

“E”

Project Plans – Part 1
Architectural & Landscape



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1 SOUTHEAST VIEW

PROJECT CLOUD
Ponderosa One, LLC
 80 Clear Creek Rd. - Oakville - CA - 94562

LOCATION MAP



CODE INFORMATION

USE: STORAGE & ELECTRICAL EQUIPMENT

OCCUPANCIES: GROUP U

CONSTRUCTION TYPE: V-B, SPRINKLERED

FEMA FLOOD ZONE: N/A

APPLICABLE CODES:

- 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC)
- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA RESIDENTIAL BUILDING CODE (CRBC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
- 2022 NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE
- CA WILDLAND-URBAN INTERFACE CODE

STRUCTURAL DESIGN CRITERIA: SEE SHEET SN1

LIVE LOADS: SEE SHEET SN1

FIRE HAZARD SEVERITY ZONE: WITHIN THE WILD LAND INTERFACE

WIND DESIGN DATA: SEE SHEET SN1

SEISMIC DESIGN DATA: SEE SHEET SN1

FEMA FLOOD ZONE: N/A

SPECIAL LOADS: SEE SHEET SN1

SPECIAL INSPECTIONS: SEE SHEET SNA

PLANNING INFORMATION

ADDRESS: 80 CLEAR CREEK ROAD, OAKVILLE, CA 94558
APN: 027-310-032-000
ZONING DISTRICT: AV
LOT SIZE: 123 ac

FLOOR AREAS

MH EXISTING MAIN HOUSE:	9560 sf
GH EXISTING GUEST HOUSE:	1000 sf
SP SPA:	2692 sf
TP TENNIS PAVILION TOTAL:	6240 sf
LOWER LEVEL A:	1091 sf
LOWER LEVEL B:	1122 sf
LOWER STAIRS:	287 sf
MAIN LEVEL:	1870 sf
UPPER LEVEL:	1870 sf

US UNDERGROUND STORAGE:	3837 sf
WS WINE & ART STORAGE:	4348 sf
PV SIZE OF PV SYSTEM TBD	

SCOPE OF WORK

- CONSTRUCT A TENNIS PAVILION
- CONSTRUCT AN UNDERGROUND STORAGE STRUCTURE
- CONSTRUCT AN SPA
- CONSTRUCT AN UNDERGROUND WINE AND ART STORAGE STRUCTURE
- INSTALL A PHOTOVOLTAIC SYSTEM

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		TOTAL SHTS.: 45

VIEWSHED

PROJECT INFO. SHT INDEX

REVISIONS

No.	Description	Date
5	Revision 5	12/04/25

Project number:
 Date: 12/22/25

A000-00

Scale: As indicated



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VISUAL IMPACT ANALYSIS

P22-00182
 80 Clear Creek Rd., Napa, CA
 APN 027-310-032-000

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 Ponderosa One, LLC
 80 Clear Creek Rd. - Oakville - CA - 94562

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VISUAL IMPACT ANALYSIS

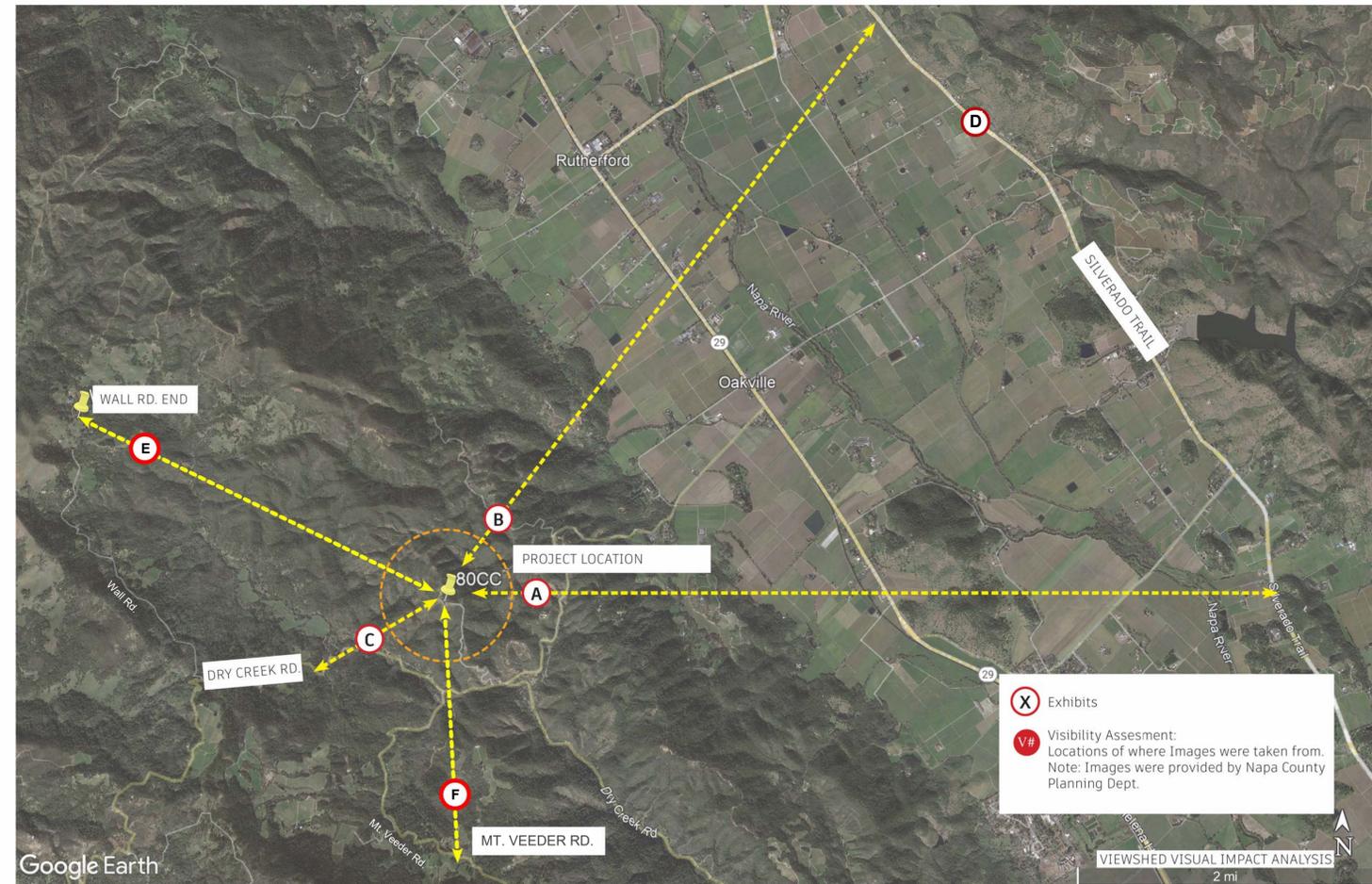
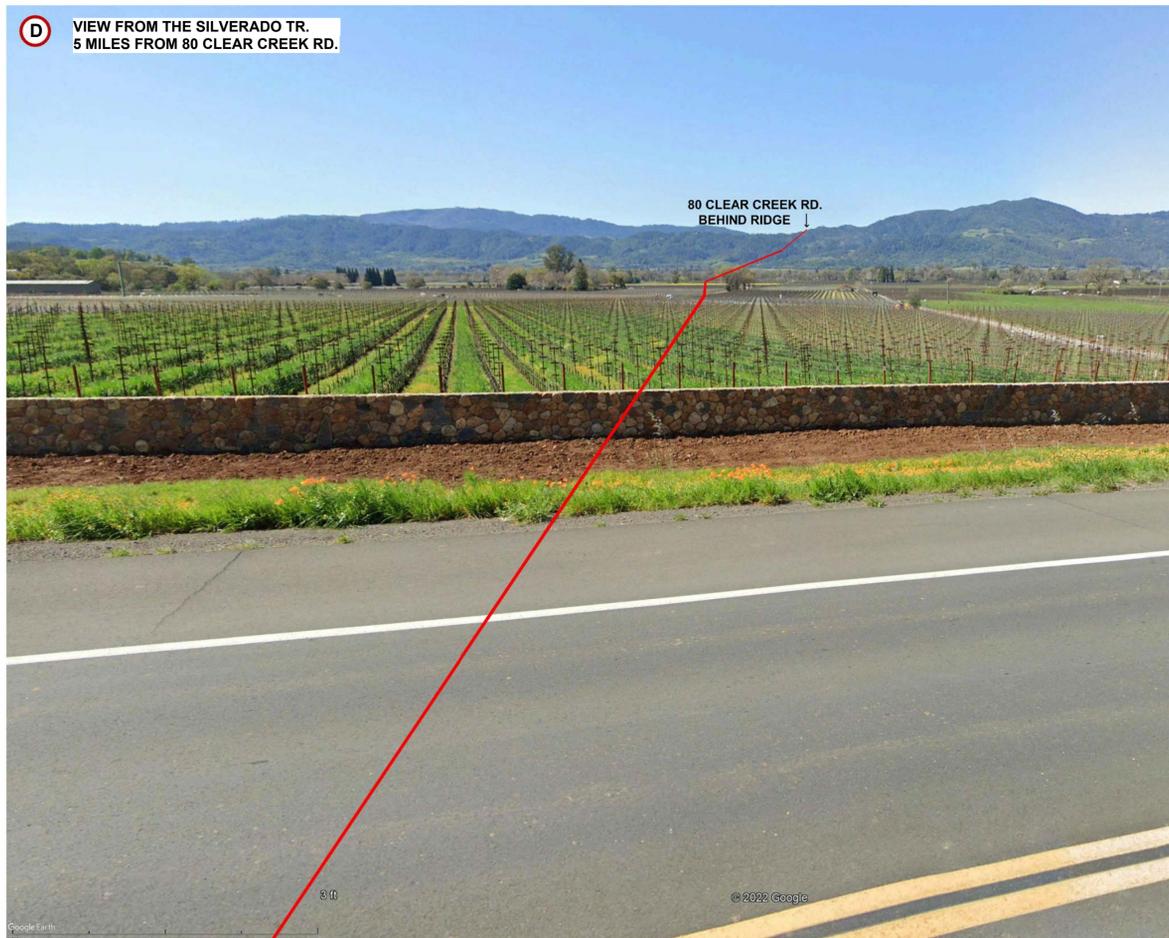
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No.	Description	Date

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A001-00

Scale 12" = 1'-0"





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VISUAL IMPACT ANALYSIS FROM SILVERADO TR.

REVISIONS

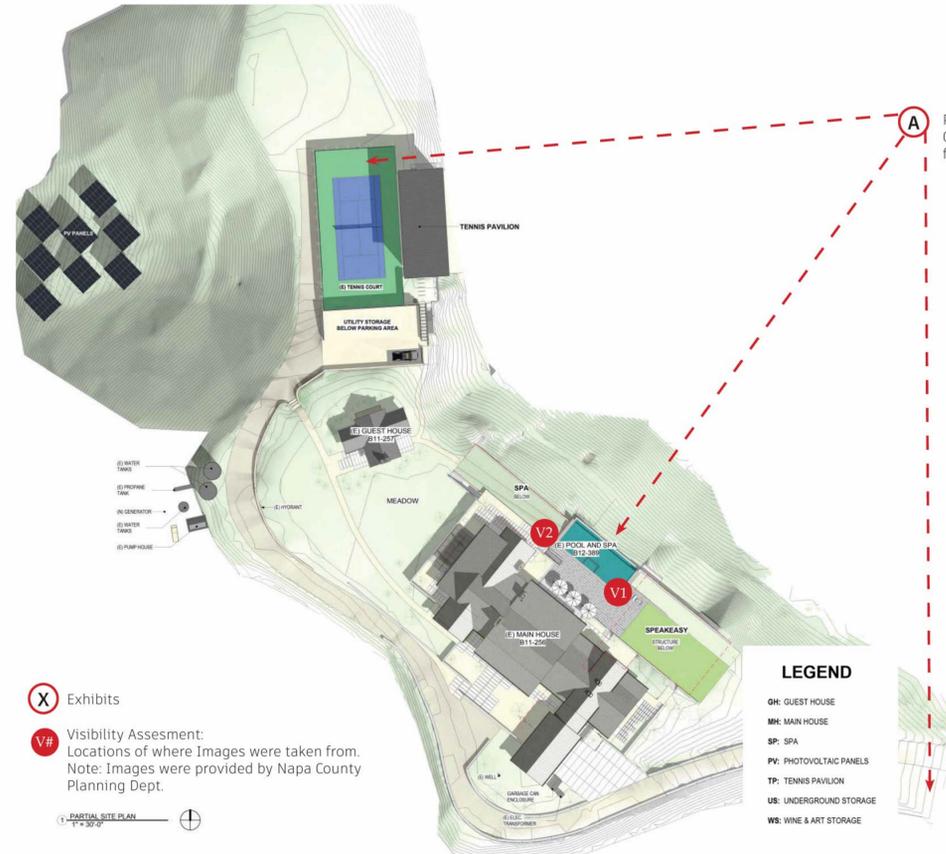
No.	Description	Date

Project number:
 Date: 12/22/25

A002-00

Scale

A. EXISTING POOL DECK AREA VIEW



POOL DECK AREA VIEW:
 Close-Up view of residence from Silverado Trail.

POOL DECK AREA:
 Looking East towards Silverado Trail



VIEWSHED VISUAL IMPACT ANALYSIS.

