CIVIL ENGINEER PRIDMORE & COMPANY 1091 DEER PARK ROAD DEER PARK, CA 9456 (707) 256-5001 CONTACT: JOSEPH PRIDMORE

BUILDING DATA	
<u>LEGAL OWNER:</u>	<u>FLOOR AREA:</u>
STEVE & JUDY PADIS 888 BRANNAN ST. #128 SAN FRANCISCO, CA 94103	(E) FIRST FLOOR 4,227 S.F. (E) BASEMENT 981 S.F. TOTAL EXISTING 5,208 S.F.
<u>PROJECT ADDRESS:</u>	(N) FIRST FLOOR 172 S.F. (N) SECOND FLOOR 1,370 S.F. TOTAL (N) ADDITION 1,542 S.F.
<u>ZONED:</u> AGRICULTURAL WATERSHED (AW)	TOTAL FLOOR AREA 6,750 S.F.
<u>APN NUMBER:</u> 035-470-044-000	(E) 3 - CAR GARAGE 1,272 S.F. GARAGE AREA CONVERTED TO LIVING SPACE - 45 S.F. TOTAL GARAGE AREA 1,227 S.F.
<u>SETBACKS:</u> FRONT 20'-0" MIN. SIDES 20'-0" MIN. REAR 20'-0" MIN.	
<u>HEIGHT LIMIT:</u> 35'-0" 2 1/2 STORIES	

INDEX TO DRAWINGS	
CS1	COVER SHEET
1	OVERALL TOPOGRAPHICAL MAP
2	HOUSE SITE TOPOGRAPHICAL SURVEY
3	DRIVEWAY TOPOGRAPHICAL SURVEY
4	DRIVEWAY TOPOGRAPHICAL SURVEY
5	DRIVEWAY TOPOGRAPHICAL SURVEY
A1	SITE PLAN
A1.5	ENLARGED SITE PLAN
A2	PROPOSED FIRST FLOOR PLAN
A3	PROPOSED SECOND FLOOR PLAN
A4	BASEMENT PLAN (FOR REFERENCE ONLY)
A5	ROOF PLAN
A6	BUILDING SECTIONS
A7	PROPOSED & EXISTING FRONT ELEVATIONS
A8	PROPOSED & EXISTING REAR ELEVATIONS
A9	PROPOSED & EXISTING LEFT ELEVATIONS
A10	PROPOSED & EXISTING RIGHT ELEVATIONS
A11	VISUAL IMPACT ANALYSIS
A12	PROPOSED FIRST FLOOR ELECTRICAL/ MECHANICAL PLAN
A13	PROPOSED SECOND FLOOR ELECTRICAL/ MECHANICAL PLAN
A14	EXISTING FLOOR PLAN
A15	EXISTING BASEMENT PLAN



WILLIAM WOOD
ARCHITECTS
301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8933

THIS IS AN ORIGINAL UNREDUCED SHEET OF DRAWINGS AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS, 2024

DRAWN
KL
CHECKED
WW
DATE
SCALE
AS SHOWN
JOB NO.
24-0404R
SHEET
CS1
OF SHEETS

PLOT DATE: Jul 25 2024 - 10:10 AM CS1 Cover Sheet view shedding

TOPOGRAPHICAL MAP
FOR THE
PADIS PROPERTY

LOCATED AT
3023 DRY CREEK ROAD
NAPA, CA 94558
APN: 035-470-044



SCALE BAR 1:80'

P

PRIDMORE & COMPANY

PREPARED BY:

PRIDMORE & COMPANY
109 DEER PARK ROAD
DEER PARK, CA 94576
(707) 256-5000
INFO@PRIDMOREANDCO.COM
PRIDMOREANDCO.COM

DRAFTED BY: JWP

CHECKED BY: JWP

DATE: 06/13/2024



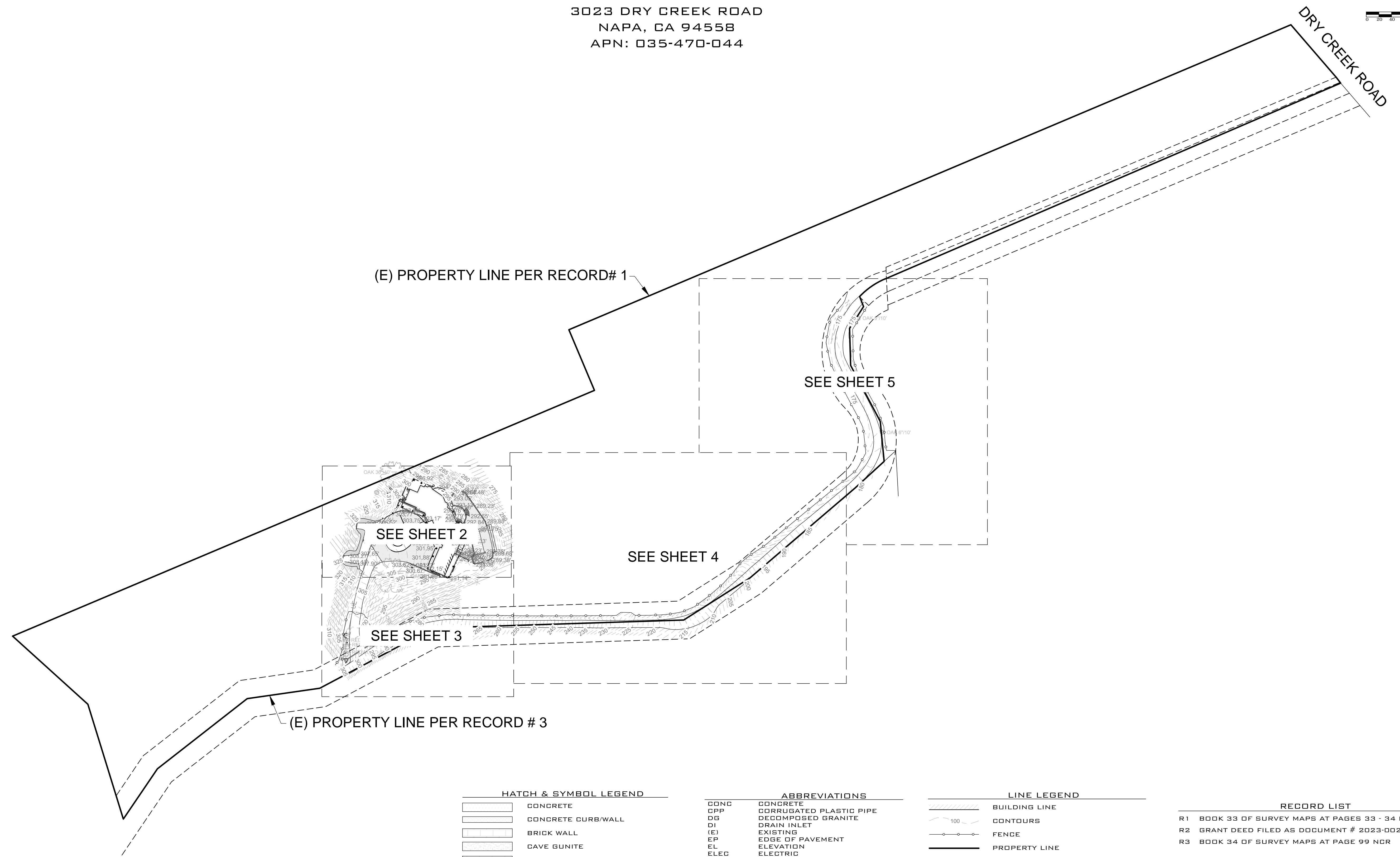
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PROJECT INFO:
PADIS PROPERTY
3023 DRY CREEK ROAD
NAPA, CA 94558
APN: 035-470-044

REVISIONS
NO. DESCRIPTION

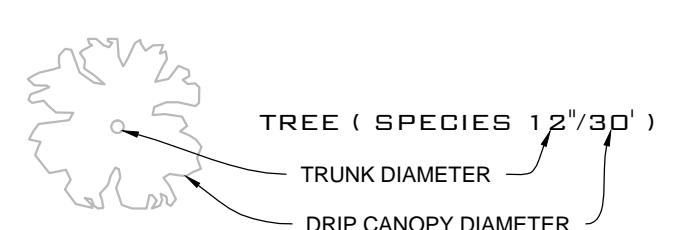
SHEET NAME:

TOPOGRAPHICAL
MAP



HATCH & SYMBOL LEGEND	
	CONCRETE
	CONCRETE CURB/WALL
	BRICK WALL
	CAVE GUNITE
	STUCCO WALL
	ROCK WALL
	FIRE HYDRANT
	SPOT ELEVATION
	WATER VALVE

ABBREVIATIONS	
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
DG	DECOMPOSED GRANITE
DI	DRAIN INLET
(E)	EXISTING
EP	EDGE OF PAVEMENT
ELE	ELEVATION
ELEC	ELECTRIC
FF	FINISHED FLOOR
HB	HOSE BIB
INV	INVERT
NCR	NAPA COUNTY RECORDS
ORN	ORNAMENTAL
SSCO	SANITARY SEWER CLEANOUT
(TYP)	TYPICAL
VERT	VERTICAL



LINE LEGEND	
	BUILDING LINE
	CONTOURS
	FENCE
	PROPERTY LINE
	EASEMENT LINE
	UNDERGROUND ELECTRIC ROUTE
	VINEROW

RECORD LIST	
R1	BOOK 33 OF SURVEY MAPS AT PAGES 33 - 34 NCR
R2	GRANT DEED FILED AS DOCUMENT # 2023-002921 NCR
R3	BOOK 34 OF SURVEY MAPS AT PAGE 99 NCR

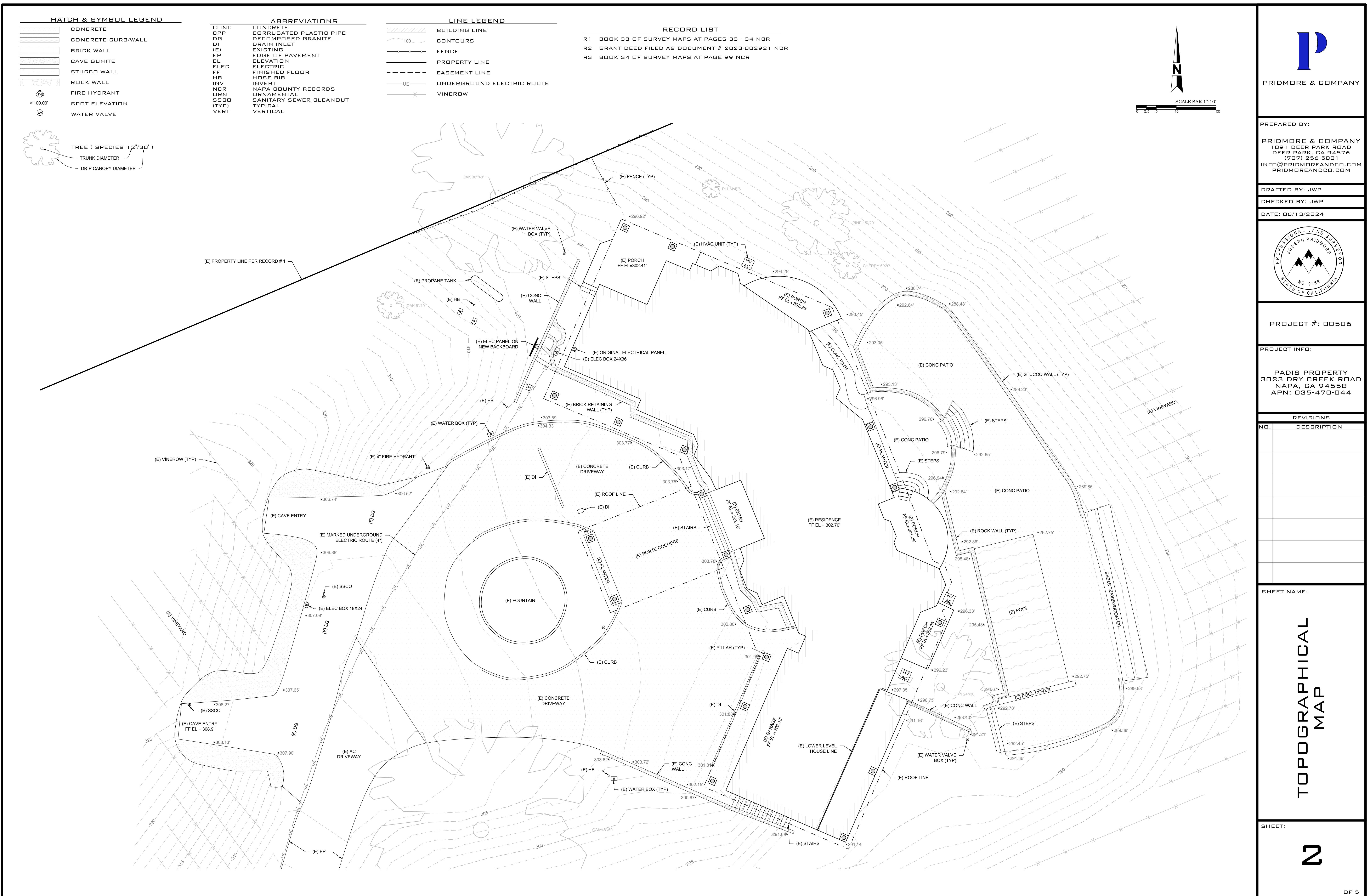
1

OF 5

UNAUTHORIZED CHANGES & USES:
THE SURVEYOR PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR
LIABLE FOR, UNAUTHORIZED CHANGES TO OR THE USES OF THIS MAP.
ALL CHANGES TO THE MAP MUST BE IN WRITING AND APPROVED BY THE
SURVEYOR.

PROPERTY LINES:
THE PROPERTY LINES SHOWN HEREON ARE FOR REFERENCE ONLY AND
BASED UPON FIELD SURVEY INFORMATION COLLECTED AT THE TIME OF
THE SURVEY. NOT THE RECORDS LISTED. THIS IS NOT A BOUNDARY
SURVEY MAP AND SHOULD NOT BE USED AS SUCH.

SURVEY STATEMENT:
THIS MAP IS BASED ON FIELD SURVEY INFORMATION PERFORMED BY
PRIDMORE & COMPANY IN JUNE OF 2024. HORIZONTAL & VERTICAL
DATUM IS ASSUMED. EXISTING FIELD SURVEY CONTOUR INTERVALS ARE
AS FOLLOWS: MAJOR = 5' MINOR = 1'.