A. EXISTING POOL DECK AREA VIEW (CLOSE-UP) AS VIEWED FROM THE SILVERADO TRAIL



VIEWSHED VISUAL IMPACT ANALYSIS.



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VISUAL IMPACT ANALYSIS FROM SILVERADO TR.

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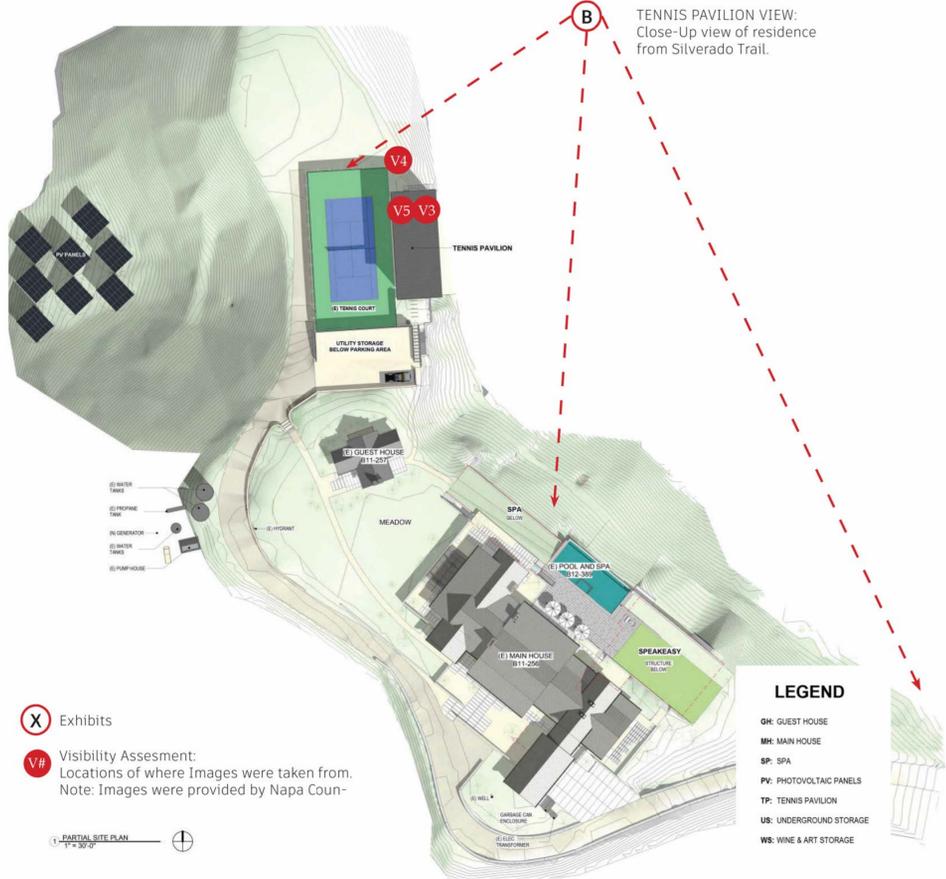
No.	Description	Date

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A003-00

Scale

B. TENNIS COURT & PAVILION VIEW



A. PAVILION VIEW WITH PROPOSED NEW TREES



Proposed New Vegetation for visual screening will cover 1700 sf. which is 50% of the building

Existing vegetation as shown. See Civil drawings for tree varieties, height and canopy width.

See Landscape Drawings for:
 - Initial Planting sizes & varieties of new vegetation

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**B. TENNIS COURT & PAVILION VIEW
 AS VIEWED FROM THE SILVERADO TRAIL**



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VISUAL IMPACT
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VISUAL IMPACT ANALYSIS FROM DRY CREEK RD.

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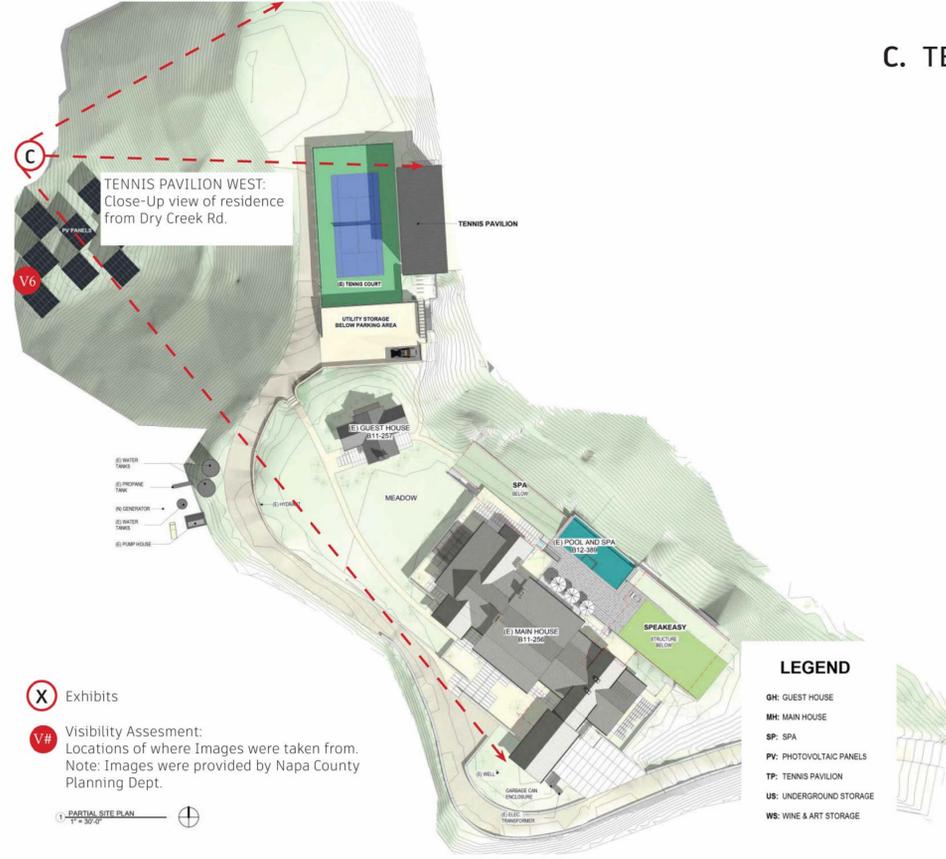
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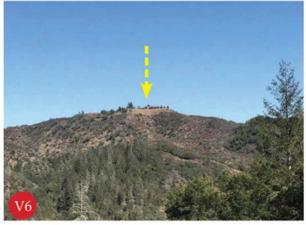
A005-00

Scale 1/4" = 1'-0"

C. TENNIS COURT & PAVILION WEST



TENNIS PAVILION:
 Dry Creek Rd. looking East



C. TENNIS COURT & PAVILION WEST



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VIEWS FROM DRY CREEK RD. C

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A005.1-00

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① VIEW FROM DRY CREEK ROAD - C

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P:\Ponderosa One\Revit Site 2024\80 Clear Creek Site 2025.rvt



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PARTIAL SITE PLAN

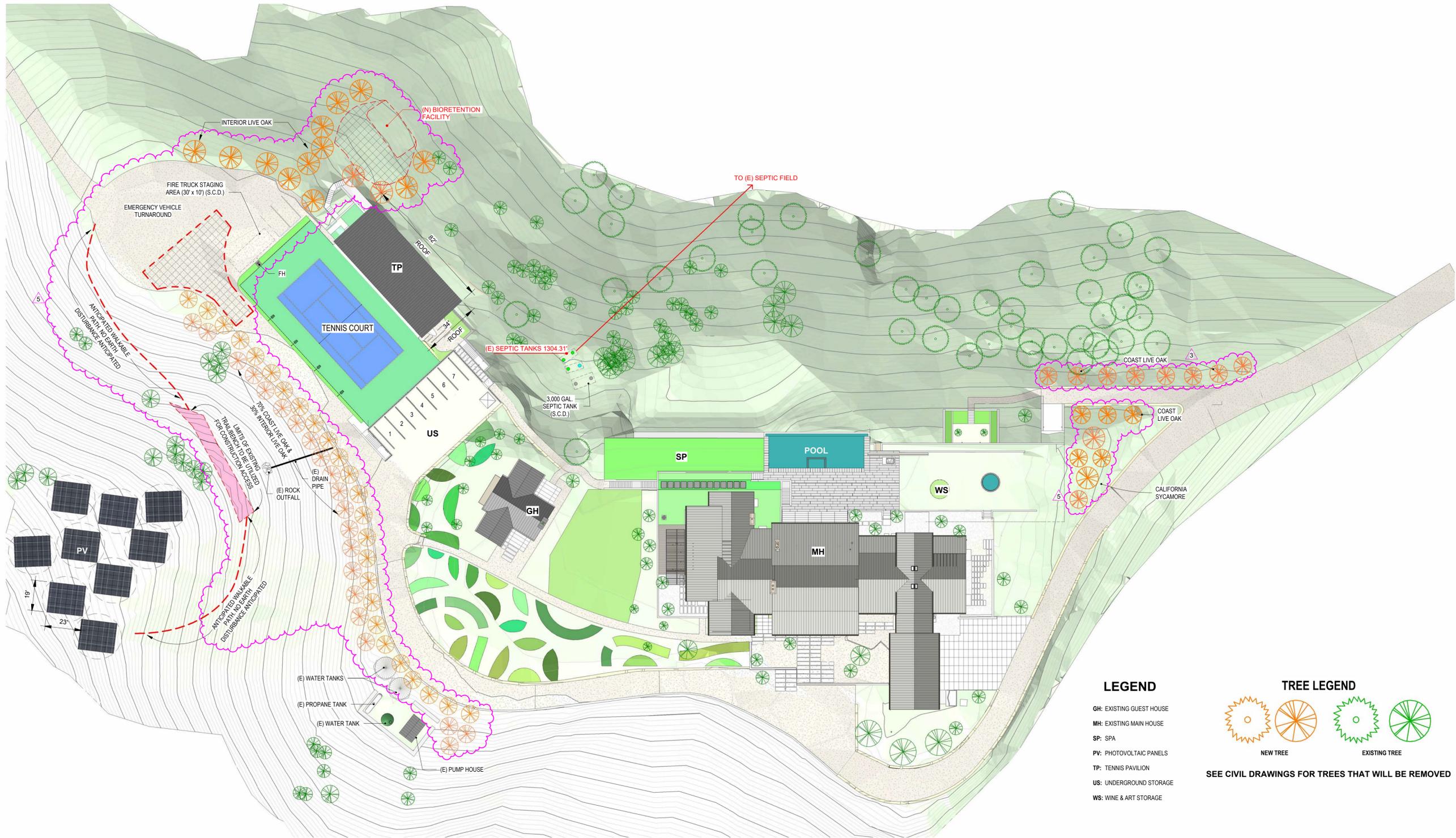
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No.	Description	Date
3	Revision 3	02/28/25
5	Revision 5	12/04/25

Project number:
 Date: 12/22/25

A007-00 5

Scale: As indicated



LEGEND

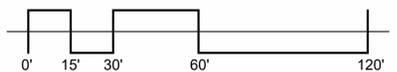
- GH: EXISTING GUEST HOUSE
- MH: EXISTING MAIN HOUSE
- SP: SPA
- PV: PHOTOVOLTAIC PANELS
- TP: TENNIS PAVILION
- US: UNDERGROUND STORAGE
- WS: WINE & ART STORAGE

TREE LEGEND



SEE CIVIL DRAWINGS FOR TREES THAT WILL BE REMOVED

1 PARTIAL SITE PLAN
 1" = 30'-0"



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VIEWSHED

AERIAL VIEW OF
 MT. VEEDER RD.
 F

REVISIONS

No.	Description	Date

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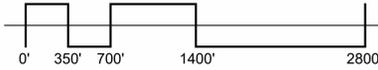
A011-00

Scale 1" = 700'-0"

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1 MT. VEEDER RD. - F 2.39 mi FROM DRY CREEK RD.
 1" = 700'-0"



5

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VIEW LOOKING SOUTH FROM 80 CLEAR CREEK ROAD.

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5 **A012-00**
 Scale 1" = 2'-6"

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1 VIEW LOOKING SOUTH

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② VIEW FROM MT. VEEDER RD. - 56 mm LENS



① VIEW FROM MT. VEEDER RD. - 24mm LENS

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VIEWS FROM MT. VEEDER RD.

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VIEWSHED

AERIAL VIEW OF
 DRY CREEK RD.
 & WALL RD. E

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No.	Description	Date

Project number:
 Date: 12/22/25

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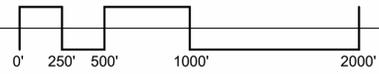
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1 WALL & DRY CREEK ROADS C & E
 1" = 500'-0"



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VIEW FROM WALL RD. E

REVISIONS

No.	Description	Date

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5

A015-00

Scale 1 : 500

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1 VIEW FROM WALL RD. - E 1.4 mi FROM DRY CREEK RD.
1 : 500

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PROJECT CLOUD
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SITE PLAN - PV, TP, US

REVISIONS

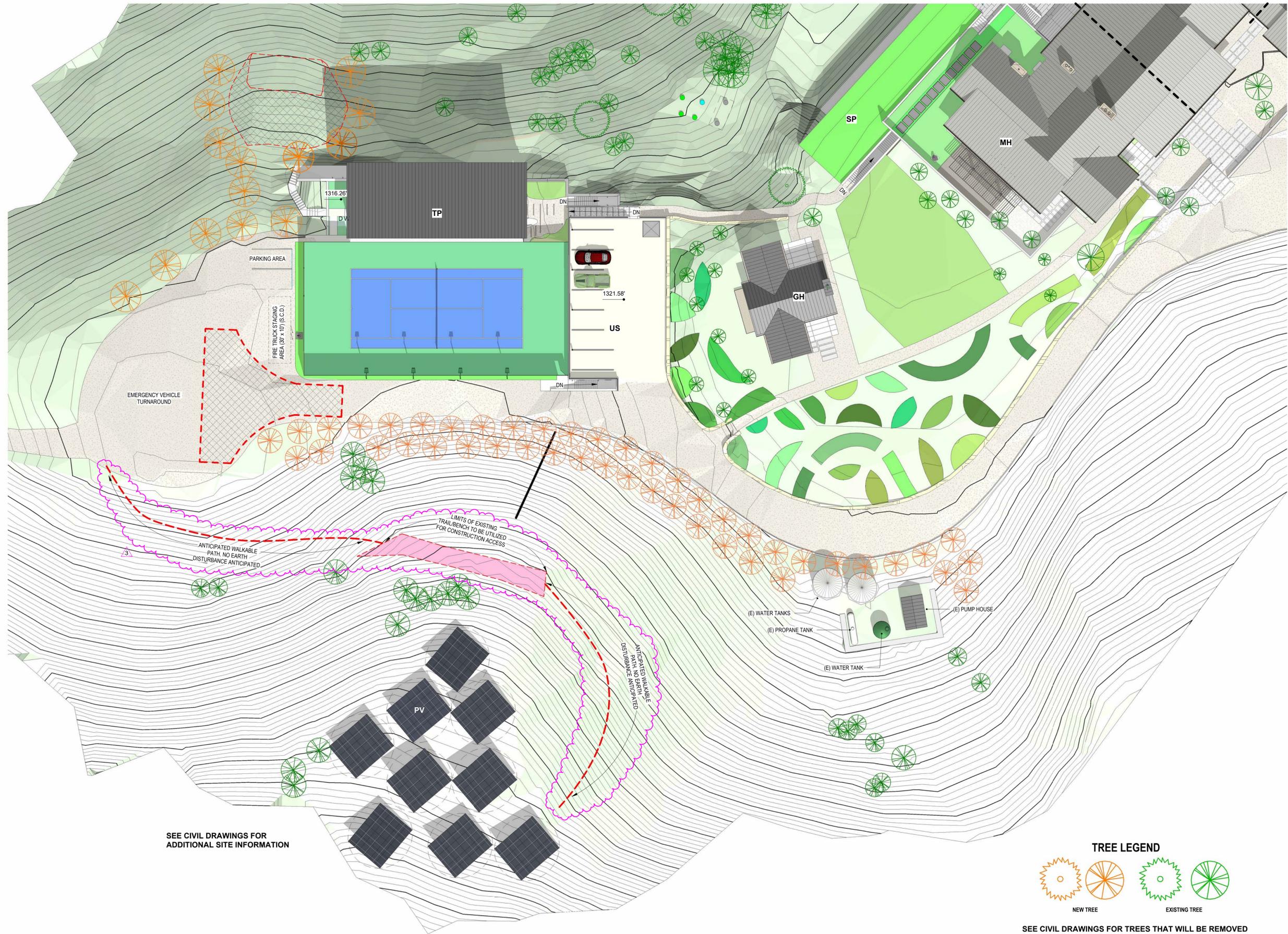
No.	Description	Date
3	Revision 3	02/28/25

Project number:
 Date: 12/22/25

A100-00

Scale As indicated

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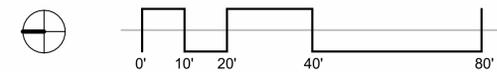


SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION

TREE LEGEND



SEE CIVIL DRAWINGS FOR TREES THAT WILL BE REMOVED



1 PARTIAL SITE PLAN PV, US, TP
 1" = 20'-0"

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**TENNIS PAVILION
 MAIN FLOOR**

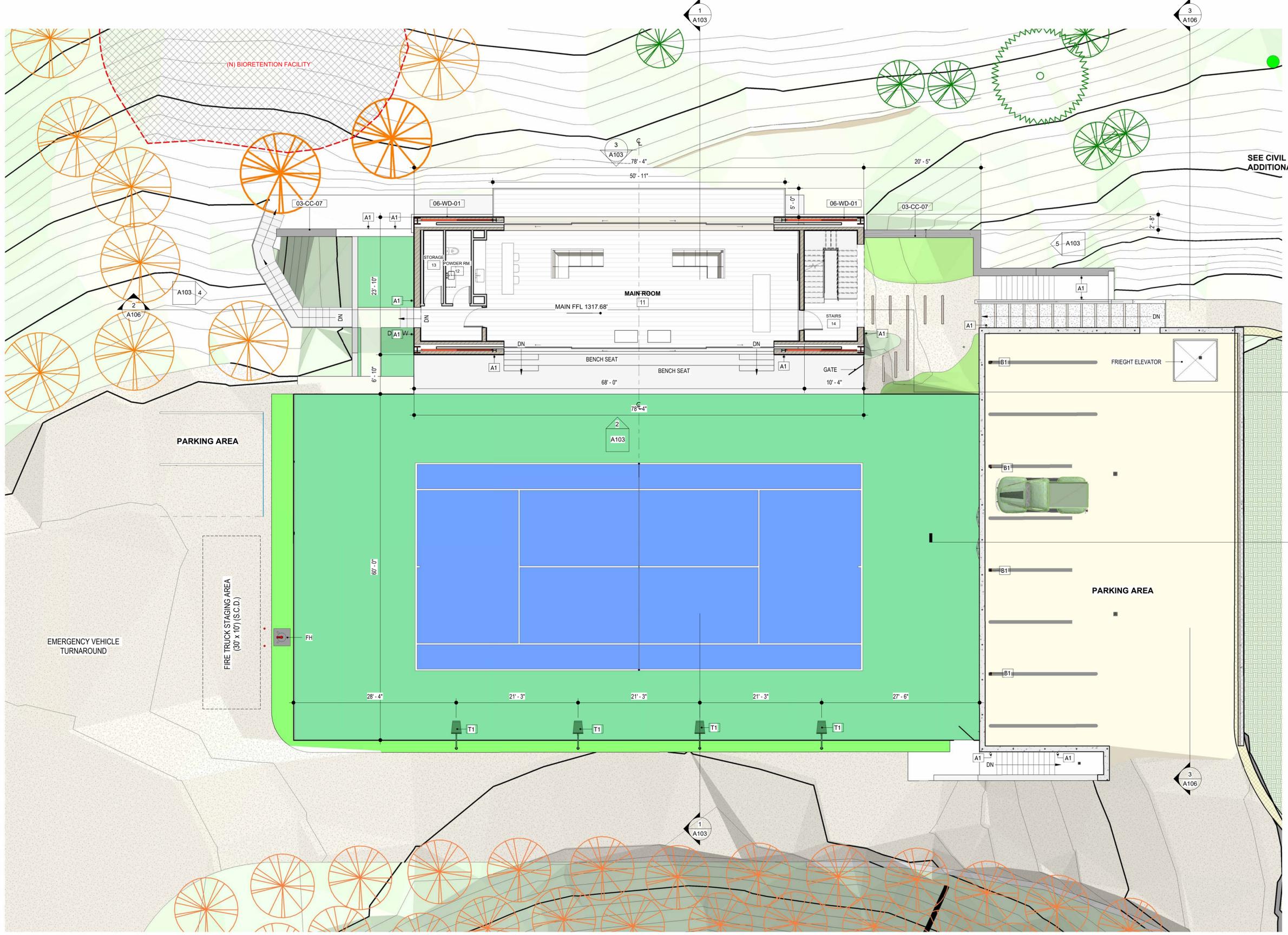
REVISIONS

No.	Description	Date

Project number:
 Date: 12/22/25

A101-00

Scale 1/8" = 1'-0"



SEE CIVIL DRAWINGS FOR
 ADDITIONAL INFORMATION

1 TP MAIN LEVEL
 1/8" = 1'-0"

TREE LEGEND



SEE CIVIL DRAWINGS FOR TREES THAT WILL BE REMOVED

US & TP LIGHTING FIXTURE SCHEDULE

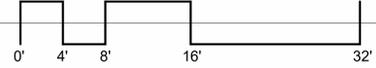
TYPE	PCS	DESCRIPTION	Model	MFR.	COMMENTS	BLDG
A1	7	Wall Mounted Cylinder Kichler LED Light	11310BKLED	KICHLER	SEE SPEC. 1L100	TP
A1	5	Wall Mounted Cylinder Kichler LED Light	11310BKLED	KICHLER	SEE SPEC. 1L100	US
B1	4	KICK LED BOLLARDS AT PARKING AREA	KB6-LED-Y50-BCD-1030-120-277-BLT	ARCHITECTURAL AREA LIGHTING	SEE SPEC. 2L100	US
T1	4	TENNIS COURT POLE LED LIGHT	VUE-2 TENNIS - POLE	NLS Lighting	SEE SHTS. L101 & L102	TP
T2	4	TENNIS COURT LED LIGHT	VUE-2 TENNIS	NLS lighting	SEE SHTS. L101 & L102	TP
TOTAL PCS : 24						

TENNIS PAVILION EXTERIOR DOOR SCHEDULE

MARK	TYPE	DESCRIPTION	WIDTH	HEIGHT	COMMENTS
1	C	QUADRUPLE POCKET CENTER PART 47" x 96"	47'-0"	8'-0"	Glazing to have anti-reflective coating
2	C	QUADRUPLE POCKET CENTER PART 47" x 96"	47'-0"	8'-0"	Glazing to have anti-reflective coating
3	D	QUADRUPLE POCKET CENTER PART 47" x 106"	47'-0"	8'-10"	Glazing to have anti-reflective coating
4	D	QUADRUPLE POCKET CENTER PART 47" x 106"	47'-0"	8'-10"	Glazing to have anti-reflective coating
6	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
7	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
8	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
9	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
10	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
TOTAL DOOR: 9					

KEYNOTES

KEY	NOTES
03-CC-07	12" Concrete Wall w/ 6" Napa Syar Stone Veneer in Rustic Ledger Pattern
06-WD-01	Exterior 2x6 studs @ 16" o.c. - R-22 Eco batt insulation w/ interior vapor barrier - Interior 5/8" Gyp. Bd. - Exterior 1/2" Struct plywood (S.S.D.) - Exterior vapor barrier, 1" Thk. Red Cedar Board & Batt Siding, Stained to Match (E) Main House - Color: Weathered Grey





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PROJECT CLOUD
Ponderosa One, LLC
 80 Clear Creek Rd. - Oakville - CA - 94562

VIEWSHED
US & TP FLOOR PLANS

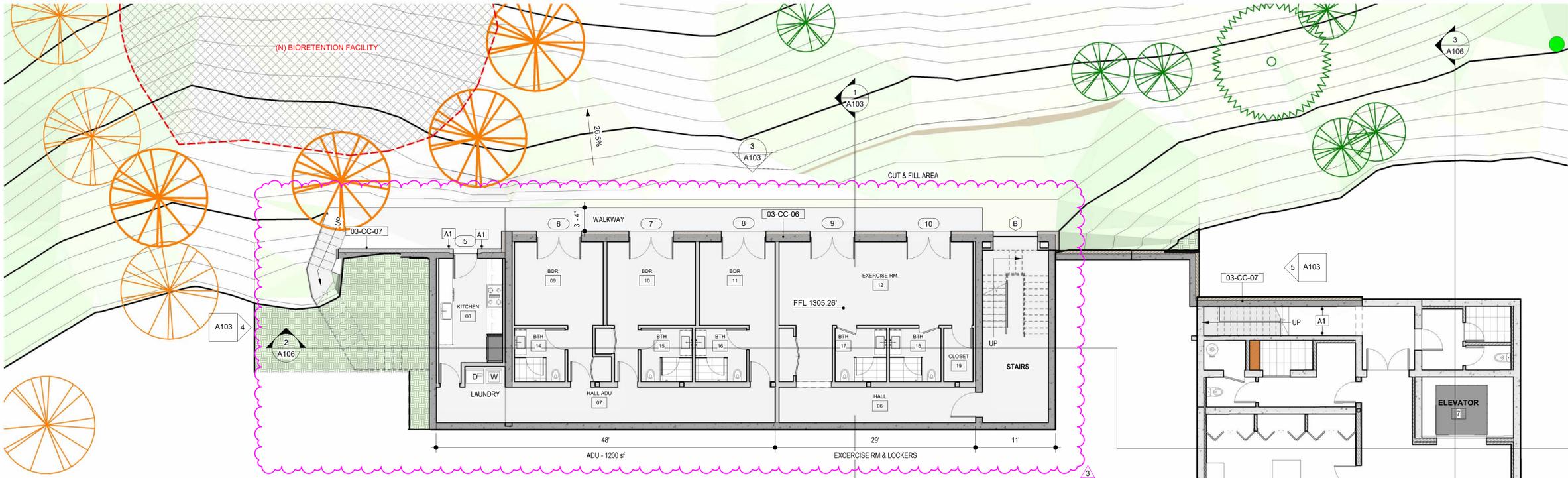
REVISIONS

No.	Description	Date
3	Revision 3	02/28/25

Project number:
 Date: 12/22/25

A102-00

Scale 1/8" = 1'-0"