P

PRIDMORE & COMPANY

SCALE BAR 1":10'

0 2.5 5 10 20

PREPARED BY:

PRIDMORE & COMPANY
1091 DEER PARK ROAD
DEER PARK, CA 94576
(707) 256-5000
INFO@PRIDMOREANDCO.COM
PRIDMOREANDCO.COM

DRAFTED BY: JWP

CHECKED BY: JWP

DATE: 06/13/2024



PROJECT #: 00506

PROJECT INFO:

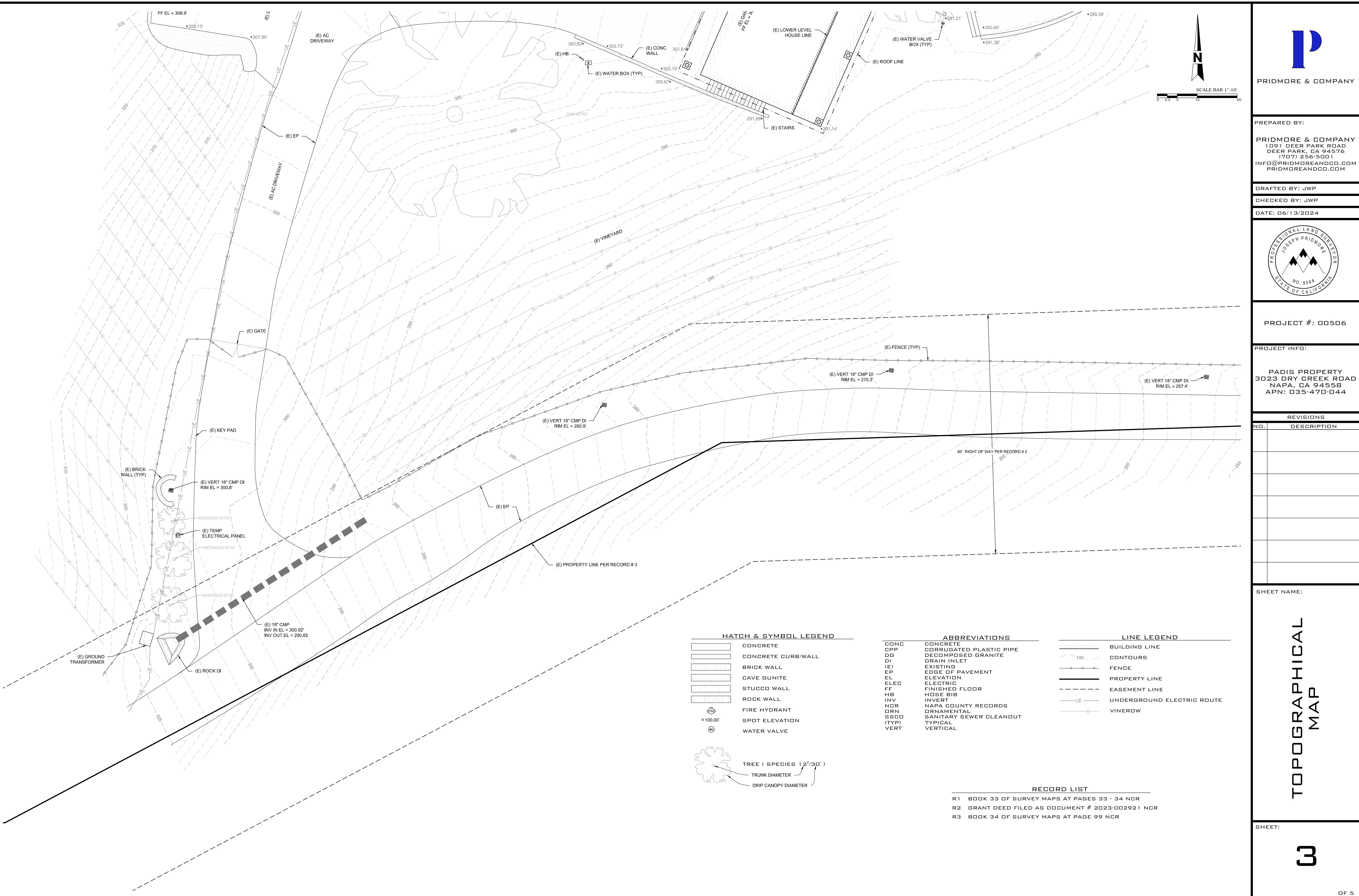
PADIS PROPERTY
3023 DRY CREEK ROAD
NAPA, CA 94558
APN: 035-470-044REVISIONS
NO. DESCRIPTION

SHEET NAME:

TOPOGRAPHICAL
MAP

W

OF 5



P

PRIDMORE & COMPANY

SCALE BAR 1:20'

0 5 10 20 40

PREPARED BY:

PRIDMORE & COMPANY

1091 DEER PARK ROAD

DEER PARK, CA 94576

(707) 256-5000

INFO@PRIDMOREANDCO.COM

PRIDMOREANDCO.COM

DRAFTED BY: JWP

CHECKED BY: JWP

DATE: 06/13/2024



PROJECT #: 00506

PROJECT INFO:

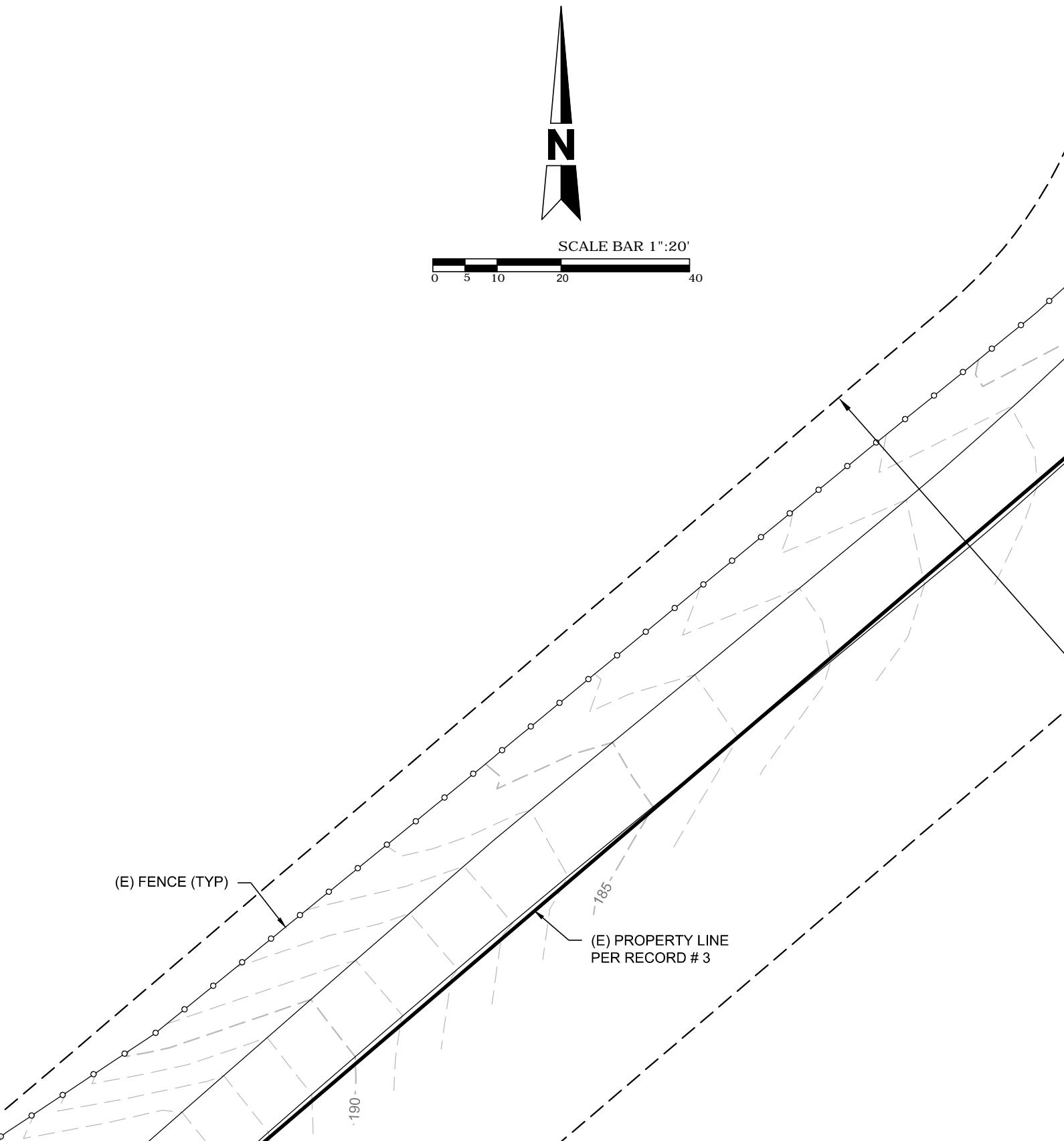
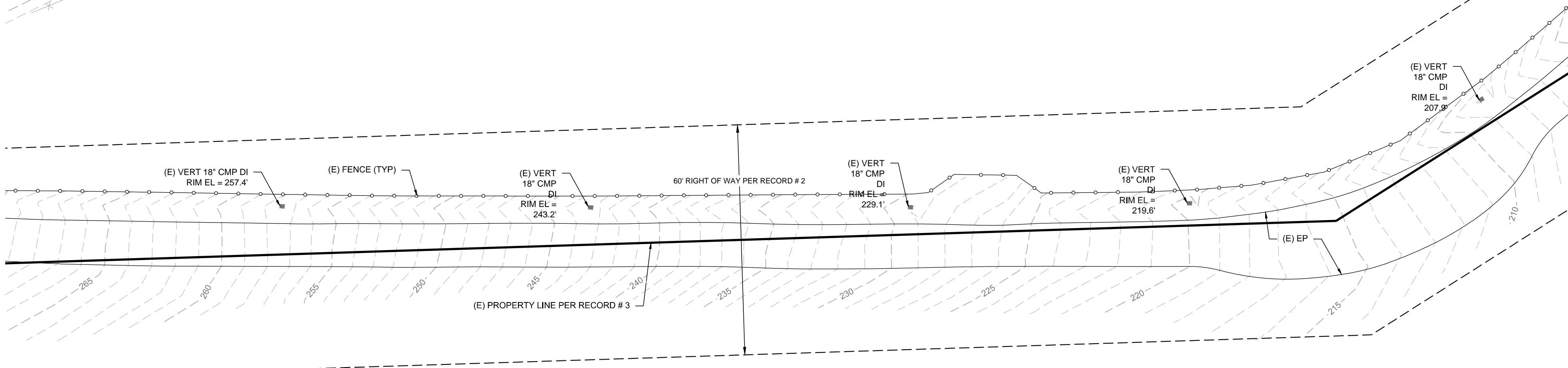
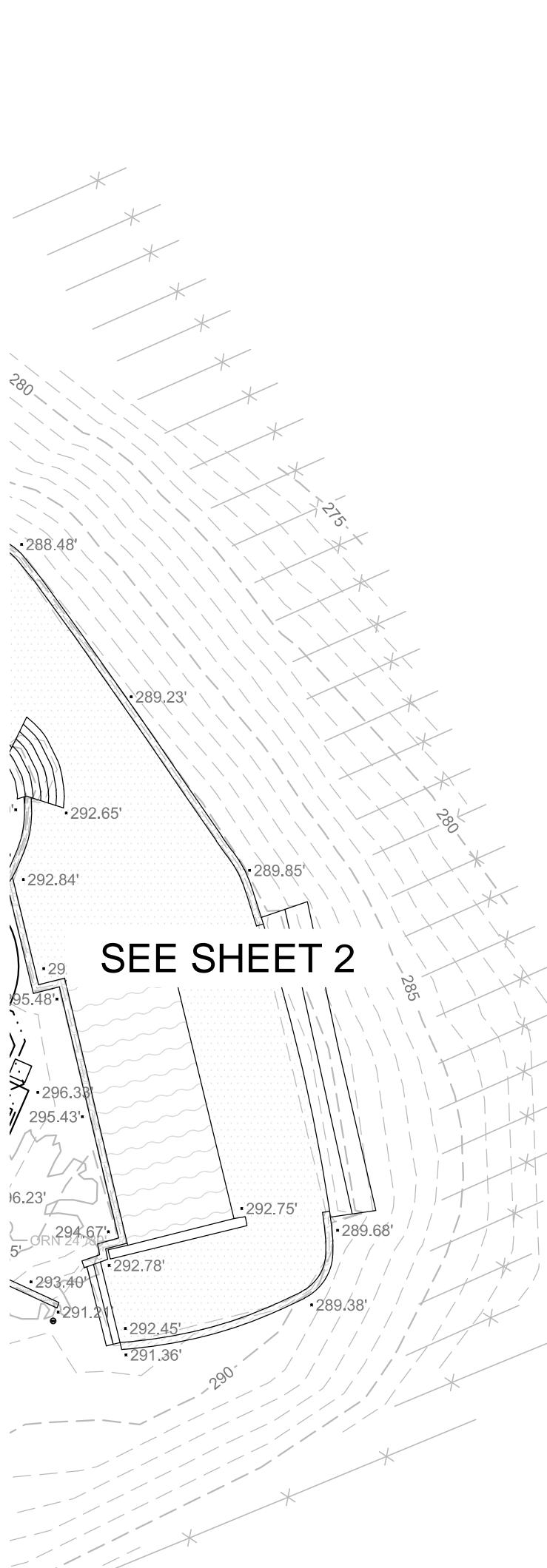
PADIS PROPERTY
3023 DRY CREEK ROAD
NAPA, CA 94558
APN: 035-470-044REVISIONS
NO. DESCRIPTION

SHEET NAME:

TOPOGRAPHICAL
MAP

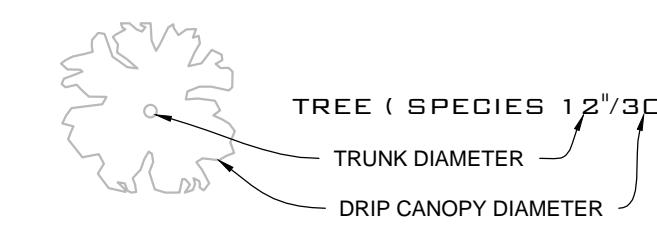
4

OF 5



HATCH & SYMBOL LEGEND

	CONCRETE
	CONCRETE CURB/WALL
	BRICK WALL
	CAVE GUNITE
	STUCCO WALL
	ROCK WALL
	FIRE HYDRANT
	SPOT ELEVATION
	WATER VALVE



ABBREVIATIONS

CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
DG	DECOMPOSED GRANITE
DI	DRAIN INLET
(E)	EXISTING
EP	EDGE OF PAVEMENT
EL	ELEVATION
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HB	HOSE BIB
INV	INVERT
NCR	NAPA COUNTY RECORDS
ORN	ORNAMENTAL
SSCO	SANITARY SEWER CLEANDOUT
(TYP)	TYPICAL
VERT	VERTICAL

LINE LEGEND

	BUILDING LINE
	CONTOURS
	FENCE
	PROPERTY LINE
	EASEMENT LINE
	UNDERGROUND ELECTRIC ROUTE
	VINEROW

RECORD LIST

R1 BOOK 33 OF SURVEY MAPS AT PAGES 33 - 34 NCR
 R2 GRANT DEED FILED AS DOCUMENT # 2023-002921 NCR
 R3 BOOK 34 OF SURVEY MAPS AT PAGE 99 NCR

P

PRIDMORE & COMPANY

SCALE BAR 1:20'



HATCH & SYMBOL LEGEND

CONCRETE	CONCRETE
CONCRETE CURB/WALL	CORRODED PLASTIC PIPE
BRICK WALL	DECOMPOSED GRANITE
CAVE GUNITE	DRAIN INLET
STUCCO WALL	(E) EXISTING
ROCK WALL	EDGE OF PAVEMENT
FIRE HYDRANT	ELEVATION
SPOT ELEVATION	ELECTRIC
WATER VALVE	FIXED FLOOR
	HOSE BIB
	INVERT
	NAPA COUNTY RECORDS
	ORNAMENTAL
	SANITARY SEWER CLEANOUT
	TYPICAL
	VERTICAL