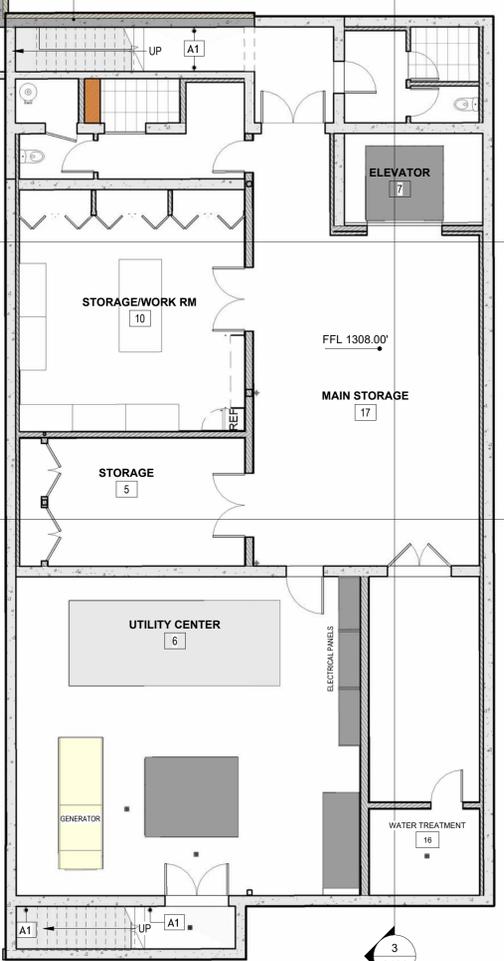


TENNIS PAVILION (TP) - LOWER FLOOR PLAN

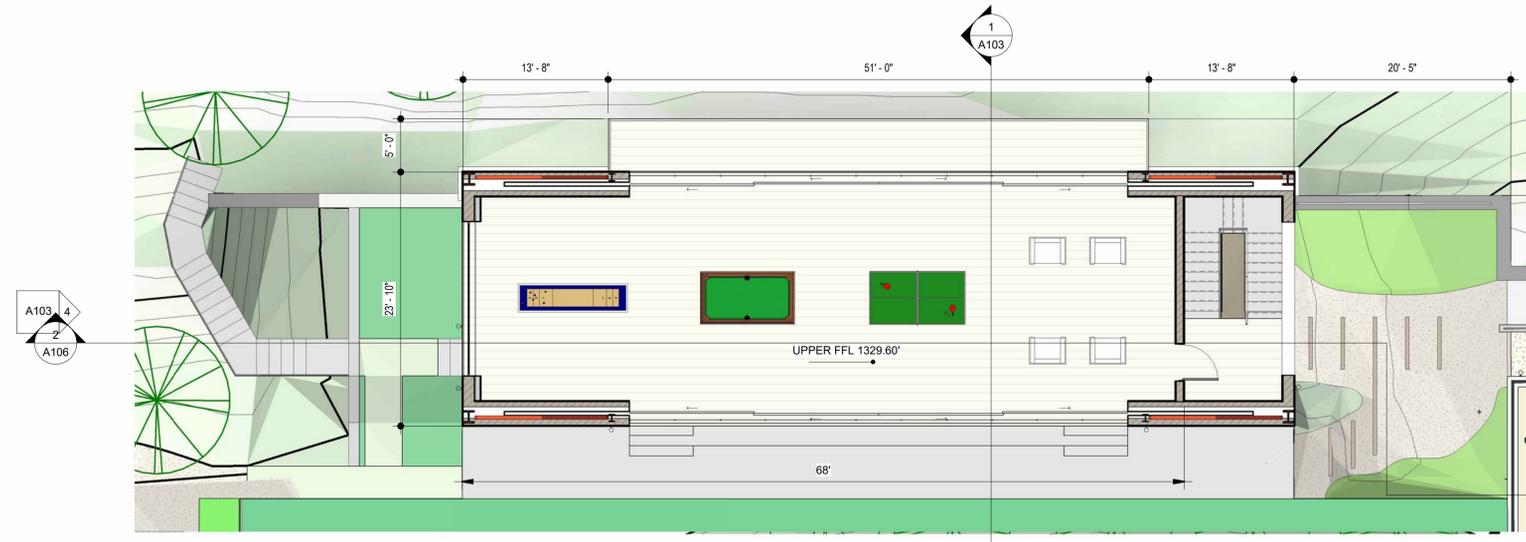
KEY	NOTES
03-CC-06	12" Concrete Wall w/ 6" Napa Syer Stone Veneer
03-CC-07	12" Concrete Wall w/ 6" Napa Syer Stone Veneer in Rustic Ledger Pattern

TENNIS PAVILION WINDOW SCHEDULE					
TYPE	PCS	DESCRIPTION	WIDTH	HEIGHT	COMMENTS
A	1	Fixed 174108	173.97"	108.00"	Glazing to have anti-reflective coating
B	1	Fixed 76110	76.00"	110.00"	Glazing to have anti-reflective coating
TOTAL WINDOWS: 2					

TENNIS PAVILION EXTERIOR DOOR SCHEDULE					
MARK	TYPE	DESCRIPTION	WIDTH	HEIGHT	COMMENTS
1	C	QUADRUPLE POCKET CENTER PART 47' x 96"	47'-0"	8'-0"	Glazing to have anti-reflective coating
2	C	QUADRUPLE POCKET CENTER PART 47' x 96"	47'-0"	8'-0"	Glazing to have anti-reflective coating
3	D	QUADRUPLE POCKET CENTER PART 47' x 106"	47'-0"	8'-10"	Glazing to have anti-reflective coating
4	D	QUADRUPLE POCKET CENTER PART 47' x 106"	47'-0"	8'-10"	Glazing to have anti-reflective coating
6	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
7	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
8	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
9	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
10	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
TOTAL DOOR: 9					



UNDERGROUND STORAGE (US)



TENNIS PAVILION (TP) - UPPER LEVEL FLOOR PLAN
 1/8" = 1'-0"

US & TP LIGHTING FIXTURE SCHEDULE						
TYPE	PCS	DESCRIPTION	Model	MFR.	COMMENTS	BLDG
A1	7	Wall Mounted Cylinder Kichler LED Light	11310BKTLTD	KICHLER	SEE SPEC. 1L100	TP
A1	5	Wall Mounted Cylinder Kichler LED Light	11310BKTLTD	KICHLER	SEE SPEC. 1L100	US
B1	4	KICK LED BOLLARDS AT PARKING AREA	KBS-LED-Y50-BCD-1030-120-277-BLT	ARCHITECTURAL AREA LIGHTING	SEE SPEC. 2L100	US
T1	4	TENNIS COURT POLE LED LIGHT	VUE-2 TENNIS - POLE	NLS Lighting	SEE SHTS. L101 & L102	TP
T2	4	TENNIS COURT LED LIGHT	VUE-2 TENNIS	NLS lighting	SEE SHTS. L101 & L102	TP
TOTAL PCS : 24						



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PROJECT CLOUD
Ponderosa One, LLC

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TP SECTIONS & ELEVATION

REVISIONS

No.	Description	Date
3	Revision 3	02/28/25

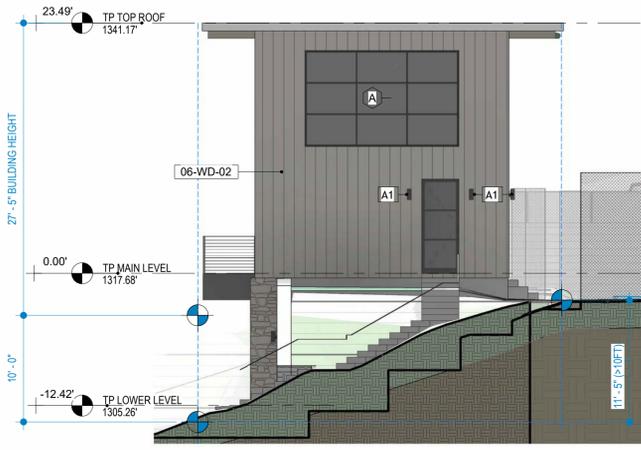
Project number: _____
 Date: 12/22/25

A103-00

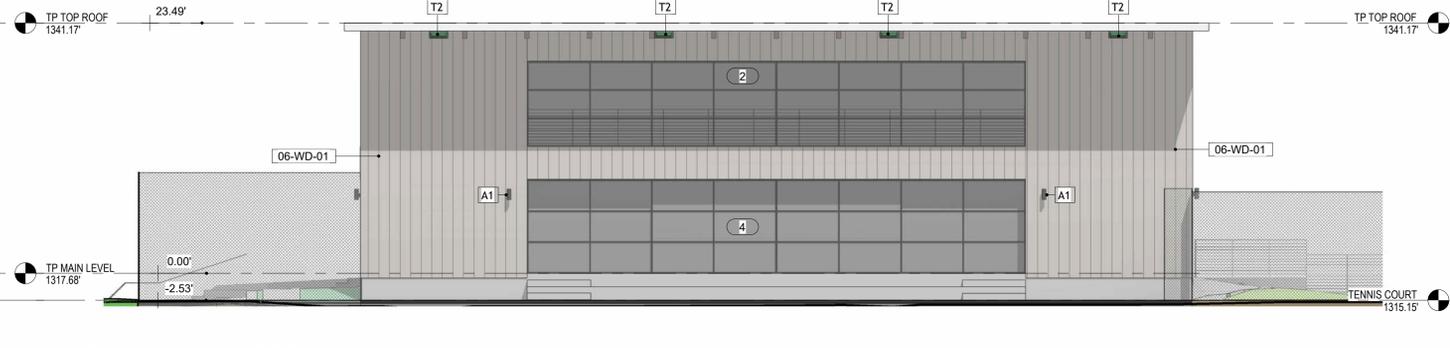
Scale 1/8" = 1'-0"



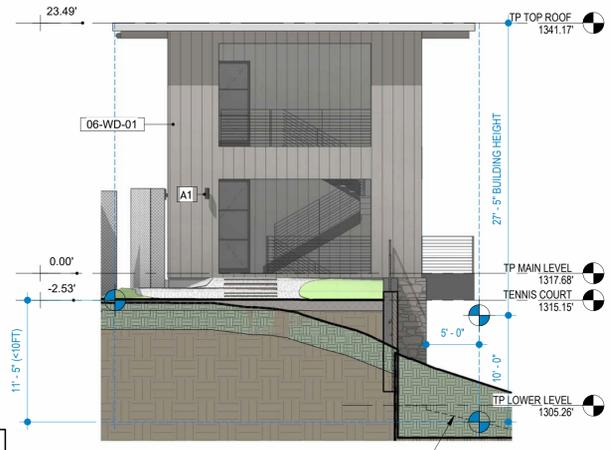
③ TENNIS PAVILION - EAST ELEVATION
 1/8" = 1'-0"



④ TENNIS PAVILION - NORTH ELEVATION
 1/8" = 1'-0"



② TENNIS PAVILION - WEST ELEVATION
 1/8" = 1'-0"



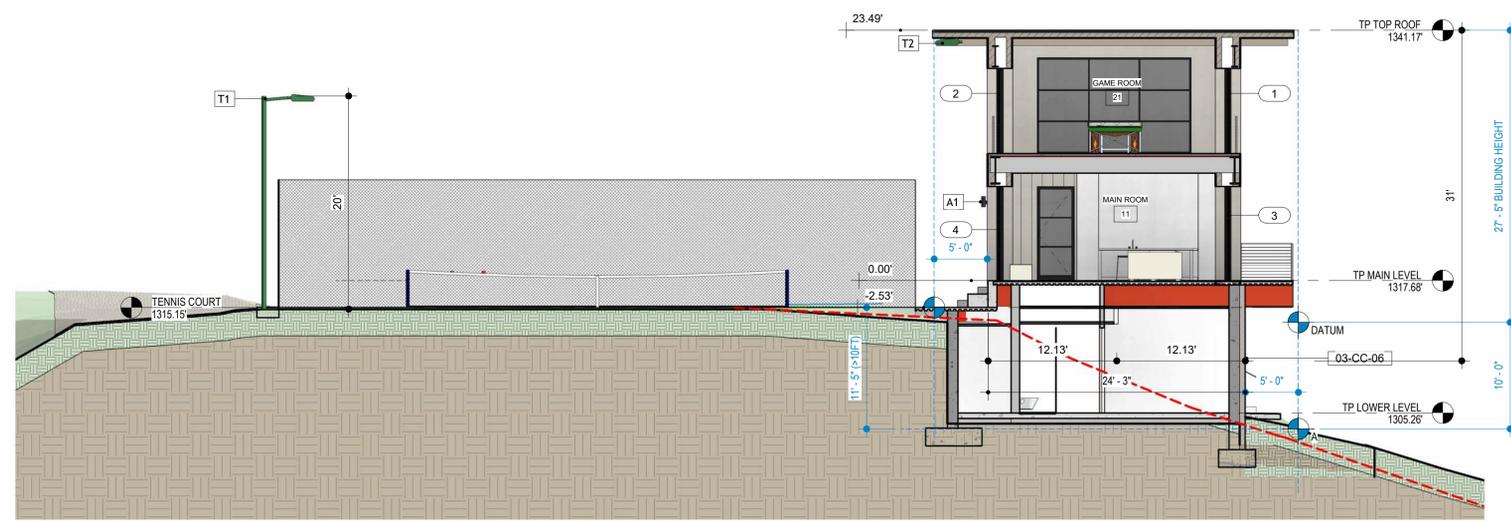
⑤ TENNIS PAVILION - SOUTH ELEVATION
 1/8" = 1'-0"

TYPE	PCS	DESCRIPTION	Model	MFR.	COMMENTS	BLDG
A1	7	Wall Mounted Cylinder Kichler LED Light	11310BKTL	KICHLER	SEE SPEC. 1L100	TP
A1	5	Wall Mounted Cylinder Kichler LED Light	11310BKTL	KICHLER	SEE SPEC. 1L100	US
B1	4	KICK LED BOLLARDS AT PARKING AREA	KB6-LED-Y50-BCD-1030-120-277-BLT	ARCHITECTURAL AREA LIGHTING	SEE SPEC. 2L100	US
T1	4	TENNIS COURT POLE LED LIGHT	VUE-2 TENNIS - POLE	NLS Lighting	SEE SHTS. L101 & L102	TP
T2	4	TENNIS COURT LED LIGHT	VUE-2 TENNIS	NLS lighting	SEE SHTS. L101 & L102	TP
TOTAL PCS : 24						

KEY	NOTES
03-CC-06	12" Concrete Wall w/ 6" Napa Syar Stone Veneer
03-CC-07	12" Concrete Wall w/ 6" Napa Syar Stone Veneer in Rustic Ledger Pattern
06-WD-01	Exterior 2x6 studs @ 16" o.c. - R-22 Eco batt insulation w/ interior vapor barrier - Interior 5/8" Gyp. Bd. - Exterior 1/2" Struct plywood (S.S.D.) - Exterior vapor barrier, 1" Thk. Red Cedar Board & Batt Siding, Stained to Match (E) Main House -Color: Weathered Grey
06-WD-02	Exterior 1.75x11.875 LVL @ 16" o.c. - R-30 Eco batt insulation w/ interior vapor barrier - Interior 5/8" Gyp. Bd. - Exterior 1/2" Struct plywood (S.S.D.) - Exterior vapor barrier, 1" Thk. Red Cedar Board & Batt Siding, Stained to Match (E) Main House -Color: Weathered Grey

MARK	TYPE	DESCRIPTION	WIDTH	HEIGHT	COMMENTS
1	C	QUADRUPLE POCKET CENTER PART 47" x 96"	47'-0"	8'-0"	Glazing to have anti-reflective coating
2	C	QUADRUPLE POCKET CENTER PART 47" x 96"	47'-0"	8'-0"	Glazing to have anti-reflective coating
3	D	QUADRUPLE POCKET CENTER PART 47" x 106"	47'-0"	8'-10"	Glazing to have anti-reflective coating
4	D	QUADRUPLE POCKET CENTER PART 47" x 106"	47'-0"	8'-10"	Glazing to have anti-reflective coating
6	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
7	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
8	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
9	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
10	K	DOUBLE DR 76110	6'-4"	9'-2"	Glazing to have anti-reflective coating
TOTAL DOOR: 9					

TYPE	PCS	DESCRIPTION	WIDTH	HEIGHT	COMMENTS
A	1	Fixed 174108	173.97"	108.00"	Glazing to have anti-reflective coating
B	1	Fixed 76110	76.00"	110.00"	Glazing to have anti-reflective coating
TOTAL WINDOWS: 2					



① TP SECTION 1
 1/8" = 1'-0"



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TENNIS COURT PAVILION
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 80 Clear Creek Road - Oakville - CA - 94502

VIEWSHED

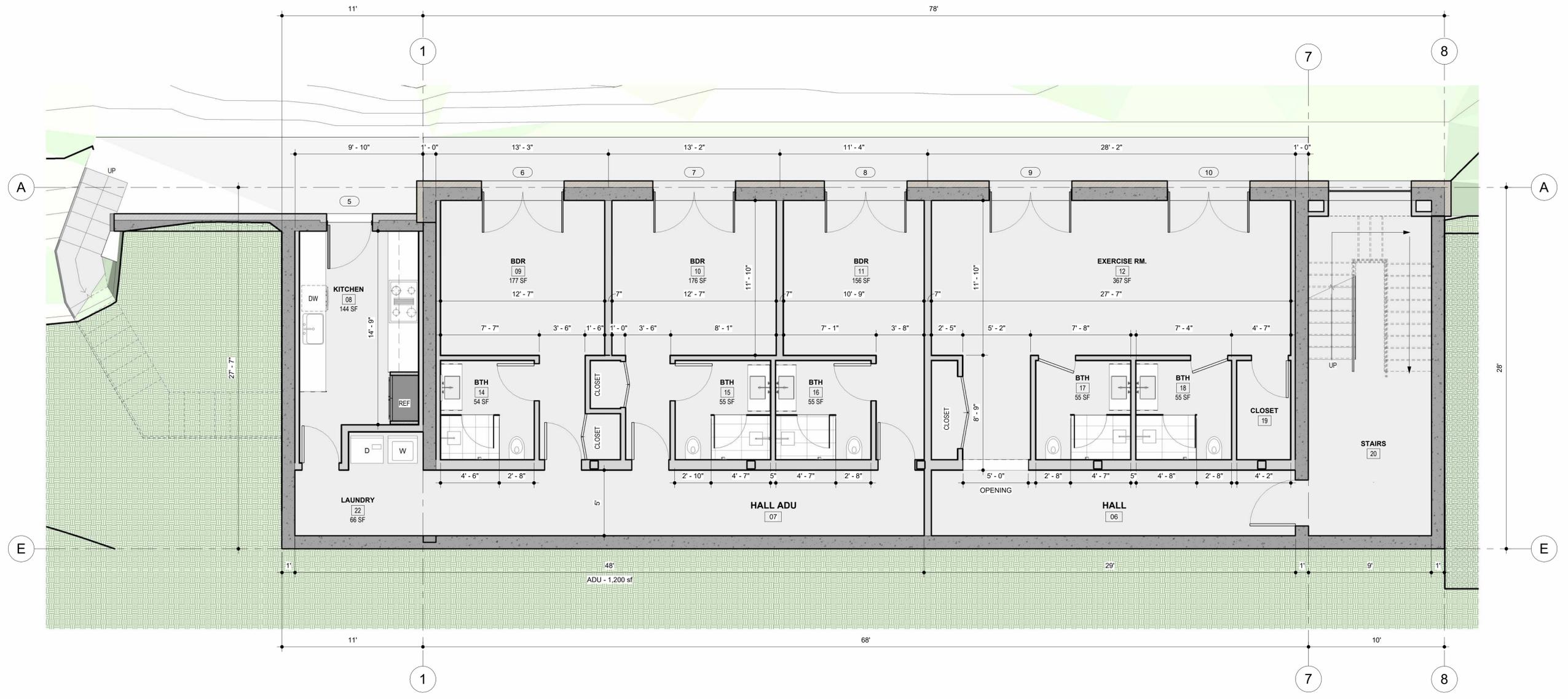
LOWER LEVEL
 FLOOR PLAN
 ADU & EXERCISE
 ROOM

REVISIONS

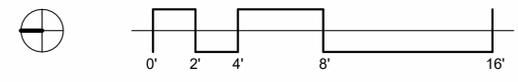
No.	Description	Date
3	Revision 3	02/28/25

Project number:
 Date: 12/22/25

A104-00
 Scale 1/4" = 1'-0"



② TENNIS PAVILION LOWER LEVEL - ADU & EXERCISE RM.
 1/4" = 1'-0"





TENNIS PAVILION (TP) - NORTHEAST VIEW



TENNIS PAVILION (TP) - EAST VIEW

NOTE:
 • For clarity, new trees are not shown. See Visual Impact Analysis and Landscape Plans
 • See Sht. A103 and Keynotes for materials

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VIEWSHED

**TENNIS PAVILION
 RENDERINGS**

REVISIONS

No.	Description	Date

Project number:
 Date: 12/22/25

A105-00

Scale

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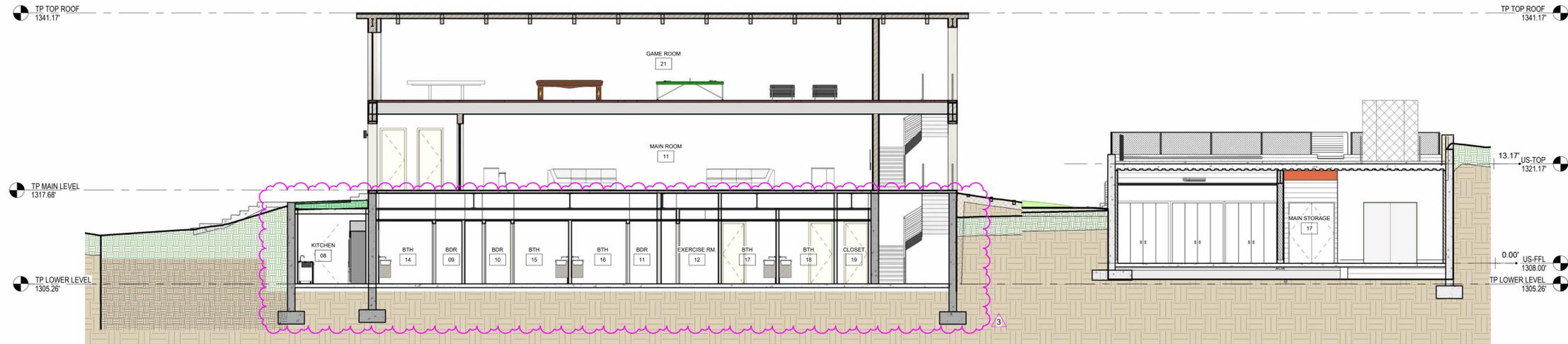


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3 SECTION 3 @ UNDERGROUND STORAGE
 1/8" = 1'-0"



2 SECTION 2 - US & TP
 1/8" = 1'-0"



1 SECTION 1 @ UNDERGROUND STORAGE
 1/8" = 1'-0"

VIEWSHED

UNDERGROUND
 STORAGE
 SECTIONS

REVISIONS

No.	Description	Date
3	Revision 3	02/28/25

Project number:
 Date: 12/22/25

A106-00

Scale 1/8" = 1'-0"



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VIEWSHED

PARTIAL SITE PLAN SPA - WINE & ART STORAGE

REVISIONS

No.	Description	Date
1		
3	Revision 3	02/28/25

Project number:
 Date: 12/22/25

A200-00

Scale: As indicated



SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

LEGEND

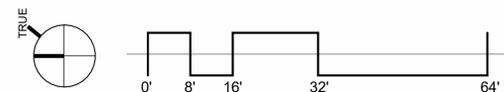
- GH: EXISTING GUEST HOUSE
- MH: EXISTING MAIN HOUSE
- SP: SPA
- PV: PHOTOVOLTAIC PANELS
- TP: TENNIS PAVILION
- US: UNDERGROUND STORAGE
- WS: WINE & ART STORAGE

TREE LEGEND



SEE CIVIL DRAWINGS FOR TREES THAT WILL BE REMOVED

1 PARTIAL SITE PLAN - SPA - WINE & ART STORAGE
 1" = 20'-0"





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SP SECTIONS, ELEVATION & FLOOR PLAN