ABBREVIATIONS

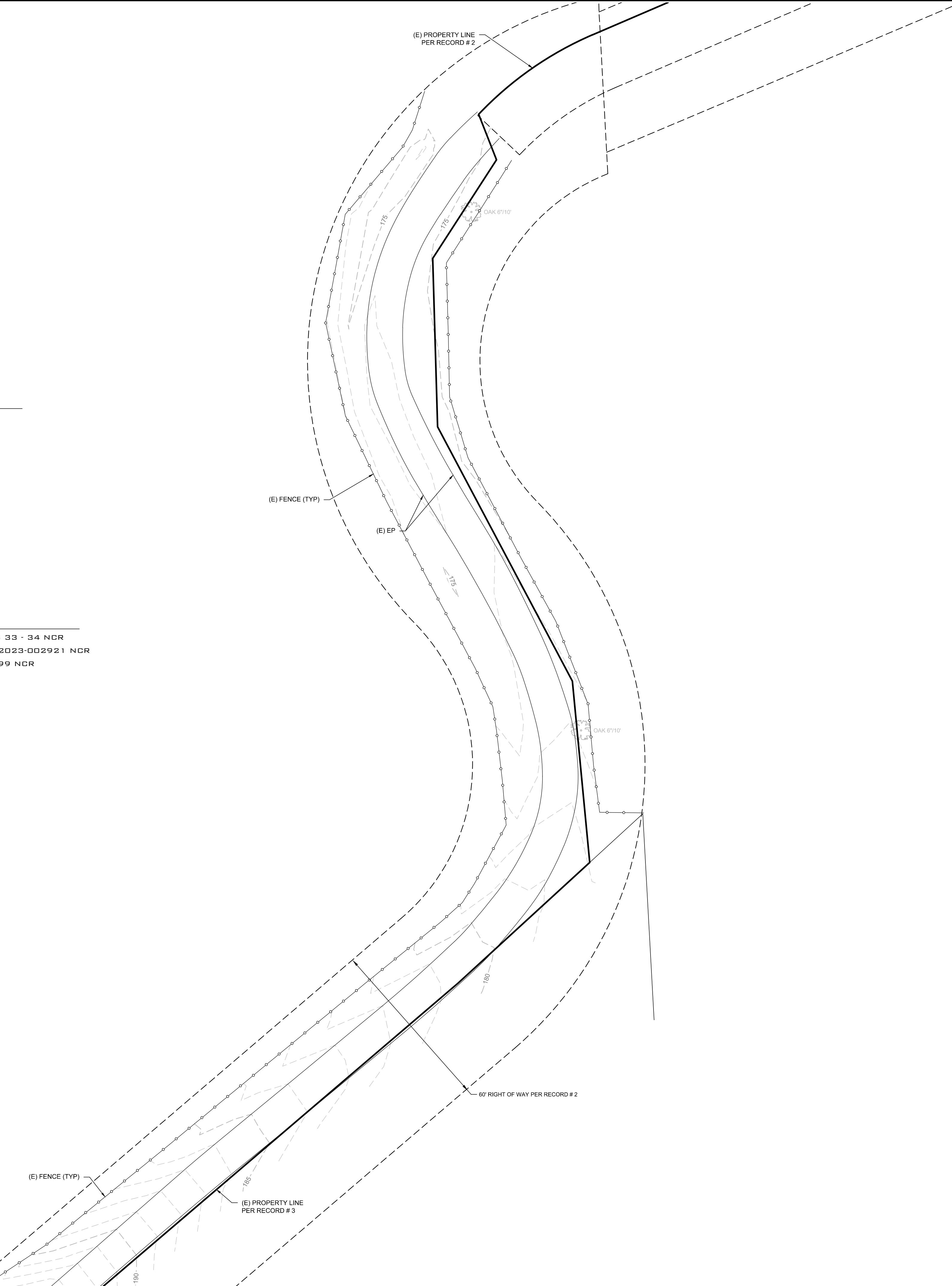
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DG	DECOMPOSED GRANITE
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R1 BOOK 33 OF SURVEY MAPS AT PAGES 33 - 34 NCR
 R2 GRANT DEED FILED AS DOCUMENT # 2023-002921 NCR
 R3 BOOK 34 OF SURVEY MAPS AT PAGE 99 NCR

LINE LEGEND

BUILDING LINE	
CONTOURS	
FENCE	
PROPERTY LINE	
EASEMENT LINE	
UE	
UNDERGROUND ELECTRIC ROUTE	
VINEROW	



TOPOGRAPHICAL MAP

U

P

PREPARED BY:

PRIDMORE & COMPANY
 109 DEER PARK ROAD
 DEER PARK, CA 94576
 (707) 256-5001
 INFO@PRIDMOREANDCO.COM
 PRIDMOREANDCO.COM

DRAFTED BY: JWP

CHECKED BY: JWP

DATE: 06/13/2024



PROJECT #: 00506

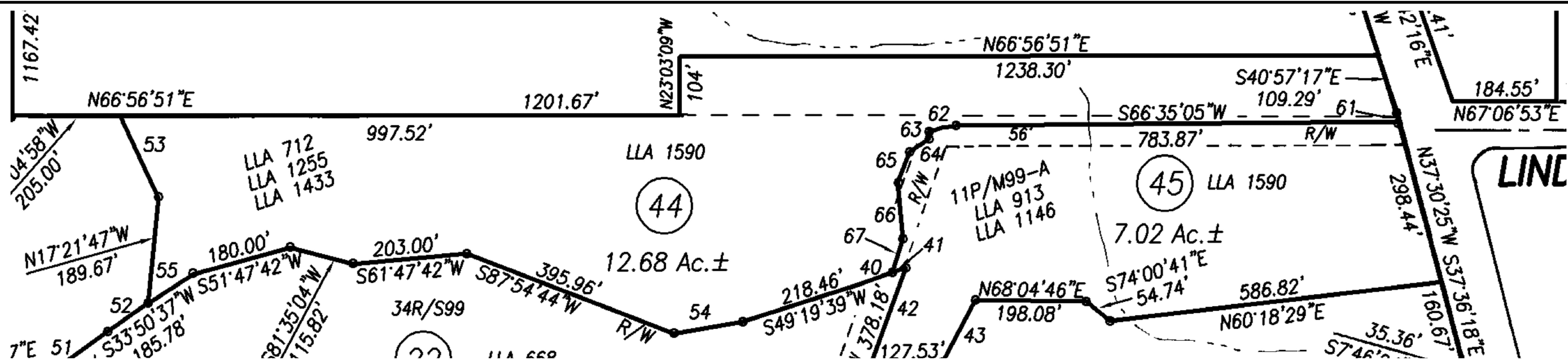
PROJECT INFO:
 PADIS PROPERTY
 3023 DRY CREEK ROAD
 NAPA, CA 94558
 APN: 035-470-044

REVISIONS
 NO. DESCRIPTION

SHEET NAME:

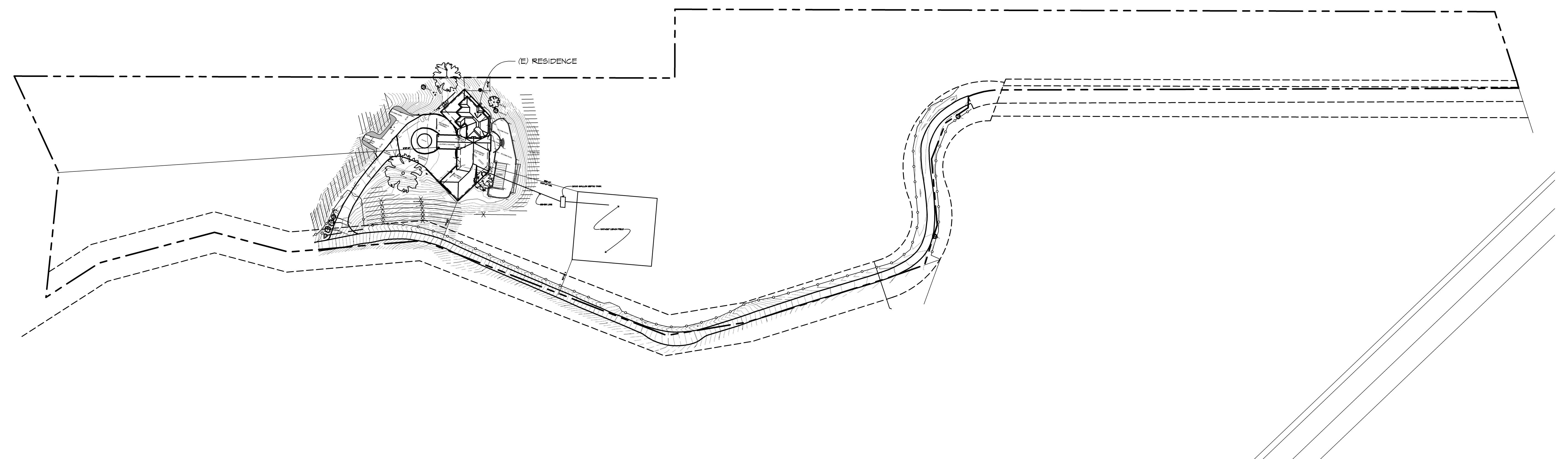
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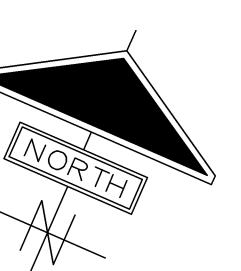
PARCEL MAP

SCALE: 1" = 80'



OVERALL SITE PLAN (FOR REFERENCE ONLY)

SCALE: 1" = 80'



PADIS RESIDENCE

3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558

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JOB NO.

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OF SHEETS

NOTES:

- 1) STAIRS: SEE STAIRS FOR HT., ALL TREAD WIDTHS 10" EA., TYP. U.N.O. V.I.F.
- 2) WINDOWS MARKED W/ (T) SHALL BE TEMPERED SAFETY GLASS
- 3) RESIDENCE WINDOW HEAD HTS. AT FIRST FLOOR AND SECOND FLOOR SHALL BE 8'-0" U.O.N.
- 4) ALL WINDOWS MARKED "EGRESS" SHALL MEET MIN. EMERGENCY EGRESS WINDOW STANDARDS OF MIN. NET CLEAR OPENING OF 5.7 SQ. FT. & MIN. NET CLEAR HEIGHT OF 24" & MIN. NET CLEAR WIDTH OF 20" CONTRACTOR SHALL VERIFY W/ WINDOW MANUFACTURE.
- 5) THERE MUST BE AT LEAST 15" INCHES BETWEEN THE CENTER OF PLUMBING FIXTURES SUCH AS WATER CLOSETS OR SINKS AND THE NEAREST WALL OR OBJECT.
- 6) CONTRACTOR TO PROVIDE THERMOSTATIC MIXING VALVE CONTROLS FOR ALL TUB/SHOWER ENCLOSURES.
- 7) CONTRACTOR SHALL VERIFY LOCATION & NUMBER OF A/C UNITS W/ OWNER PROVIDE 4" CONC. SLAB W/ #10 W.W.M. ALL NECESSARY PLUMBING & ELECTRICAL.
- 8) ALL GUARDRAILS TO BE +42" HIGH, W/ INTERMEDIATE SPACES SUCH THAT A SPHERE 4" IN DIA. CAN NOT PASS THROUGH, TYP.
- 9) HANDRAIL IS REQUIRED PER SECT. 509 WHEN DROP EXCEEDS 30".
- 10) PROVIDE CALCULATIONS FOR THE HANDRAIL AND GUARDRAIL DESIGN AND CONNECTIONS. FOR SINGLE FAMILY DWELLINGS, HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ON THE HANDRAIL OR TOP RAIL TO PRODUCE THE MAXIMUM LOAD EFFECT ON THE ELEMENT BEING CONSIDERED AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE. CBC 1607.8.1 EXCEPTION 1, ASCE 7 SECTION 4.5.1, CRC TABLE 301.5.
- 11) MINIMUM OF 36-INCH DEEP LANDING IS REQUIRED IN DIRECTION OF TRAVEL. MAXIMUM RISE OF STEP IS 7.75-INCH.
- 12) APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON EACH CHIMNEY/FLUE/VENT USED FOR FIREPLACES AND HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- 13) SEE ELECTRICAL/MECHANICAL PLAN FOR HOSE BIBB LOCATIONS.
- 14) SEE REFLECTED CEILING PLAN FOR CEILING CONDITIONS.
- 15) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND BE MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2" PER CRC R319.1. OR CBC 501.2

16) SPECIFY PERIMETER BLOCKING BETWEEN THE CEILINGS JOISTS FOR SOLID BACKING FOR THE ATTACHMENT OF THE SHEET ROCK TO THE GARAGE CEILING. IN LIEU OF THE BLOCKING, ONE MAY USE A CONTINUOUS STRIP OF 16 GAGE SHEET METAL THAT IS "L" SHAPED WITH A MINIMUM DIMENSION OF 2.5"X2.5", SECURED TO THE CEILING FRAMING WITH 2-8d'S AND ONE 8d TO THE TOP PLATELINE. THIS RUNS PERPENDICULAR TO THE JOIST DIRECTION. THE SHEET ROCK IS THEN SCREW ATTACHED AT THE 6" O/C (TO THE METAL)

SPECIFY $\frac{5}{8}$ " TYPE "X" GYP BOARD ON CEILINGS AND SUPPORTING MEMBERS (E.G., BEAMS, COLUMNS AND BEARING WALLS) WHERE LIVING AREAS ARE ABOVE.

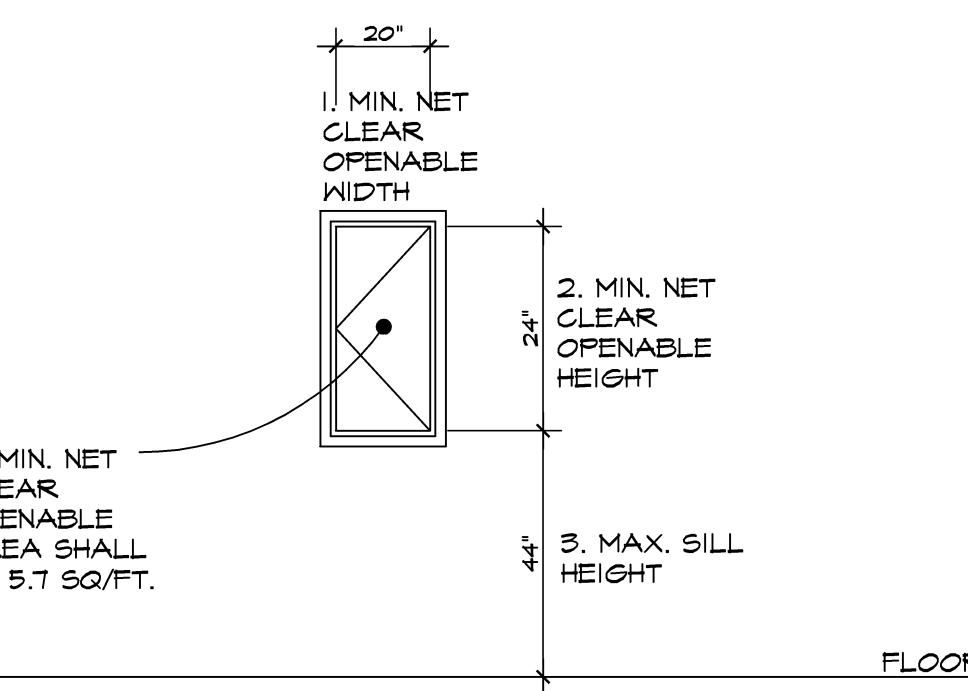
17) ANY PENETRATION OF THE WALL COMMON TO THE HOUSE & GARAGE SHALL BE MADE WITH MINIMUM 26 GAGE METAL AND INSULATED TO AT LEAST R4.2