REVISIONS

No.	Description	Date

Project number:
 Date: 12/22/25

A201-00

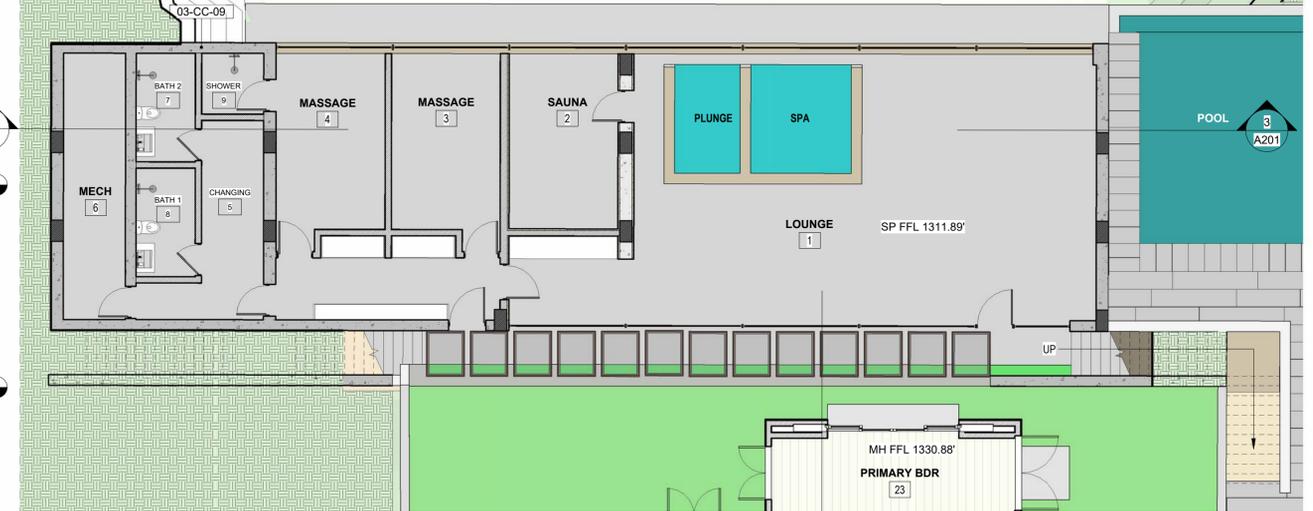
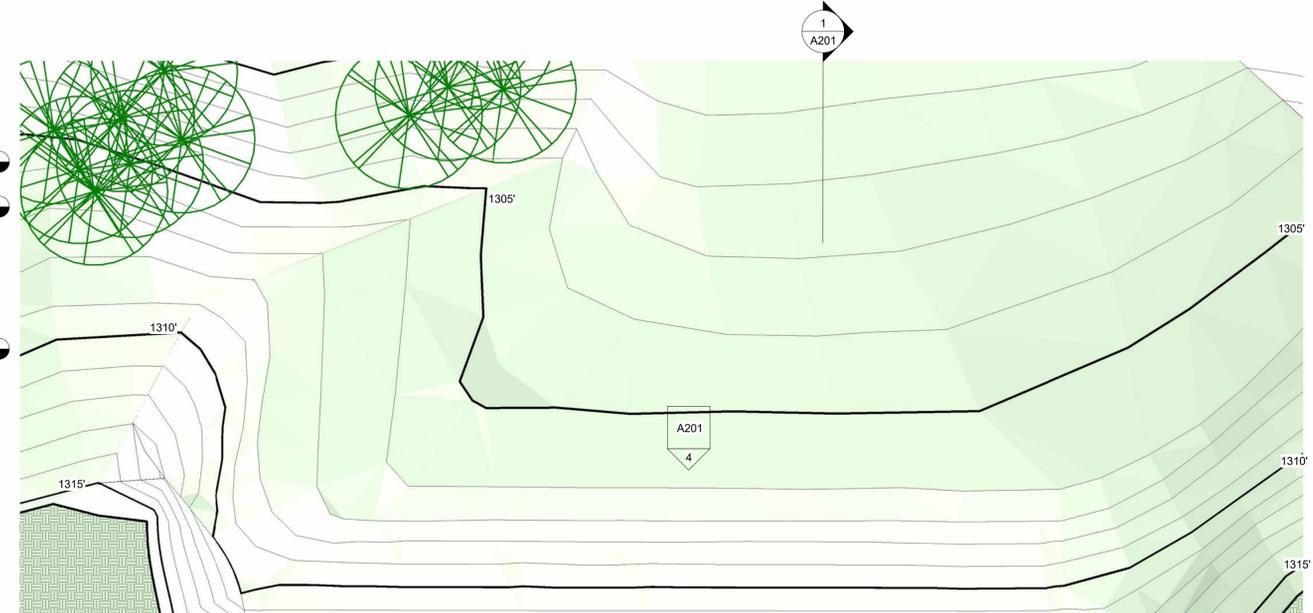
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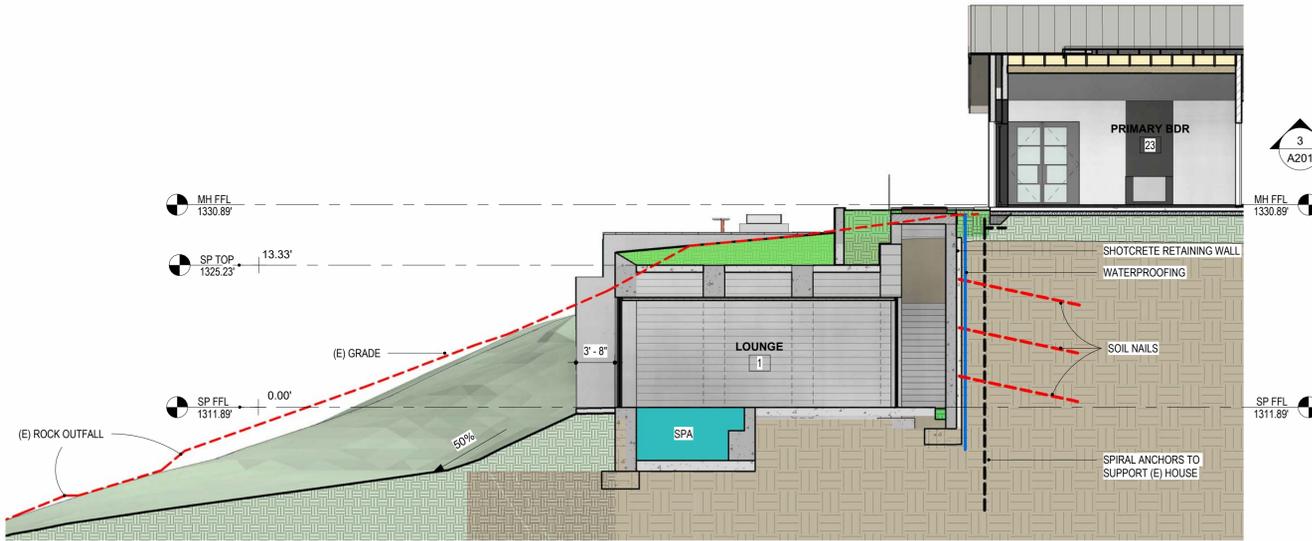
④ SPA - EAST ELEVATION
 1/8" = 1'-0"



③ SP SECTION 3
 1/8" = 1'-0"



② SP FFL
 1/8" = 1'-0"

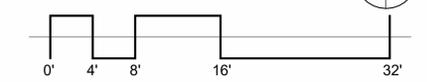


① SP SECTION - CUT PROFILE
 1/8" = 1'-0"

KEYNOTES	
KEY	NOTES
03-CC-09	12" Concrete w/ 7.25" wide Board Form
03-CC-10	24" Concrete w/ 7.25" wide Board Form

SPA MULTI-SLIDE DOOR SCHEDULE					
TYPE	PCS	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
F	7	132.00"	124.00"	MULTI-SLIDE DR 132120	Glazing to have anti-reflective coating

- LEGEND**
- GH: GUEST HOUSE (E)
 - MH: MAIN HOUSE (E)
 - SP: SPA
 - PV: PHOTOVOLTAIC PANELS
 - TP: TENNIS PAVILION
 - US: UNDERGROUND STORAGE
 - WS: WINE & ART STORAGE



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SPA RENDERING

REVISIONS

No.	Description	Date

Project number:
Date: 12/22/25

A202-00

Scale

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SPA - EAST VIEW

NOTE:
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 • See Sht. A201 and Keynotes for materials



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WINE & ART STORAGE FLOOR PLAN

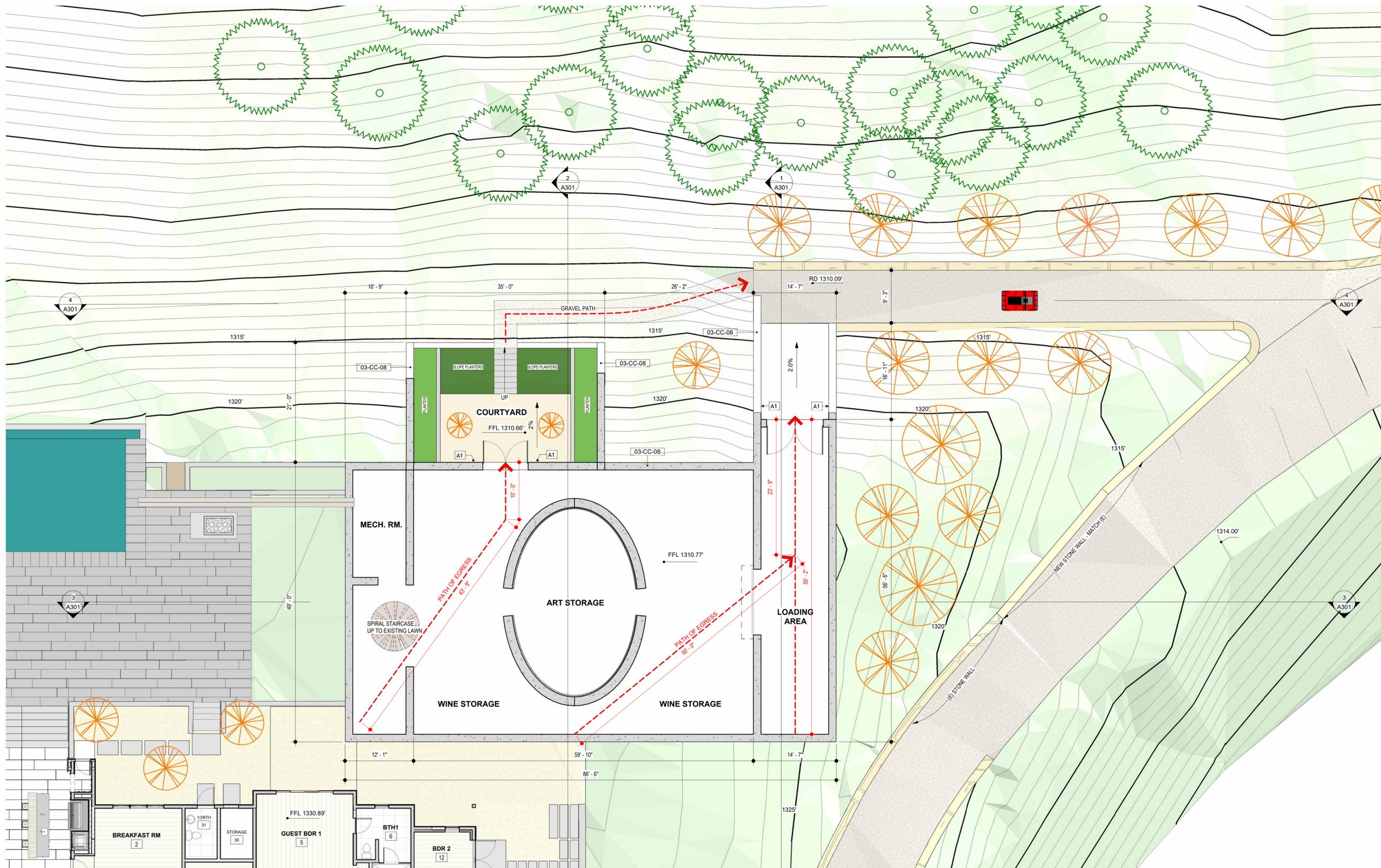
REVISIONS

No.	Description	Date

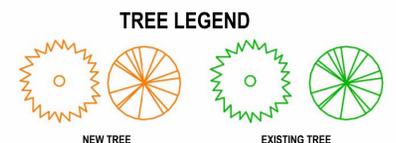
Project number:
 Date: 12/22/25

A300-00

Scale 1/8" = 1'-0"



1 WS FFL
 1/8" = 1'-0"



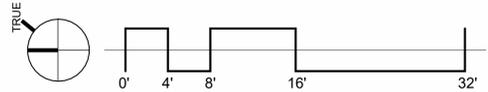
SEE CIVIL DRAWINGS FOR TREES THAT WILL BE REMOVED

WS EXTERIOR LIGHTING FIXTURE SCHEDULE

TYPE	PCS	DESCRIPTION	Model	MFR.	COMMENTS
A1	4	Wall Mounted Cylinder Kichler LED Light	11310BKTLED	KICHLER	SEE SPEC. 1JL100
TOTAL	PCS	:4			

KEYNOTES

KEY	NOTES
03-CC-08	16" Concrete w/ 7.25" wide Board Form

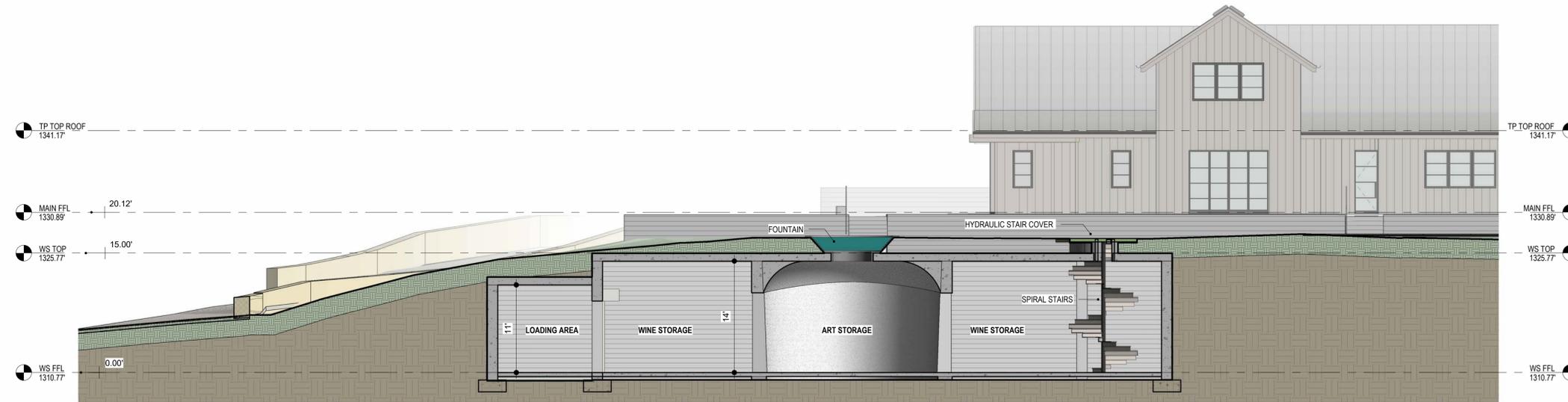




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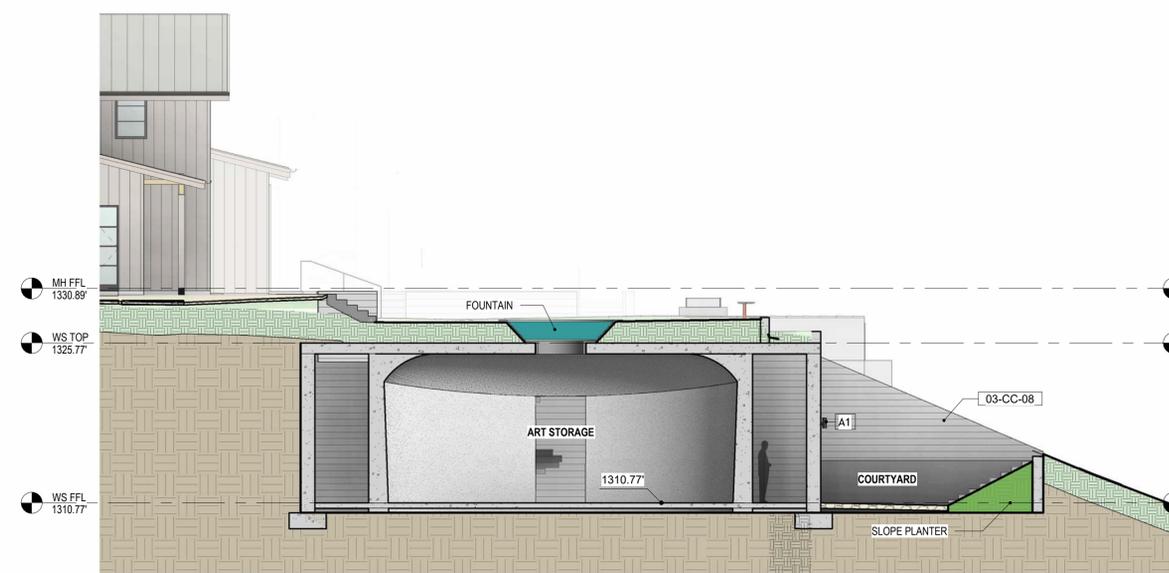
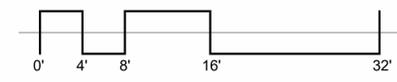
4 WS EAST ELEVATION
 1/8" = 1'-0"



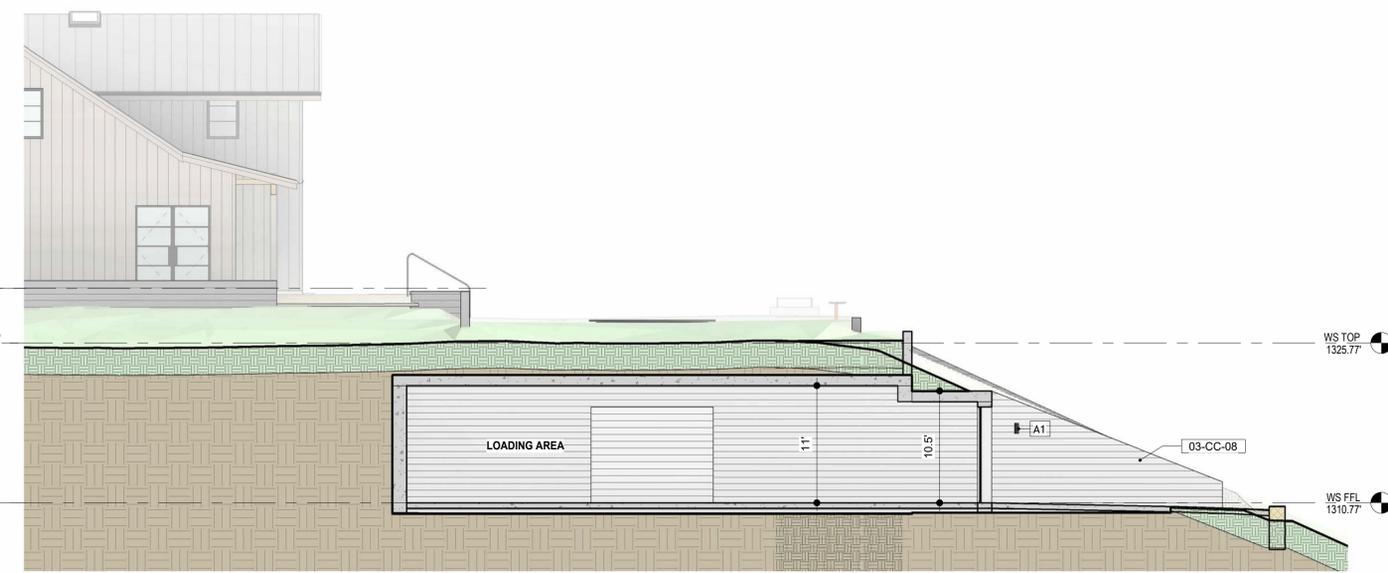
3 WS SECTION 3
 1/8" = 1'-0"

WS EXTERIOR LIGHTING FIXTURE SCHEDULE				
TYPE	PCS	DESCRIPTION	Model	MFR. COMMENTS
A1	4	Wall Mounted Cylinder Kichler LED Light	11310BKTLED	KICHLER SEE SPEC. 1JL100
TOTAL	PCS	4		

KEYNOTES	
KEY	NOTES
03-CC-08	16" Concrete w/ 7.25" wide Board Form



2 WS SECTION 2
 1/8" = 1'-0"



1 WS SECTION 1 @ TECHNICAL ENTRANCE
 1/8" = 1'-0"

PROJECT CLOUD
 Ponderosa One, LLC

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WS SECTIONS

REVISIONS

No.	Description	Date

Project number:
 Date: 12/22/25

A301-00

Scale 1/8" = 1'-0"

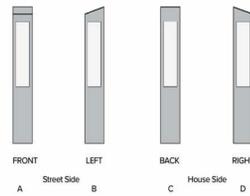
B1 KICK LED BOLLARDS AT PARKING AREA



DIMENSIONS

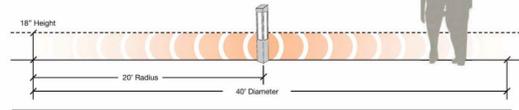
MODEL	K4...SMK
Overall Height	42" / 1067mm
Overall Length	6" / 152mm
Overall Width	6" / 152mm
Window Height	19.9" / 50cm
Window Width	4" / 10cm
WEIGHT	30 lbs / 13.6kg

*Housing and optical distribution are independently field rotatable in 90° increments. Default factory orientations shown above.



SENSOR COVERAGE

Motion Sensor uses microwave sensing technology that reacts to physical changes in within the coverage area. Careful consideration must be given to objects or activity that may trigger the sensor unintentionally. Dip Switch Settings on the microwave sensor will be pre-set at the factory. For additional information on troubleshooting, please refer to the Kick Bollard Installation Instruction.



Current®

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Page 4 of 6

Rev: 07/2022
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aaal_kb6_spec_R01

② LIGHT FIXTURE B1
12" = 1'-0"

B1 KICK LED BOLLARDS AT PARKING AREA



FEATURES

- Sensor and wireless operation
- Field rotatable optics and housing
- Customizable side panels
- True IES Type 2, 3, 4, 5 distributions
- 3000K, 4000K, 5000K CCT
- Integral thermal protection



CONTROL TECHNOLOGY

wISCAPE®

SPECIFICATIONS

- HOUSING**
 - Housing shroud shall be extruded 6061-T6 aluminum alloy with a welded top cap that shall be free of any visible weld or grind marks
 - Luminaire housing shall be free of any visible heat fins, hardware or fasteners.
 - Bracketry shall be aluminum and hardware shall be stainless steel.
 - Housing shall be independently field rotatable of the optical distribution.
 - Default factory orientations of shielding location relative to the optical system shall be:
 - A - Street Side
 - C - House Side/LED/Optics
- LED/OPTICS**
 - LEDs shall be mounted to a metal printed circuit board assembly (MCPCB).
 - Optical lenses shall be clear injection molded PMMA acrylic.
 - House side shield shall be field installable on any face of the housing.
 - Light engine and optical distributions shall be field rotatable.
- INSTALLATION**
 - Anchor bolts and anchor bolt template shall be included.
 - Service access to the driver assembly shall require a 3/16" hex driver (information provided by engineering) to loosen (6) stainless steel set screws to allow the housing to be removed for access to the gear compartment. Gear compartment shall require a Philips driver (information provided by engineering) to open service panel.

- INSTALLATION (CONTINUED)**
 - Driver assembly shall be mounted to a prewired internal tray with quick disconnects for removal.
- ELECTRICAL**
 - Luminaires shall have integral surge protection that shall be UL recognized and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J.
 - Drivers shall be UL recognized.
 - 100%-1% dimming range. Fixture will be wired for low voltage 0-10V dimming control.
 - Luminaire shall be capable of operating at 100% power in a 40° ambient environment. Both driver and optical array shall have integral thermal protection that shall dim the luminaire upon detection of fixture temperatures in excess of 85°C.
 - Luminaires not configured with an optional control system shall be provided with 0-10V purple and pink dimming leads.



CONTROLS

- Wireless enabled fixtures shall support bi-directional radio frequency (RF) communications utilizing IEEE 802.15.4 operating in the 2.4GHz ISM band.
- Up to 1000' wireless range may be reduced by physical obstructions between lighting fixtures.

KICK™



Kick Bollard

- CONTROLS (CONTINUED)**
 - Sensor enabled fixture settings shall come to full brightness upon detecting motion and go to 50% output after 5 minutes of detecting no motion.
 - Motion Sensor shall use microwave sensing technology that reacts to physical changes in within the coverage area. Careful consideration must be given to objects or activity that may trigger the sensor unintentionally.
- CERTIFICATIONS**
 - Luminaire shall be listed with UL for outdoor, wet location use, UL 5598, UL 8750 and Canadian CSA Std. C22.2 no.250.
 - IDA approved, 3000K and warmer CCT's only.
 - This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 6/06/2020.

WARRANTY

- 5 year warranty

continued on page 3

KEY DATA	
Lumen Range	7344-18,763
Wattage Range	87-173
Efficacy Range (LPW)	79-119
Weight	20 lbs / 9.07 kg
EPA	14

Current®

currentlighting.com/aaal

Page 1 of 6

Rev: 07/2022
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aaal_kb6_spec_R01

A1 Wall Mounted Cylinder Kichler LED Light

Cylinder 3000K LED 12.25" Wall Light

11310BKTLLED

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CERTIFICATIONS/QUALIFICATIONS

Energy Star	Yes
Title 24 Compliant	Yes
	www.kichler.com/warranty

Dimensions

Base Backplate	5"
Extension	6.50"
Weight	2.63 LBS
Height from center of Wall opening (Spec Sheet)	6.21"
Height	12.25"
Length	6.50"
Width	5.00"

Light Source

Delivered Lumens	925
Dimmable	Yes
Expected Life Span (Hours)	45000
Lamp Included	Integrated LED
Max or Nominal Watt	20W
Max Wattage/Range	20W

Mounting/Installation

Interior/Exterior	Exterior
Location Rating	Wet
Mounting Style	Wall Mount
Mounting Weight	3.50 LBS

Photometrics

Color Rendering Index	90
Kelvin Temperature	3000K

FIXTURE ATTRIBUTES

Housing

Primary Material	EPMM
------------------	------

Product/Ordering Information

SKU	11310BKTLLED
Finish	Textured Black
Style	Other
UPC	783927545297

Finish Options

- Textured Black



Kichler.com

KICHLER.