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- (3) ATTIC SPACE SHALL BE 30" OR GREATER IN CLEAR HEIGHT ABOVE AN ATTIC ACCESS OPENING AT LEAST 30 SQ. FT. IN AREA.
- (4) PROVIDE TEMPERED GLAZING AT: (1) WINDOWS ADJACENT TO AND WITHIN 24" OF EITHER EDGE OF A DOOR; (2) WITHIN 60" ABOVE A BATH TUB/SHOWER STANDING SURFACE; (3) WINDOWS GREATER THAN 9 SQ/FT AND CLOSER THAN THE FLOOR. CRC 308.4 OR CBC 107.2
- (5) PROVIDE ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL PAN UNDERNEATH CONDENSATE PRODUCING EQUIPMENT (SUCH AS THE FURNACE) INSTALLED IN THE ATTIC. NOTE THAT THE SECONDARY DRAIN LINE MUST BE LOCATED WHERE IT CAN BE READILY OBSERVED. CMC 310.2(2).
- (6) SHOWER SHALL HAVE A FLOOR AREA OF AT LEAST 1,024 SQUARE INCHES AND IS ALSO CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE PER CPC 408.6

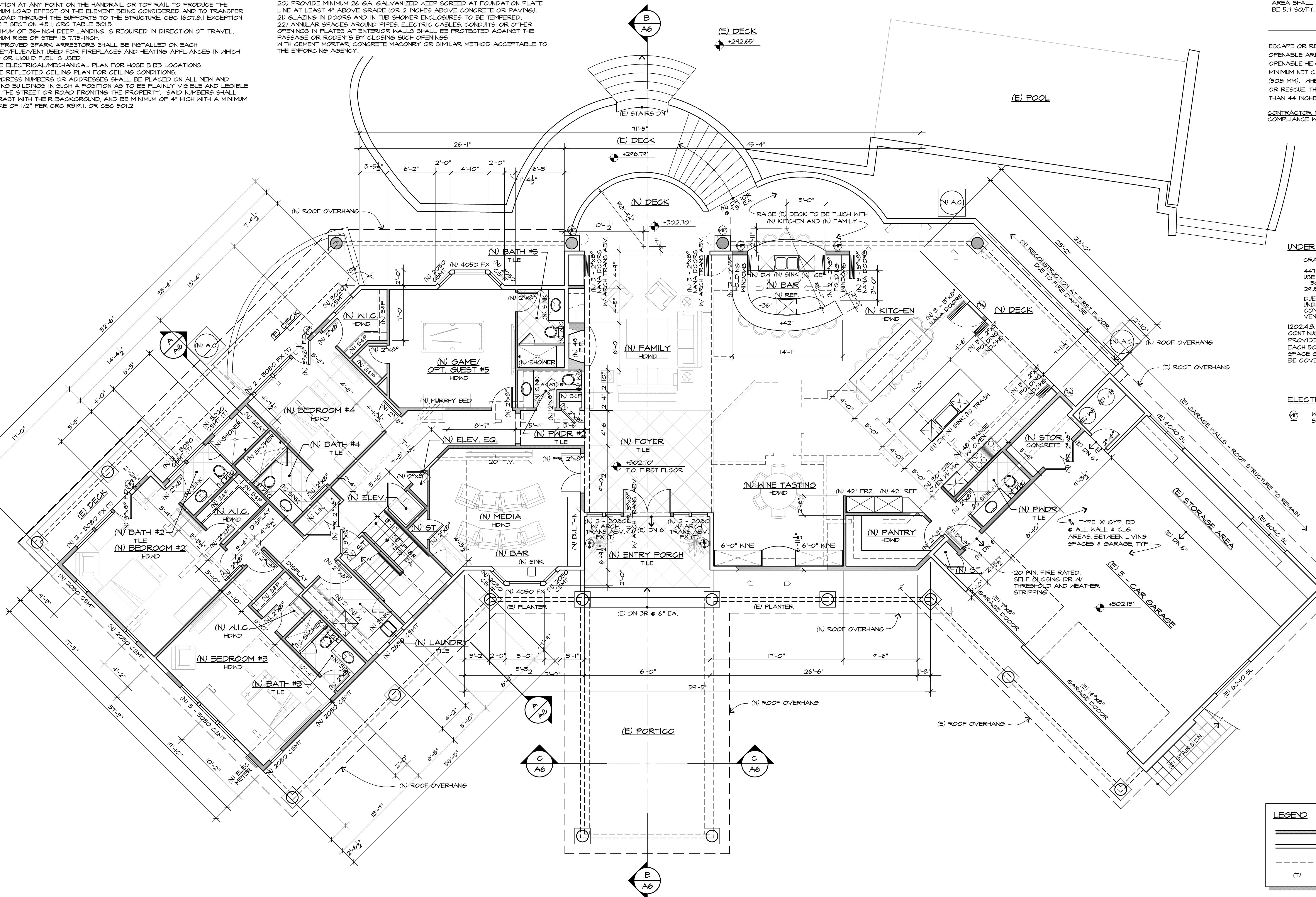
EGRESS WINDOW DETAIL

EGRESS WINDOWS SHALL COMPLY W/ ALL 4
CONDITIONS ILLUSTRATED BELOW.



ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ/FT. (0.53 M²).² THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES (609.6 MM). THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES (510 MM). WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR. CBC SECTION 310.4

TRACTOR NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR
COMPLIANCE WITH ALL EGRESS REQUIREMENTS.



PADIS RESIDENCE

3023 & 3025 DRY CREEK ROAD

10 of 10

WILLIAM WOOD

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WILMINGTON, DE 19802

301

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PROPOSED FIRST FLOOR PLAN

SCALE: $\frac{3}{16}$ " = 1'-0"

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19) ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA AS WELL AS THE MIXING BOXES, PLENUMS, ETC., SHALL BE 26 GA. MINIMUM AND INSULATED TO AT LEAST R4.2.

20) PROVIDE MINIMUM 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

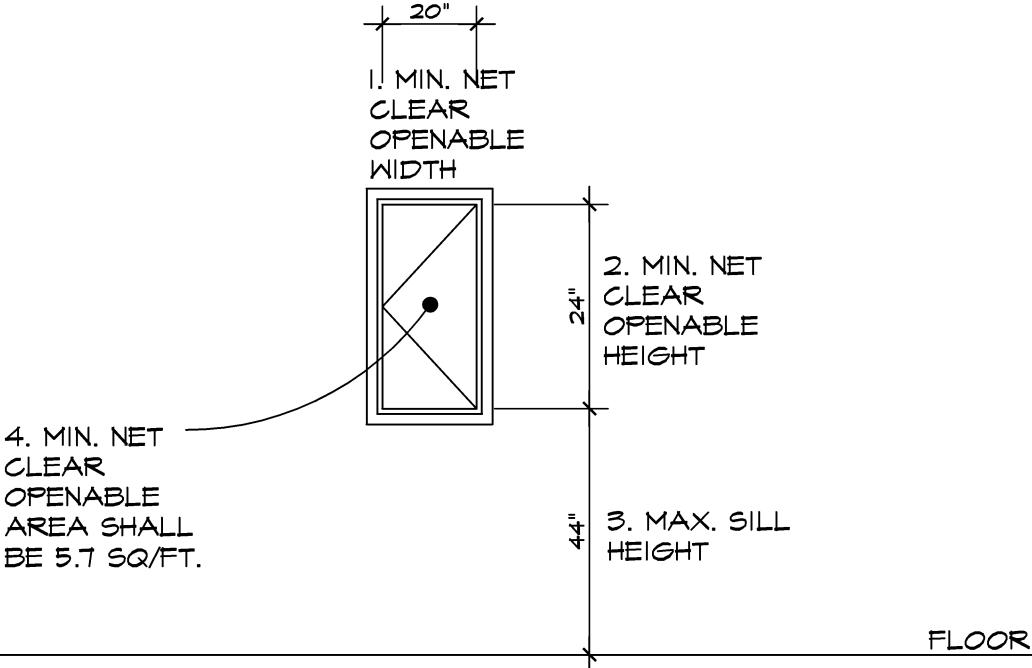
21) GLAZING IN DOORS AND IN TUB SHOWER ENCLOSURES TO BE TEMPERED.

22) ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OR RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

- 23) ATTIC SPACE SHALL BE 30" OR GREATER IN CLEAR HEIGHT ABOVE AN ATTIC ACCESS OPENING AT LEAST 30 SQ. FT. IN AREA.
- 24) PROVIDE TEMPERED GLAZING AT: (1) WINDOWS ADJACENT TO AND WITHIN 24" OF EITHER EDGE OF A DOOR; (2) WITHIN 60" ABOVE A BATH TUB/SHOWER STANDING SURFACE; (3) WINDOWS GREATER THAN 9 SQ/FT AND CLOSER THAN THE FLOOR. CRC R308.4 OR CBC 101.2
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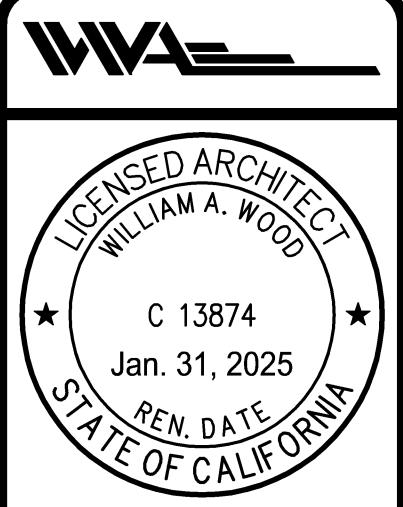
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CONTRACTOR NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL EGRESS REQUIREMENTS.



HISTORICAL PERSPECTIVE

3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558

ARCHITECTS
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DANVILLE, CALIFORNIA 94526
(925) 820-8233

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WOOD ARCHITECTS.

WILLIAM WOOD ARCHITECTS, 2024

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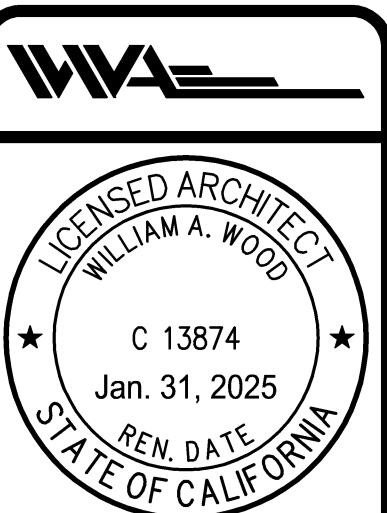
LEGEND

- NEW WALL**
- EXISTING WALL TO REMAIN**
- EXISTING WALL TO BE REMOVED**
- TEMPERED GLASS**

PROPOSED SECOND FLOOR PLAN

SCALE: $\frac{3}{16}$ " = 1'-0"

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LICENSED ARCHITECT
WILLIAM A. WOOD
C 13874
Jan. 31, 2025
RENEWAL DATE
STATE OF CALIFORNIA

PADIS RESIDENCE

3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558

**WILLIAM WOOD
ARCHITECTS**
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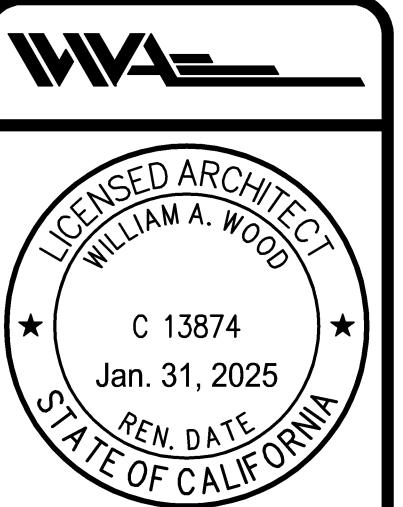
A4

BASEMENT PLAN
(FOR REFERENCE ONLY - NO CHANGES)

SCALE: $\frac{1}{8}$ " = 1'-0"

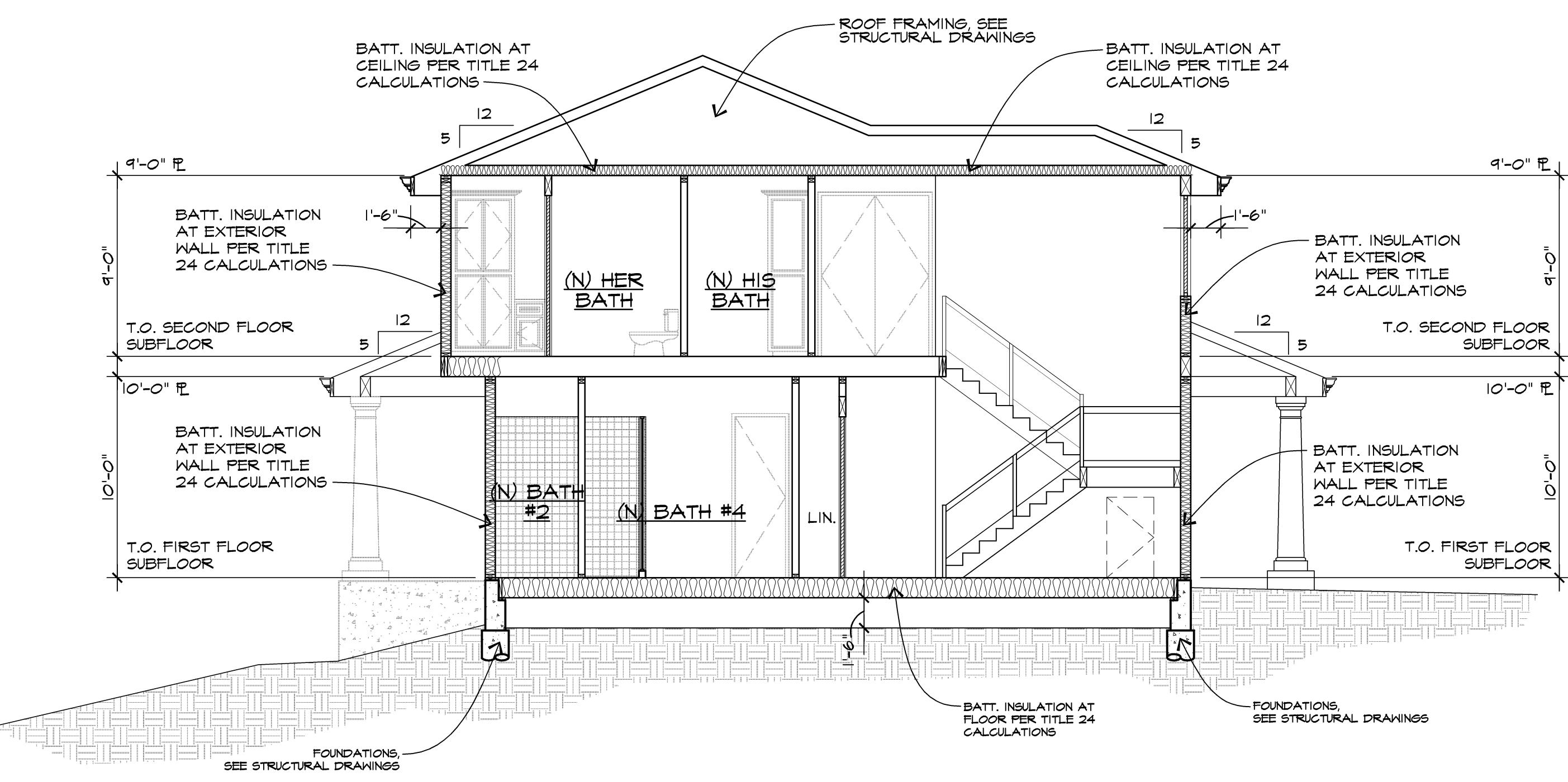
PLOT DATE: Jul 25 2024 - 01:44:06pm A4 Basement Plans VIEW SHED.dwg

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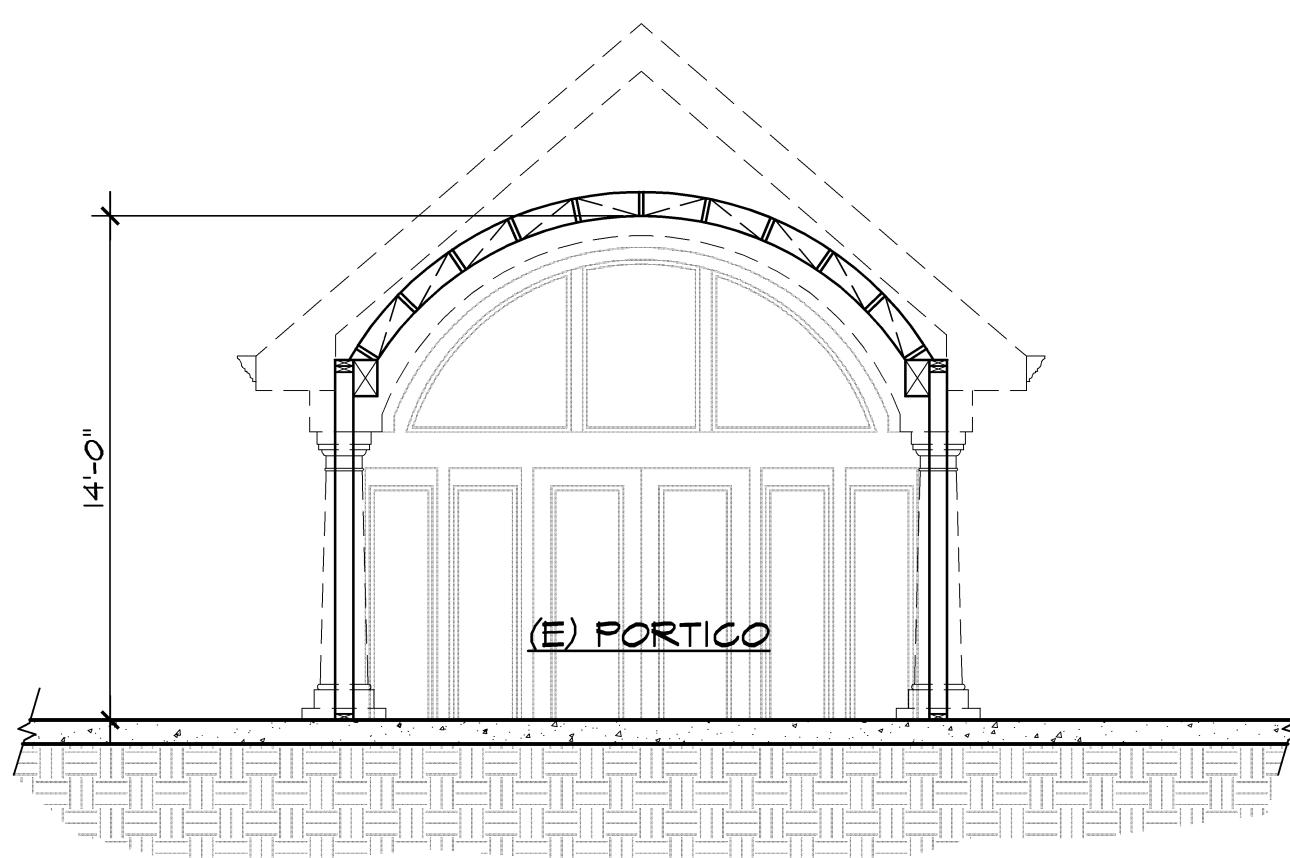
PADIS RESIDENCE

3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558



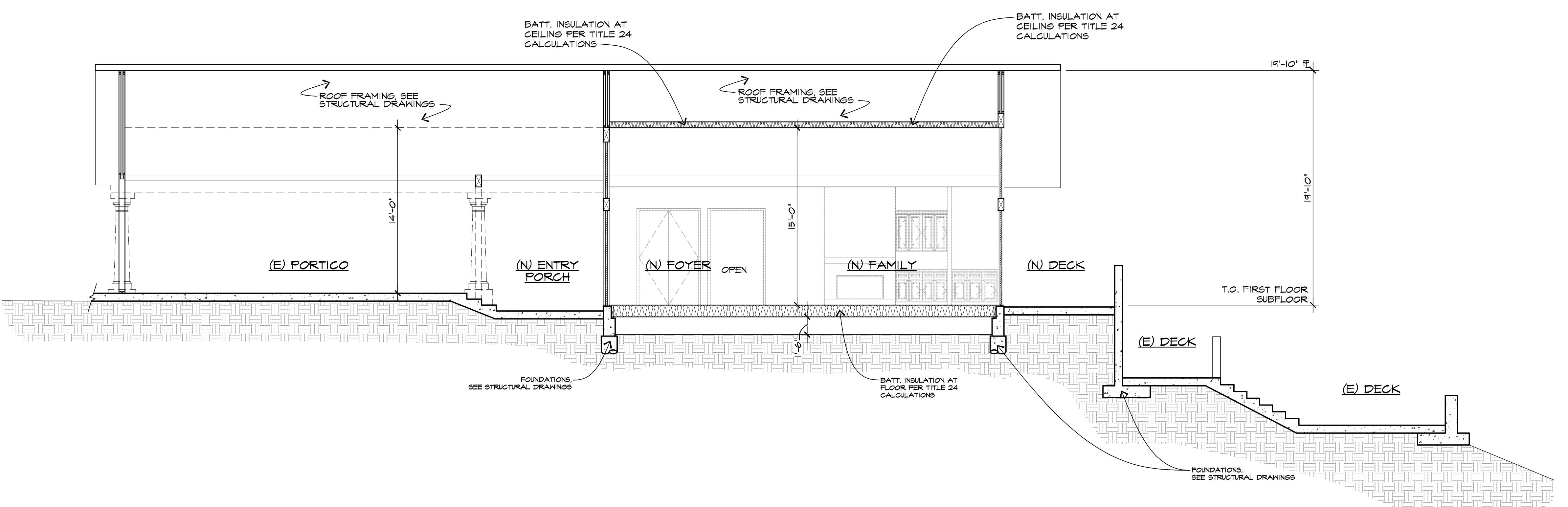
BUILDING SECTION - A/A6

SCALE: $\frac{1}{64}'' = 1'-0''$



BUILDING SECTION - C/A6

SCALE: $\frac{1}{64}'' = 1'-0''$

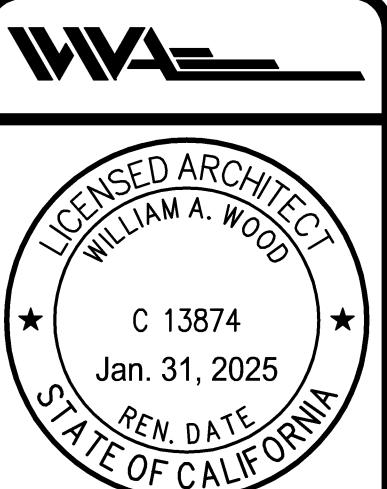


BUILDING SECTION - B/A6

SCALE: $\frac{1}{64}'' = 1'-0''$

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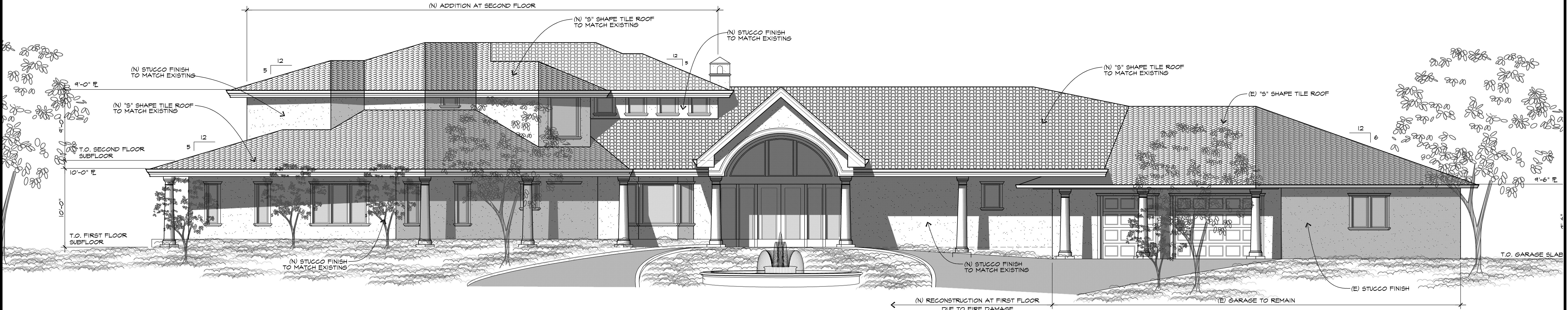


LICENSED ARCHITECT
WILLIAM A. WOOD
C 13874
Jan. 31, 2025

RENEWAL DATE
STATE OF CALIFORNIA

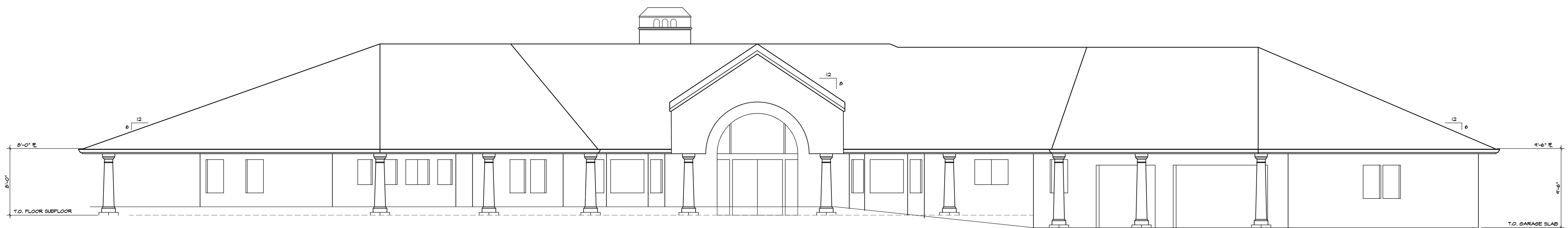
PADIS RESIDENCE

3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558



PROPOSED FRONT ELEVATION

SCALE: $\frac{1}{64}'' = 1'-0''$



EXISTING FRONT ELEVATION

SCALE: $\frac{1}{64}'' = 1'-0''$

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PRINT DATE: Jul 22, 2024 - 5:05pm A-1.2 Exterior Elevation - View shedding

REVISIONS DATE

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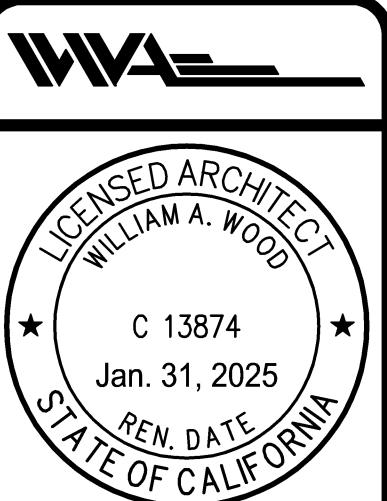
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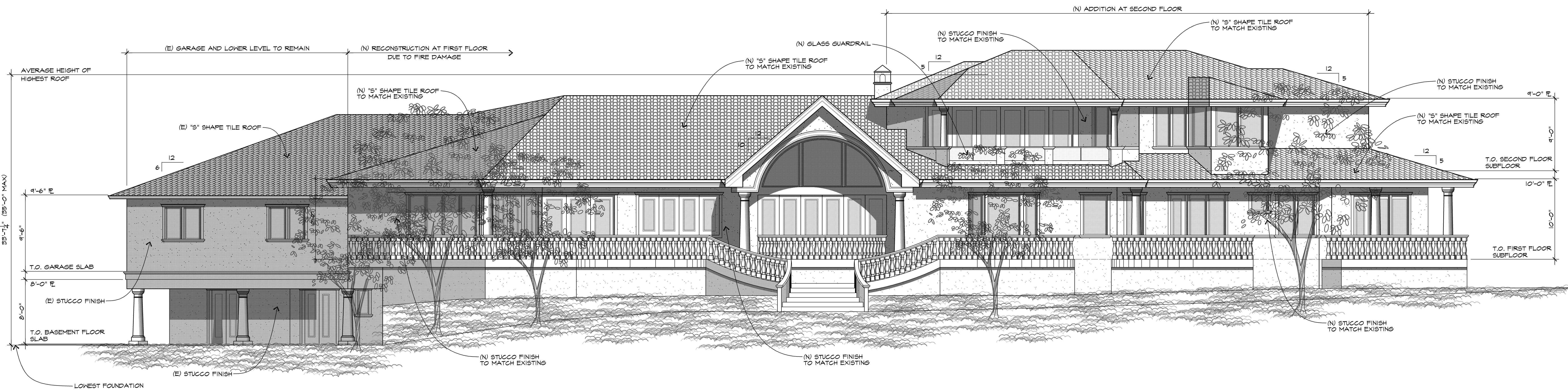
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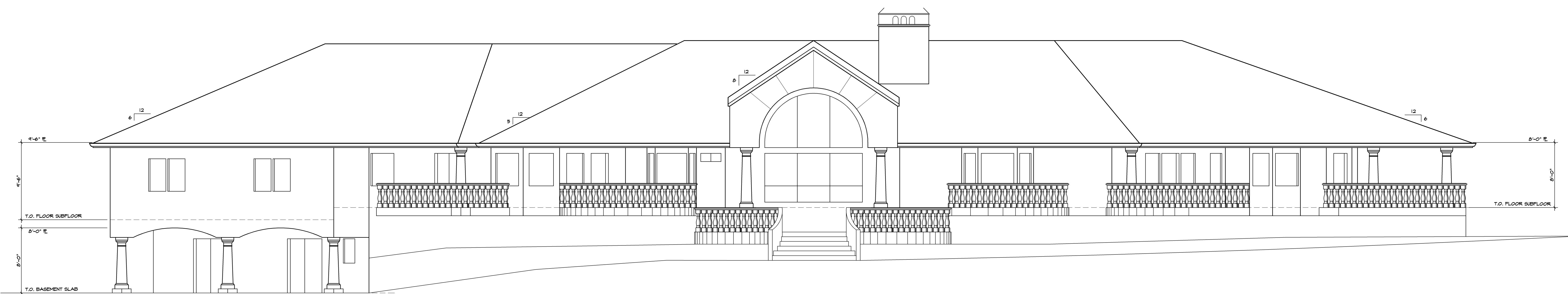
PADIS RESIDENCE

3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558



PROPOSED REAR ELEVATION

SCALE: $\frac{1}{8}$ " = 1'-0"



EXISTING REAR ELEVATION

SCALE: $\frac{1}{8}$ " = 1'-0"

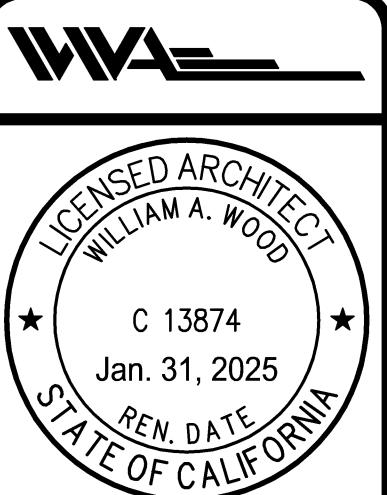
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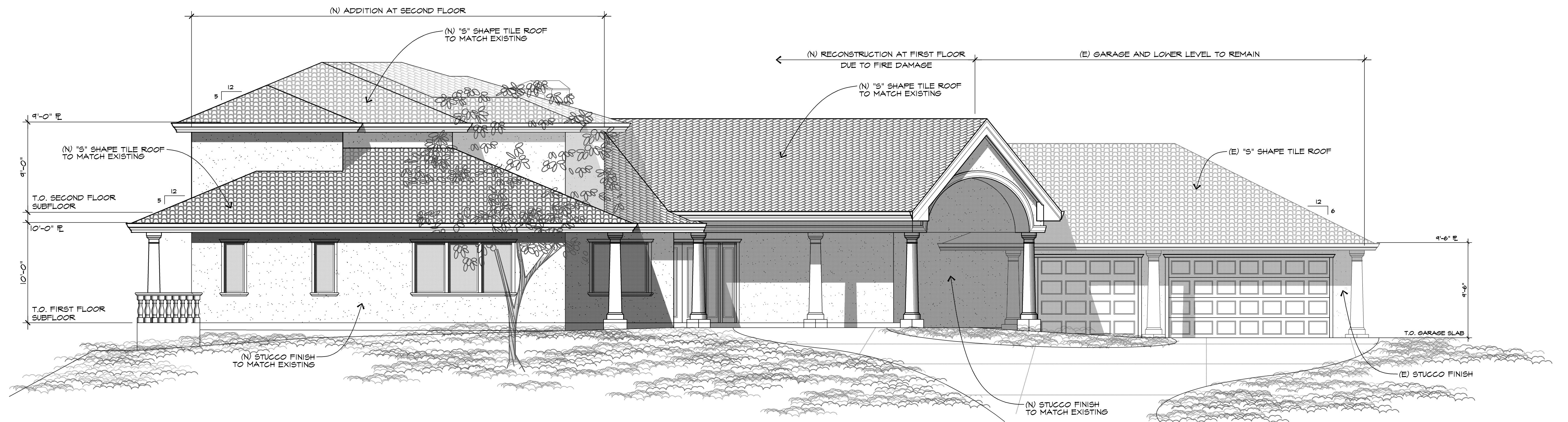
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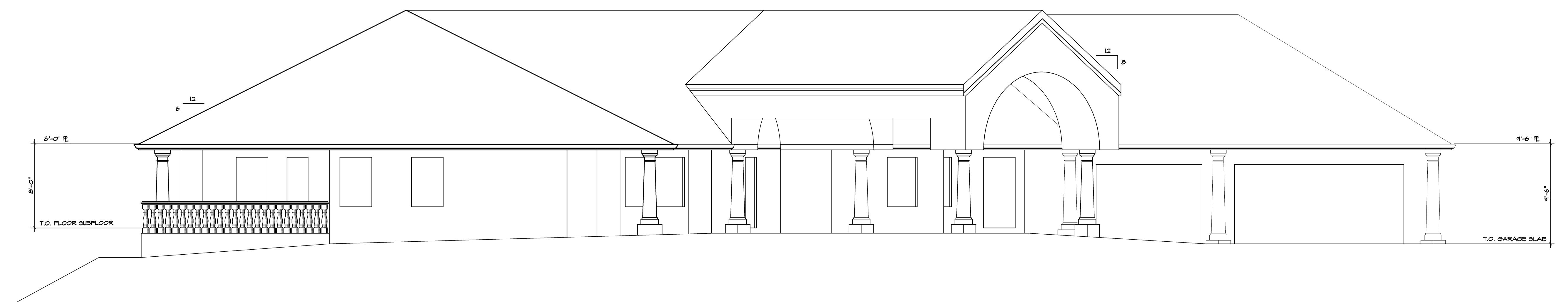
PADIS RESIDENCE

3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558



PROPOSED LEFT ELEVATION

SCALE: $\frac{3}{8}$ " = 1'-0"



EXISTING LEFT ELEVATION

SCALE: $\frac{3}{8}$ " = 1'-0"

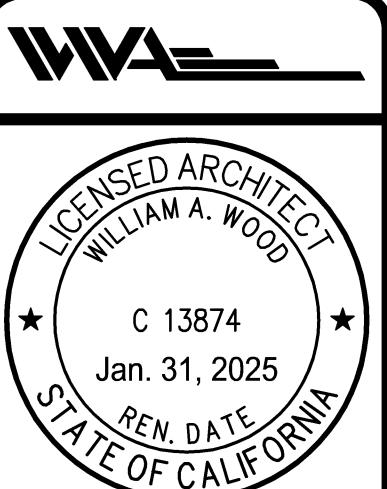
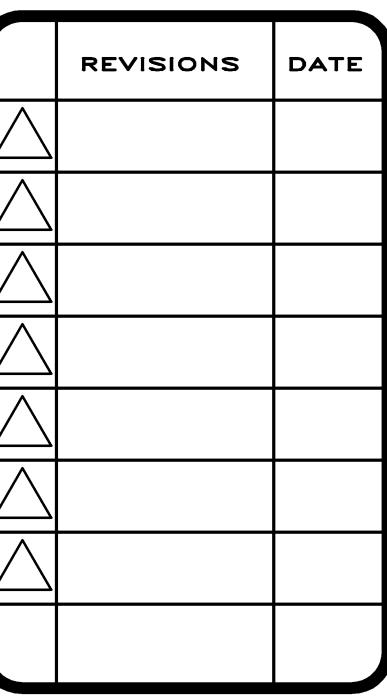
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A9

OF SHEETS

PLOT DATE: Jul 22, 2024 - 5:08pm A8-A12 Existing Elevation - view preceding



PADIS RESIDENCE

3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558

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ARCHITECTS
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DANVILLE, CALIFORNIA 94526
(925) 820-8233

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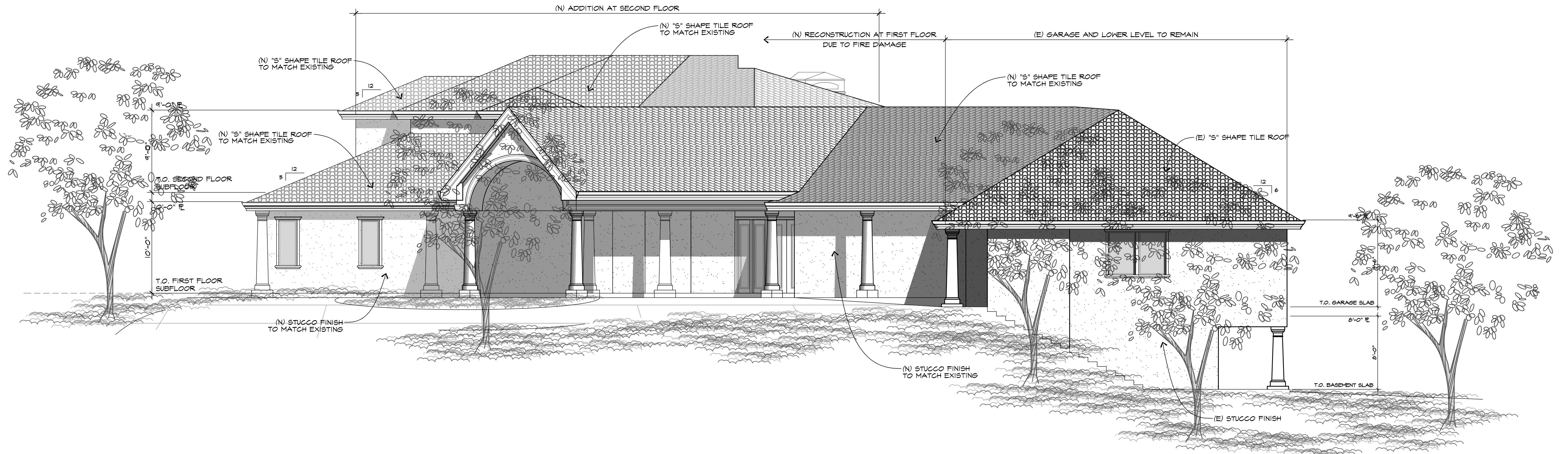
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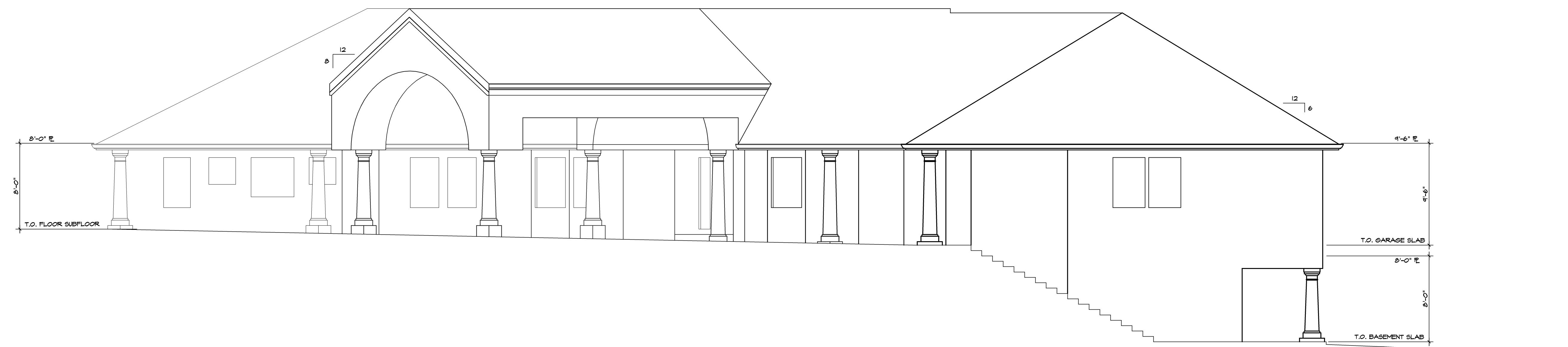
SHEET

A10



PROPOSED RIGHT ELEVATION

SCALE: $\frac{3}{16}$ " = 1'-0"



EXISTING RIGHT ELEVATION

SCALE = 3" = 1'-0"

The image shows the title page of a book. The title 'WILLIAM WOOD'S WORK' is at the top in large, bold, serif capital letters. Below the title is a decorative floral ornament. The text 'THIS IS AN ORIGINAL WORK, AND MAY NOT BE PUBLISHED, OR REPRODUCED, WITHOUT WRITTEN CONSENT OF THE PUBLISHER, WILLIAM WOOD' is printed in a smaller, serif font. At the bottom, it says 'COPYRIGHT © WILLIAM WOOD'.



PROPOSED RESIDENCE AS VIEWED FROM DRY CREEK ROAD
(ROAD TO HOUSE IS 1,550' ±)



EXISTING RESIDENCE AS VIEWED FROM DRY CREEK ROAD
(ROAD TO HOUSE IS 1,550' ±)

PADIS RESIDENCE

3023 & 3025 DRY CREEK ROAD
NAPA, CA 94558

**WILLIAM WOOD
ARCHITECTS**
301 Hartz Avenue, Suite 203
Danville, California 94526
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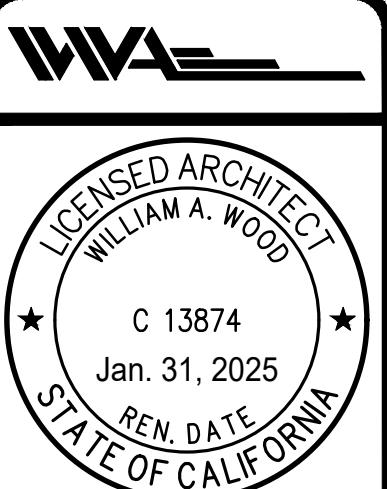
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RENEWAL DATE

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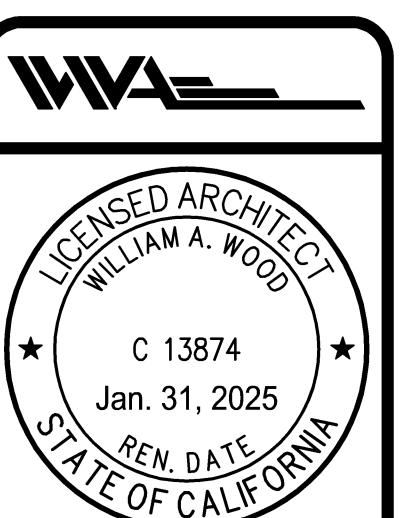
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ELECTRICAL NOTES

- 1) VERIFY LOCATION AND NUMBER OF FLOOR OUTLETS W/ OWNER.
- 2) PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. PER 2022 CEC.
- 3) PROVIDE AN ARC-FAULT CIRCUIT INTERRUPTER TO PROTECT ALL RECEPTACLES IN THE BEDROOMS. PER 2022 CEC
- 4) PROVIDE RECEPTACLE OUTLETS IN FOLLOWING LOCATIONS:
 - A. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12" LOCATED SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE.
 - B. AN EXTERIOR RECEPTACLES AT THE FRONT AND REAR OF THE HOME. THEY MUST BE WITHIN 6 FEET, 6 INCHES OF GRADE AND WATERPROOF.
 - C. ONE RECEPTACLE FOR THE LAUNDRY, (I.E.;WASHER). CEC 210-52(F)
 - D. IN ANY HALLWAY 10 FT OR MORE IN LENGTH. CEC 210-52 (H)
- 5) FLOOR OUTLETS MAY BE USED AS REQUIRED WALL OUTLETS WHEN LOCATED WITHIN 18" OF THE WALL IN ACCORDANCE WITH 2022 CEC. SUCH AS THE DINING ROOM, PARLOR AND FAMILY ROOM.
- 6) KITCHEN COUNTERTOP RECEPTACLES SHALL BE LOCATED ABOVE THE COUNTEROP NOT MORE THAN 18", AND MAY NOT BE INSTALLED FACE-UP IN THE COUNTER.
- 7) CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A FOUR-PRONG OUTLET IS REQUIRED FOR DRYERS AND COOKING UNITS.
- 8) KITCHEN COUNTER OUTLETS FOR SMALL APPLIANCES ARE REQUIRED TO BE POWERED FROM TWO SEPERATE CIRCUITS
- 9) ELECTRICAL OUTLETS IN THE BEDROOMS ARE REQUIRED TO HAVE AFCI PROTECTION.
- 10) ELECTRICAL OUTLETS IN BATHROOMS, LAUNDRY ROOMS, GARAGE AND KITCHEN COUNTER AND OUTSIDE ARE REQUIRED TO HAVE GFCI PROTECTION.
- 11) ELECTRICAL OUTLETS OUTSIDE THE BUILDING REQUIRE WETHER-PROTECTED GFI PER ART. 210-52
- 12) PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CISRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION - WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED)
- 13) CONTRACTOR TO PROVIDE THE OPTION OF GAS OR 220V @ THE COOK TOP (VERIFY W/ OWNER)
- 14) PROVIDE APPROVED EXCESS GAS SHUT-OFF DEVICES, NON-MOTION SENSITIVE TO BE TRIGGERED WHEN THE GAS FLOW EXCEEDS THE DESIGN FLOW LIMIT, AT EACH CONNECTION OF A GAS APPLIANCE TO A GAS LINE PER C.C.CO. ORDINANCE 2004-27.
- 15) PRESSURE TEXT IS REQUIRED FOR GAS LINES PRIOR TO FINAL (MINIMUM 10 PSI FOR 15 MINUTES.
- 16) CONTRACTOR TO PROVIDE A COLD WATER CONNECTION @ THE REFRIGERATOR.
- 17) PROVIDE A PRESSURE RELIEF VALVE W/ DRAIN TO OUTSIDE @ WATER HEATER, TYP.
- 18) MINIMUM CAPACITY OF WATER HEATER EQUIVALENT TO NOT LESS THAN THE FIRST HOUR RATING OF 50 GALLON, OR PER T-24 CALC WHICHEVER IS GREATER.
- 19) PROVIDE HOSE BIBB (1/2" CW) WITH A NON-REMOVABLE ANTI-SIPHON DEVICE.
- 20) WATER CLOSET MAXIMUM 1.6 GALLONS PER FLUSH.
- 21) SHOWER HEADS AREA ALLOWED MAXIMUM 2.5 GPM FLOW PER.
- 22) KITCHEN FAUCETS MAX. 2.2 GPM
- 23) BATHROOM FAUCET SHALL NOT CONSUME MORE THAN 2.2 GPM PER SECT 402.5
- 24) SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VAVLE TYPE. CPC 420.0
- 25) KITCHEN & BATHROOM LIGHTING SHALL MEET EFFICIENCY REQUIREMENT TITLE 24-2-5352(j).

LUMINAIRES FOR GENERAL LIGHTING IN KITCHENS SHALL HAVE LAMPS AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS. THIS GENERAL LIGHTING SHALL BE CONTROLLED BY SWITCH ON A READILY ACCESIBLE LIGHTING CONTROL PANEL AT AN ENTRANCE TO THE KITCHEN. 150 (K)1. ROOMS WITH A SHOWER OR BATHTUB SHALL HAVE EITHER AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER SWITCHED AT THE ENTRANCE TO THE ROOM OR ONE OF THE ALTERNATIVES TO THIS REQUIREMENT ALLOWED IN SEC 150 (K)2.; AND RECESSED CEILING FIXTURES ARE INSULATION COVER) APPROVED. 150 (K) 2

ALL LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES SHALL BE LABELLED "SAFE FOR DAMP LOCATIONS" AND IF CEILING HEIGHT IS => 8 FT. BE PROTECTED BY GFCI. CEC 410-4(A),208

RESIDENTIAL LIGHTING STANDARDS REQUIREMENTS SHALL INCORPORATE CALIFORNIA BUILDING EFFICIENCY STANDARDS TITLE 24, PARTS 1 AND 2 OF THE CALIFORNIA BUILDING CODE OF REGULATIONS VERSION OCTOBER 2022

HIGH EFFICIENCY LIGHTING IN THE KITCHEN SHALL BE SWITCHED SEPARATELY.

ICC CANS FOR CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE TO PROVIDE AIR TIGHT RECESSED LUMINARIES

IC RATED CANS (ZERO CLEARANCE RATED TO COMPLY WITH T-24) ARE REQUIRED FOR LIGHT FIXTURES IN THE INSULATED CEILING AREA.

THERMOSTAT LOCATION TO BE DETERMINED BY HVAC DESIGNER.

FLOOR & CEILING AIR REGISTERS TO BE DETERMINED BY HVAC DESIGNER.

INSTALLATION INSTRUCTIONS FOR ALL EQUIP. SHALL BE PROVIDED TO FIELD INSPECTOR @ THE TIME OF INSPECTION.

ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.

(2001 SEC.901.4.4). PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO POWER THE ADDRESS SIGN. DOOR BELL CAN USE THE SAME CIRCUIT.

ELECTRICAL MAIN AND SUB-PANEL(S) SHALL NOT BE LOCATED IN THE NEARITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS LOCATED IN BATHROOMS. CEC 240-24(D) AND 240-24 (E)

CONTRACTOR TO PROVIDE AND ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL PAN BELOW CONDENSATE PRODUCING EQUIPMENT INSTALLED IN THE ATTIC OR FURRED SPACE. THE SECONDARY DRAIN LINE SHALL NOT BE SHOWN AT A POINT WHERE IT CAN BE READILY OBSERVED.

D) CONTRACTOR TO SPECIFY SEISMIC ANCHORAGE OF THE FURNACE PER MANUFACTURES LISTING.

D) UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURE'S INSTALLATION INSTRUCTIONS AND APPROVED BY THE ADMINISTRATIVE AUTHORITY, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF FOURTEEN (14) FEET, INCLUDING 2 NINETY DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH NINETY DEGREE ELBOW IN EXCESS OF TWO. PER 2022 CMC 504.3.2.2.

D) GROUND CLEANOUT SHALL BE WATER TIGHT AND GAS-TIGHT (IF IT'S ABOVE INSIDE UNDER THE BUILDING) OTHERWISE EXTEND TO THE EXTERIOR OF THE BUILDING.

D) VENTS SHALL TERMINATE AT LEAST 10 FT. HORIZONTALLY FROM AND AT LEAST 3 FT. ABOVE ANY OPENABLE SKYLIT/WINDOW, AIR INTAKE OR PLUMBING VENT SHFT. CPC 906.2

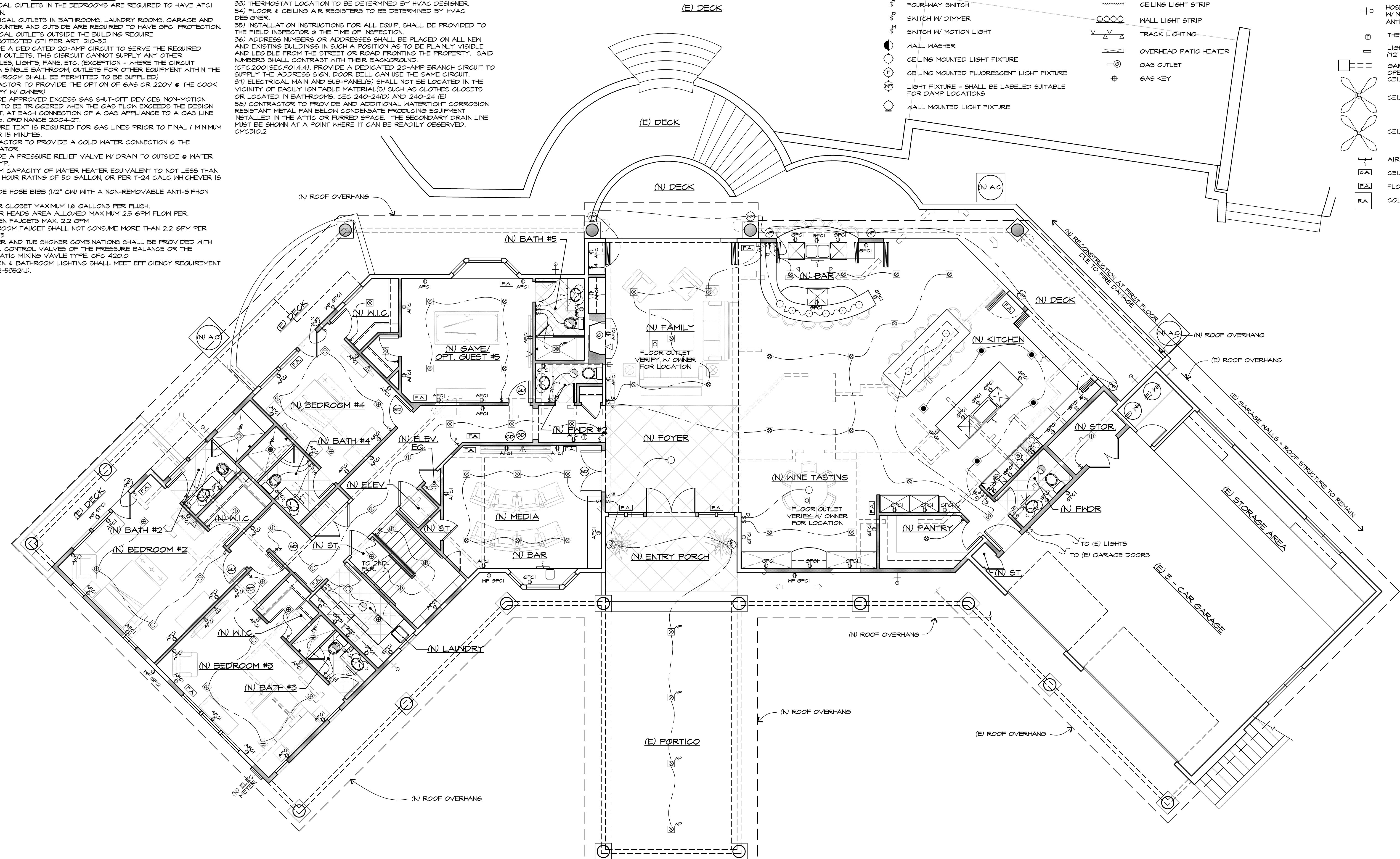
D) PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE FOLLOWING ROOMS: BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS. CBC 03.3

ELECTRICAL/MECHANICAL KEY

This image contains a comprehensive legend for architectural symbols, primarily for electrical and HVAC systems, used in building plans. The symbols are organized into three main columns:

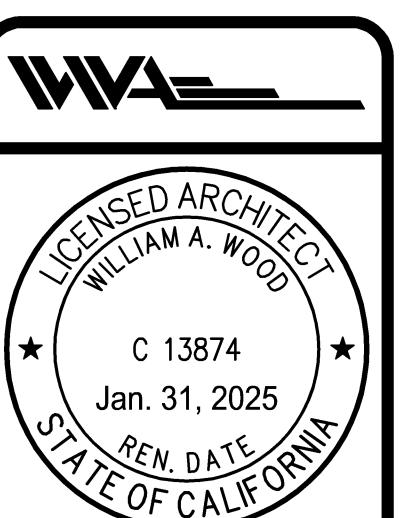
- Electrical Symbols:**
 - DUPLEX RECEPTACLE OUTLET @ 12" U.N.O.
 - SWITCHED RECEPTACLE OUTLET @ 12" U.N.O.
 - DUPLEX RECEPTACLE OUTLET @ 12" U.N.O. W/ ARC-FAULT CIRCUIT INTERRUPTER (AFCI)
 - DUPLEX RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER (GFCI)
 - WEATHER PROOF DUPLEX RECEPTACLE OUTLET (GFI PROTECTED PER NEC210-8(a)3)
 - DUPLEX RECEPTACLE OUTLET - 220 VOLT
 - 4-PLEX RECEPTACLE OUTLET
 - CEILING DUPLEX RECEPTACLE OUTLET
 - FLOOR DUPLEX RECEPTACLE OUTLET
 - SINGLE POLE SWITCH @ 48" U.N.O.
 - THREE-WAY SWITCH
 - FOUR-WAY SWITCH
 - SWITCH W/ DIMMER
 - SWITCH W/ MOTION LIGHT
 - WALL WASHER
 - CEILING MOUNTED LIGHT FIXTURE
 - CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
 - LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS
 - WALL MOUNTED LIGHT FIXTURE
- Lighting Symbols:**
 - WALL MOUNTED LIGHT FIXTURE - SHALL BE SUITABLE FOR DAMP LOCATIONS
 - HANGING LIGHT
 - CEILING MOUNTED LIGHT/FAN COMBO
 - RECESSED LED CEILING LIGHT FIXTURE
 - RECESSED LOW VOLTAGE CEILING LIGHT
 - RECESSED LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS
 - RECESSED FLUORESCENT LIGHT FIXTURE
 - RECESSED FLUORESCENT LIGHT/FAN COMBO
 - FLOOD LIGHT
 - FLUORESCENT LIGHT FIXTURE
 - FLUORESCENT LIGHT FIXTURE (UNDER CABINET)
 - CEILING LIGHT STRIP
 - WALL LIGHT STRIP
 - TRACK LIGHTING
 - OVERHEAD PATIO HEATER
 - GAS OUTLET
 - GAS KEY
- HVAC and Other Symbols:**
 - NOTE: OUTDOOR LIGHTING FIXTURES SHALL BE CONTROLLED BY A MOTION SENSOR W/ AN INTEGRAL PHOTOREFLECTOR, TYP.
 - WALL SCONCE
 - OUTDOOR POST LANTERN - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS.
 - EXHAUST FAN
 - SMOKE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED
 - CARBON MONOXIDE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED
 - CAT V
 - TELEVISION OUTLET
 - HOSE BIBB W/ VACUUM BREAKER
 - HOSE BIBB (1/2" CW) W/ NON- REMOVABLE ANTI-SIPHON DEVICE (FOR OUTSIDE BIBB)
 - THERMOSTAT
 - LIGHTED WALL MOUNTED ADDRESS (72" HIGH, U.O.N.)
 - GARAGE DOOR OPENER, W/ PUSH BUTTON OPENER INSIDE OF GARAGE & PROVIDE CEILING OUTLET
 - CEILING FAN & LIGHT COMBO
 - CEILING FAN
 - AIR SUPPLY LOCATED IN TOE SPACE
 - CEILING SUPPLY AIR REGISTER
 - FLOOR AIR SUPPLY REGISTER
 - COLD AIR RETURN @ CEILING

Below the symbols, there is a floor plan showing a room with a central air conditioning unit (N. A.C.) and a ceiling fan with a light fixture. The plan includes a staircase and various wall and ceiling fixtures.



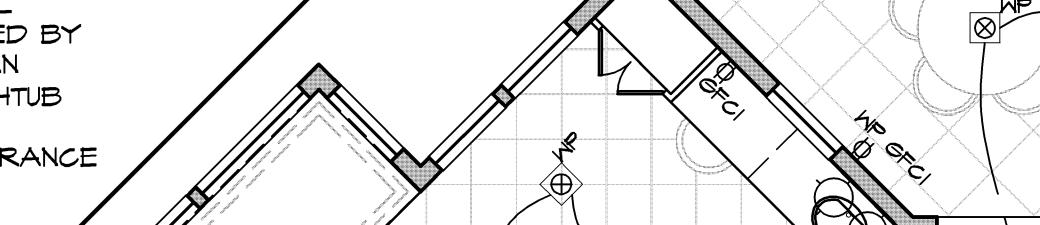
PROPOSED FIRST FLOOR ELECTRICAL/ MECHANICAL PLAN

SCALE: $\frac{5}{8}'' = 1'-0''$



ELECTRICAL NOTES

1) VERIFY LOCATION AND NUMBER OF FLOOR OUTLETS W/ OWNER.
 2) PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. PER 2022 CEC.
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 B. AN EXTERIOR RECEPTACLES AT THE FRONT AND REAR OF THE HOME. THEY MUST BE WITHIN 6 FEET, 6 INCHES OF GRADE AND WATERPROOF.
 C. ONE RECEPTACLE FOR THE LAUNDRY, (I.E. WASHER). CEC 210-52(F)
 D. IN ANY HALLWAY 10 FT OR MORE IN LENGTH. CEC 210-52 (H)
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 13) CONTRACTOR TO PROVIDE THE OPTION OF GAS OR 220V @ THE COOK TOP (VERIFY W/ OWNER)
 14) PROVIDE APPROVED EXCESS GAS SHUT-OFF DEVICES, NON-MOTION SENSITIVE TO BE TRIGGERED WHEN THE GAS FLOW EXCEEDS THE DESIGN FLOW LIMIT, AT EACH CONNECTION OF A GAS APPLIANCE TO A GAS LINE PER C.C.CO. ORDINANCE 2004-27.
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 16) CONTRACTOR TO PROVIDE A COLD WATER CONNECTION @ THE REFRIGERATOR.
 17) PROVIDE A PRESSURE RELIEF VALVE W/ DRAIN TO OUTSIDE @ WATER HEATER, TYP.
 18) MINIMUM CAPACITY OF WATER HEATER EQUIVALENT TO NOT LESS THAN THE FIRST HOUR RATING OF 50 GALLON, OR PER T-24 CALC WHICHEVER IS GREATER.
 19) PROVIDE HOSE BIBB (1/2" CW) WITH A NON-REMOVABLE ANTI-SIPHON DEVICE.
 20) WATER CLOSET MAXIMUM 1.6 GALLONS PER FLUSH.
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 23) BATHROOM FAUCET SHALL NOT CONSUME MORE THAN 2.2 GPM PER SECT 402.5
 24) SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VAVLE TYPE. CPC 420.0
 25) KITCHEN & BATHROOM LIGHTING SHALL MEET EFFICIENCY REQUIREMENT TITLE 24-2-5352(J).
 26) LUMINAIRES FOR GENERAL LIGHTING IN KITCHENS SHALL HAVE LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS. THIS GENERAL LIGHTING SHALL BE CONTROLLED BY A SWITCH ON A READILY ACCESIBLE LIGHTING CONTROL PANEL AT AN ENTRANCE TO THE KITCHEN. 150 (K)1. ROOMS WITH A SHOWER OR BATHTUB MUST HAVE EITHER AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER SWITCHED AT THE ENTRANCE TO THE ROOM OR ONE OF THE ALTERNATIVES TO THIS REQUIREMENT ALLOWED IN SEC 150 (K)2.; AND RECESSED CEILING FIXTURES ARE IC (INSULATION COVER) APPROVED. 150 (K) 2
 27) ALL LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES SHALL BE LABEL "SUITABLE FOR DAMP LOCATIONS" AND IF CEILING HEIGHT IS => 8 FT. BE PROTECTED BY GFCI. CEC 410-4(A),208
 28) RESIDENTIAL LIGHTING STANDARDS REQUIREMENTS SHALL INCORPORATE THE CALIFORNIA BUILDING EFFICIENCY STANDARDS TITLE 24, PARTS 1 AND 6, OF THE CALIFORNIA BUILDING CODE OF REGULATIONS VERSION OCTOBER 19, 2022
 29) HIGH EFFICIENCY LIGHTING IN THE KITCHEN SHALL BE SWITCHED SEPARATELY.
 30) ICC CANS FOR CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE
 31) PROVIDE AIR TIGHT RECESSED LUMINARIES
 32) IC RATED CANS (ZERO CLEARANCE RATED TO COMPLY WITH T-24) ARE REQUIRED FOR LIGHT FIXTURES IN THE INSULATED CEILING AREA.
 33) THERMOSTAT LOCATION TO BE DETERMINED BY HVAC DESIGNER.
 34) FLOOR & CEILING AIR REGISTERS TO BE DETERMINED BY HVAC DESIGNER.
 35) INSTALLATION INSTRUCTIONS FOR ALL EQUIP. SHALL BE PROVIDED TO THE FIELD INSPECTOR @ THE TIME OF INSPECTION.
 36) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
 (CFC,2001,SEC.901.4.4). PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE ADDRESS SIGN. DOOR BELL CAN USE THE SAME CIRCUIT.
 37) ELECTRICAL MAIN AND SUB-PANEL(S) SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS OR LOCATED IN BATHROOMS. CEC 240-24(D) AND 240-24 (E)
 38) CONTRACTOR TO PROVIDE AND ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL PAN BELOW CONDENSATE PRODUCING EQUIPMENT INSTALLED IN THE ATTIC OR FURRED SPACE. THE SECONDARY DRAIN LINE MUST BE SHOWN AT A POINT WHERE IT CAN BE READILY OBSERVED.
 CMC310.2



ELECTRICAL/MECHANICAL KEY

This image contains a comprehensive legend for architectural symbols, organized into three main sections: Electrical Symbols, Lighting Fixtures, and HVAC Symbols.

Electrical Symbols:

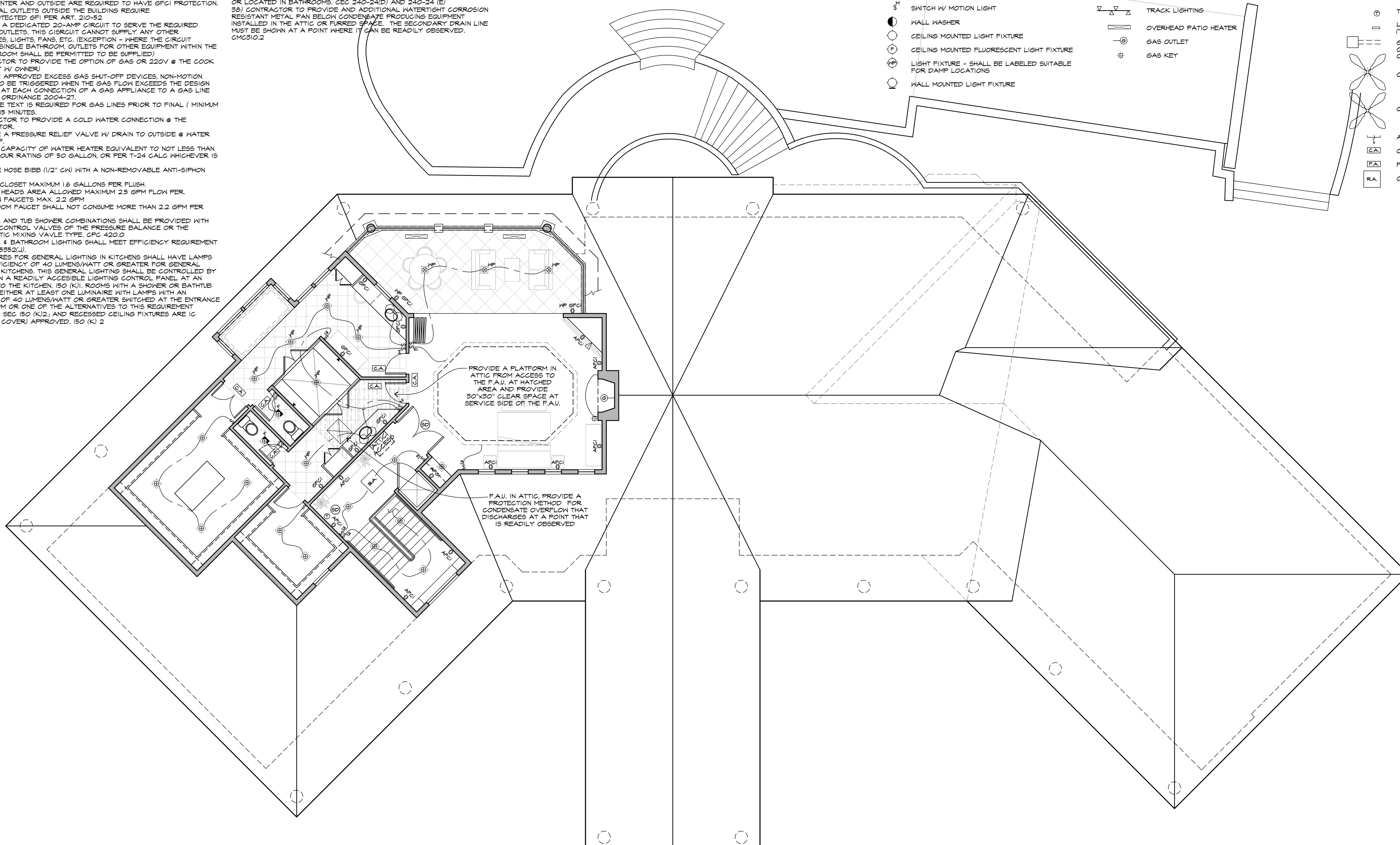
- Outlets:**
 - DUPLEX RECEPTACLE OUTLET @ 12" U.N.O.
 - SWITCHED RECEPTACLE OUTLET @ 12" U.N.O.
 - DUPLEX RECEPTACLE OUTLET @ 12" U.N.O. W/ ARC-FAULT CIRCUIT INTERRUPTER (AFCI)
 - DUPLEX RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER (GFCI)
 - WEATHER PROOF DUPLEX RECEPTACLE OUTLET (GFI PROTECTED PER NEC210-8(a)3)
 - DUPLEX RECEPTACLE OUTLET - 220 VOLT (220)
 - 4-PLEX RECEPTACLE OUTLET (#)
 - CEILING DUPLEX RECEPTACLE OUTLET (CLG)
 - FLOOR DUPLEX RECEPTACLE OUTLET (F)
 - SINGLE POLE SWITCH @ 48" U.N.O. (\$)
 - THREE-WAY SWITCH (\$)
 - FOUR-WAY SWITCH (\$)
 - SWITCH W/ DIMMER (\$)
 - SWITCH W/ MOTION LIGHT (\$)
 - WALL WASHER (W)
 - CEILING MOUNTED LIGHT FIXTURE (C)
 - CEILING MOUNTED FLUORESCENT LIGHT FIXTURE (F)
 - LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS (P)
 - WALL MOUNTED LIGHT FIXTURE (W)
- Switches:**
 - SWITCH W/ MOTION LIGHT (\$)
 - WALL WASHER (W)
 - CEILING MOUNTED LIGHT FIXTURE (C)
 - CEILING MOUNTED FLUORESCENT LIGHT FIXTURE (F)
 - LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS (P)

Lighting Fixtures:

- WALL MOUNTED LIGHT FIXTURE - SHALL BE SUITABLE FOR DAMP LOCATIONS (WP)
- HANGING LIGHT (H)
- CEILING MOUNTED LIGHT/FAN COMBO (C)
- RECESSED LED CEILING LIGHT FIXTURE (R)
- RECESSED LOW VOLTAGE CEILING LIGHT (L)
- RECESSED LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS (WP)
- RECESSED FLUORESCENT LIGHT FIXTURE (F)
- RECESSED FLUORESCENT LIGHT/FAN COMBO (F)
- FLOOD LIGHT (FL)
- FLUORESCENT LIGHT FIXTURE (FL)
- FLUORESCENT LIGHT FIXTURE (UNDER CABINET) (FL)
- CEILING LIGHT STRIP (CL)
- WALL LIGHT STRIP (WL)
- TRACK LIGHTING (TL)
- OVERHEAD PATIO HEATER (OPH)
- GAS OUTLET (GO)
- GAS KEY (GK)

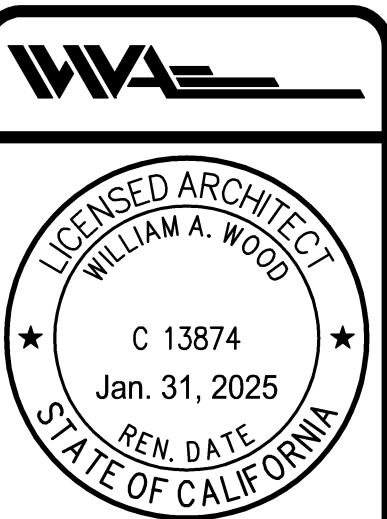
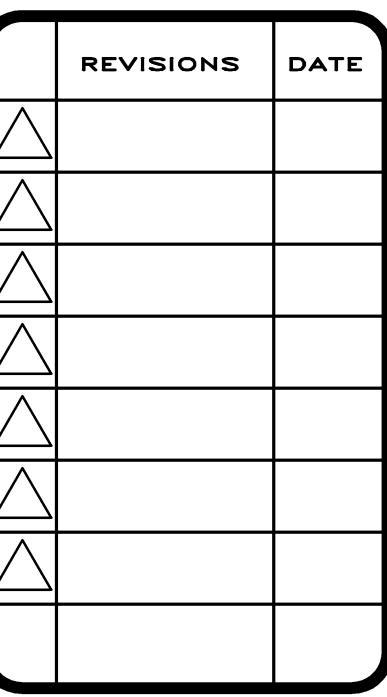
HVAC Symbols:

- NOTE: OUTDOOR LIGHTING FIXTURES SHALL BE CONTROLLED BY A MOTION SENSOR W/ AN INTEGRAL PHOTOSENSOR, TYP. (N)
- WALL SCONCE (WS)
- OUTDOOR POST LANTERN - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS. (OL)
- EXHAUST FAN (EF)
- SMOKE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED (SD)
- CARBON MONOXIDE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED (CD)
- CAT V (CAT)
- TELEVISION OUTLET (TV)
- HOSE BIBB W/ VACUUM BREAKER (HB)
- HOSE BIBB (1/2" CW) W/ NON- REMOVABLE ANTI-SIPHON DEVICE (FOR OUTSIDE BIBB) (HB)
- THERMOSTAT (T)
- LIGHTED WALL MOUNTED ADDRESS (72" HIGH, U.O.N.) (LWA)
- GARAGE DOOR OPENER, W/ PUSH BUTTON OPENER INSIDE OF GARAGE & PROVIDE CEILING OUTLET (GDO)
- CEILING FAN & LIGHT COMBO (CFL)
- CEILING FAN (CF)
- AIR SUPPLY LOCATED IN TOE SPACE (AS)
- CEILING SUPPLY AIR REGISTER (CSA)
- FLOOR AIR SUPPLY REGISTER (FAS)
- COLD AIR RETURN @ CEILING (CAR)



PROPOSED SECOND FLOOR ELECTRICAL/MECHANICAL PLAN

SCALE: $\frac{3}{16}$ " = 1'-0"



PADIS RESIDENCE

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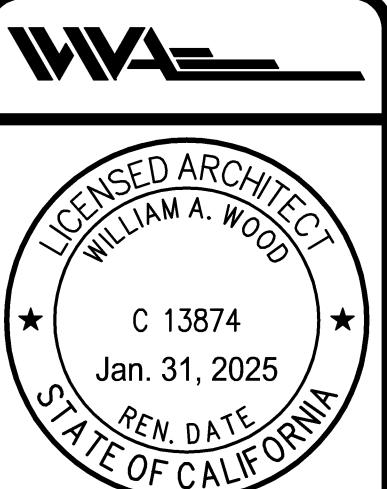
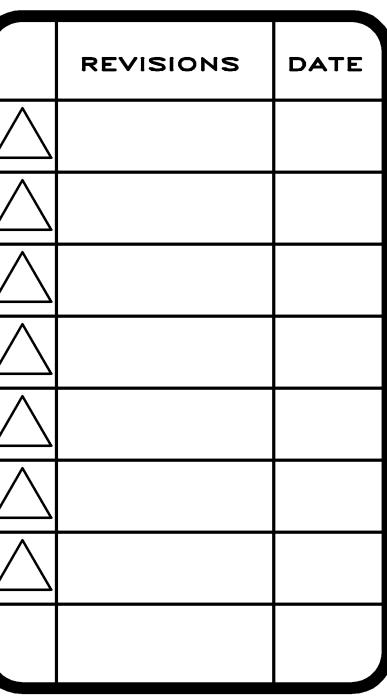
This architectural Existing Floor Plan illustrates the layout of a house with the following key features and rooms:

- Exterior Areas:** (E) DECK, (E) POOL, (E) 3-CAR GARAGE, (E) MOTOR COURT, (E) FOUNTAIN.
- Living and Dining Areas:** (E) SITTING AREA, (E) FAMILY ROOM, (E) LIVING ROOM, (E) DINING, (E) BREAKFAST NOOK.
- Kitchen and Utility:** (E) KITCHEN, (E) BUTLER PANTRY, (E) PANTRY, (E) LAUNDRY.
- Bedrooms:** (E) BEDROOM, (E) BEDROOM #2, (E) BEDROOM #3, (E) BEDROOM #4.
- Baths:** (E) BATH, (E) BATH #2, (E) BATH #3.
- Staircases:** (E) STAIRS UP, (E) STAIRS DN.
- Other:** (E) PLANTER, (E) FOUNTAIN, (E) PORTICO, (E) HALLWAY, (E) LIN, (E) W.I.C., (E) PLANTER, (E) PLANTER.

The plan shows a complex arrangement of rooms, including a central foyer, a formal dining room, a breakfast nook, and a large kitchen. There are four bedrooms, three full baths, and two half-baths. The house features multiple decks and patios, a three-car garage, and a motor court. Staircases provide access between levels, and various walk-in closets (W.I.C.) and planters are included throughout the property.

EXISTING FLOOR PLAN

SCALE: $\frac{3}{16}$ " = 1'-0"



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EXISTING BASEMENT PLAN

SCALE: $\frac{3}{16}$ " = 1'-0"