① LIGHT FIXTURE A1
12" = 1'-0"

LIGHTING FIXTURE SCHEDULE						
TYPE	PCS	DESCRIPTION	Model	MFR.	COMMENTS	BLDG
A1	7	Wall Mounted Cylinder Kichler LED Light	11310BKTLLED	KICHLER	SEE SPEC. 1JL100	TP
A1	5	Wall Mounted Cylinder Kichler LED Light	11310BKTLLED	KICHLER	SEE SPEC. 1JL100	US
A1	4	Wall Mounted Cylinder Kichler LED Light	11310BKTLLED	KICHLER	SEE SPEC. 1JL100	WC
B1	4	KICK LED BOLLARDS AT PARKING AREA	KB6-LED-Y50-BCD-1030-120-277-BLT	ARCHITECTURAL AREA LIGHTING	SEE SPEC. 2JL100	US
T1	4	TENNIS COURT POLE LED LIGHT	VUE-2 TENNIS - POLE	NLS Lighting	SEE SHTS. L101 & L102	TP
T2	4	TENNIS COURT LED LIGHT	VUE-2 TENNIS	NLS lighting	SEE SHTS. L101 & L102	TP
TOTAL PCS		28				

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Ponderosa One, LLC

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VIEWSHED

LIGHT FIXTURE SCHEDULE & SPECIFICATIONS

REVISIONS

No.	Description	Date

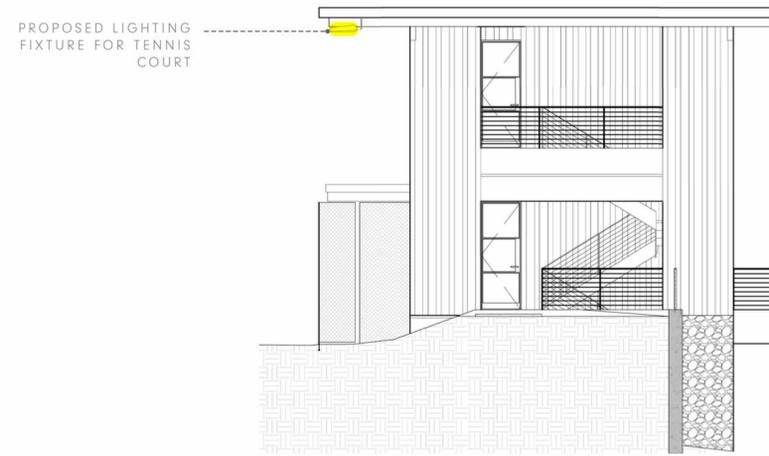
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Date: 12/22/25

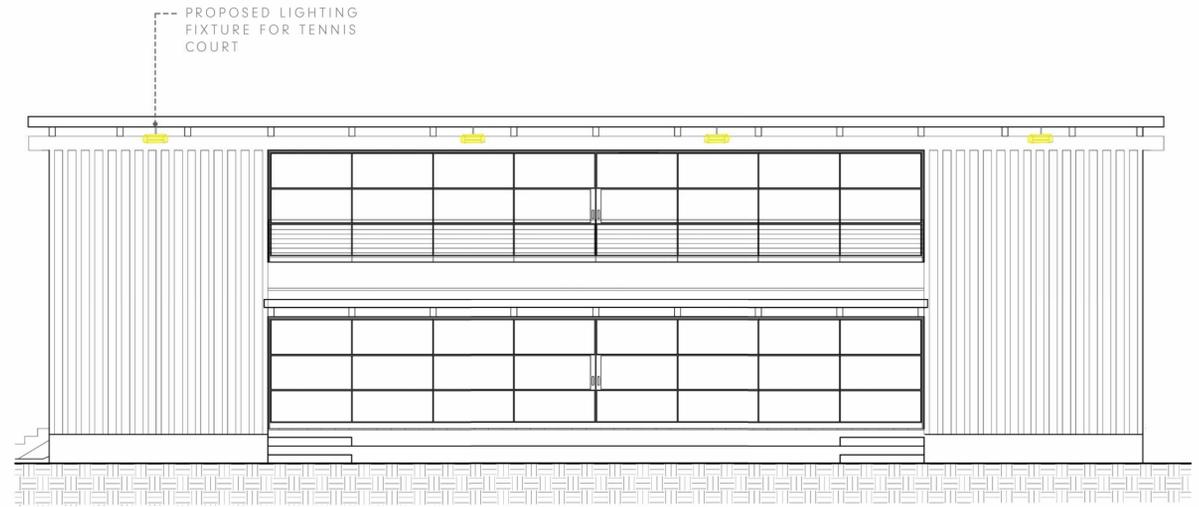
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Scale 12" = 1'-0"

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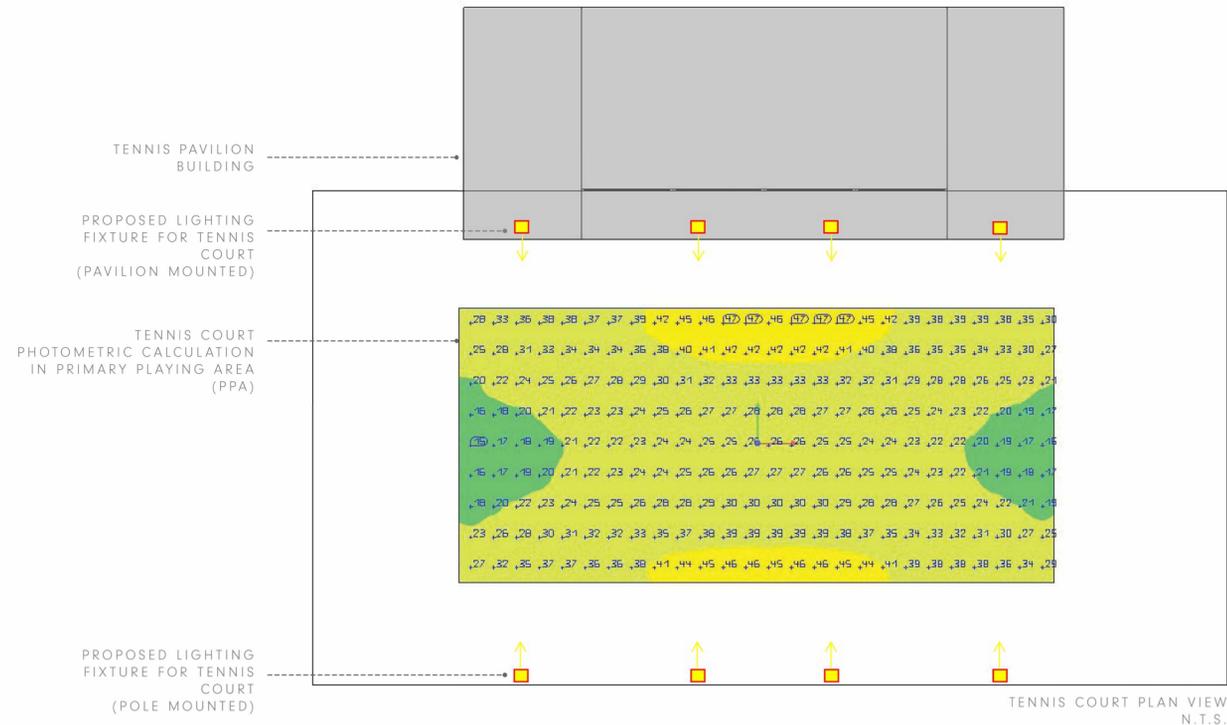


SOUTH ELEVATION - N.T.S.



EAST ELEVATION - N.T.S.

VENTRESCA



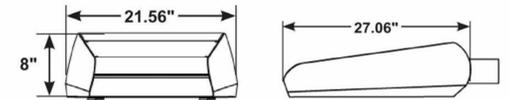
TENNIS COURT PLAN VIEW
N.T.S.

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T1 T2 TENNIS COURT LED LIGHTS



TENNIS COURT LIGHT FIXTURE



DIMENSIONS



STANDARD FINISHES - RAL FINISHES ARE AVAILABLE



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TENNIS COURT LIGHTING

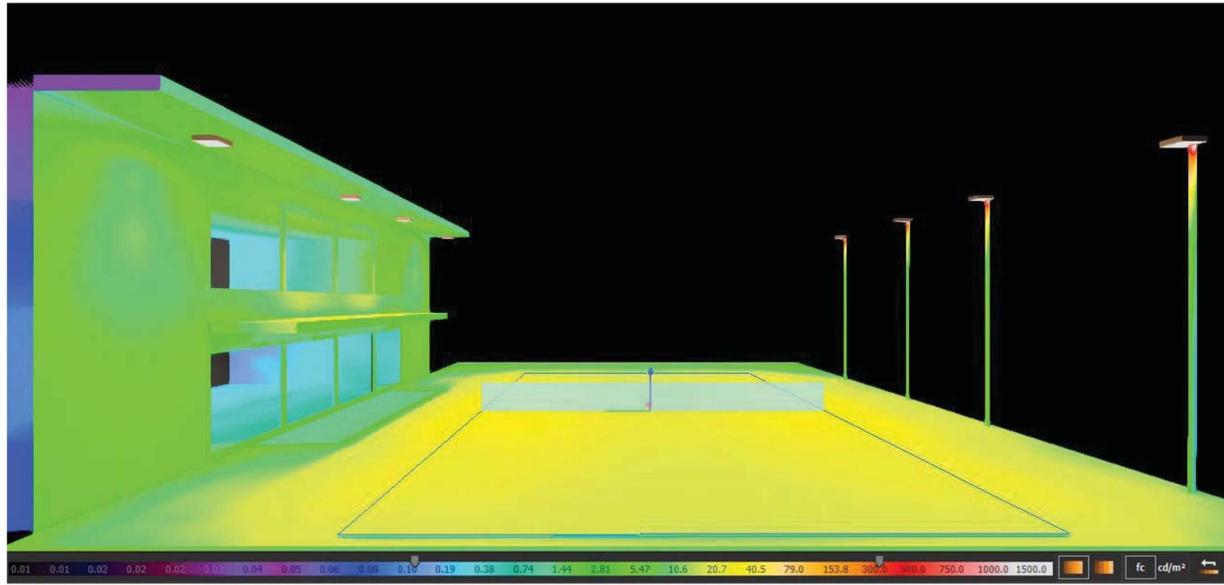
REVISIONS

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Project number:
Date: 12/22/25

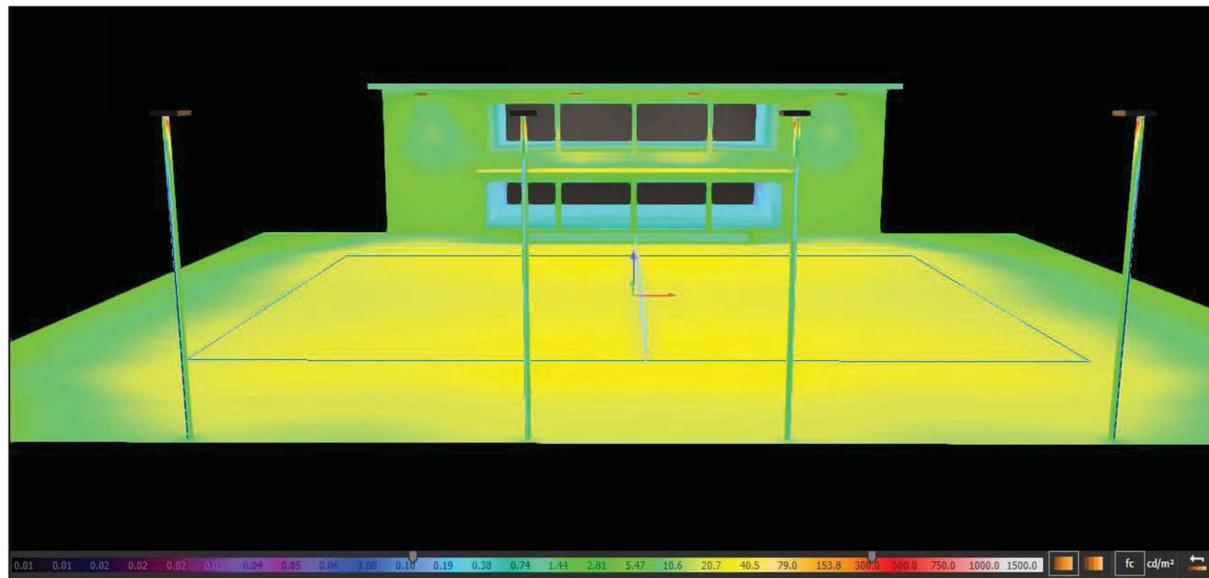
L101-00

Scale



3D PHOTOMETRIC STUDY - PSEUDO COLOR

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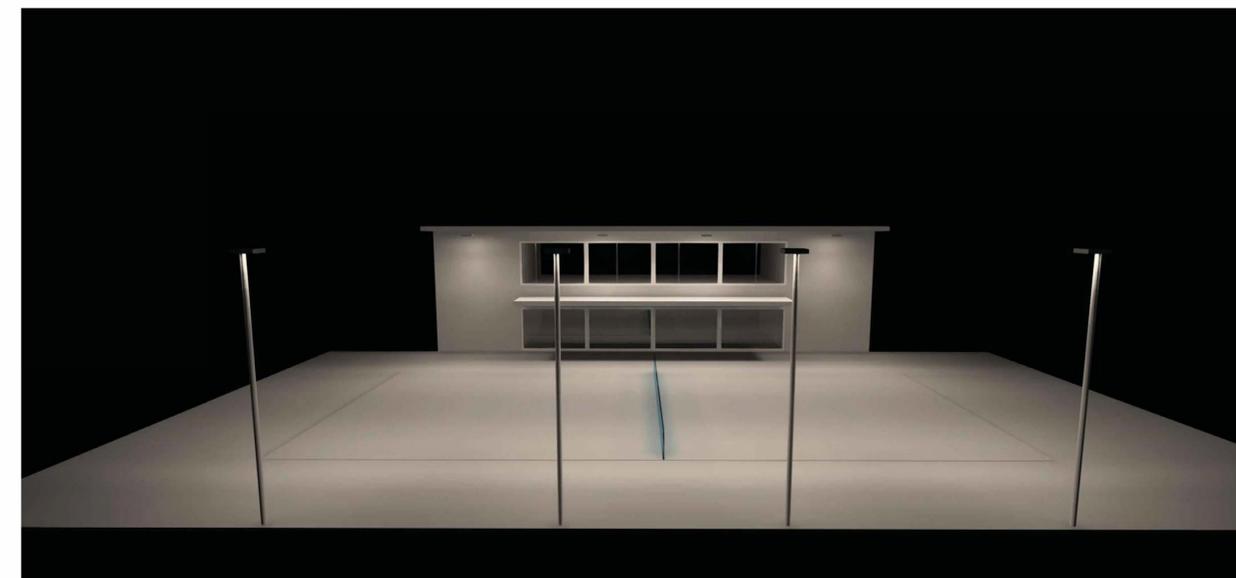
3D PHOTOMETRIC STUDY - PSEUDO COLOR

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3D PHOTOMETRIC STUDY

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3D PHOTOMETRIC STUDY

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TENNIS COURT
PHOTOMETRIC
STUDIES

REVISIONS

No.	Description	Date

Project number:
Date: 12/22/25

L102-00

Scale

MINI-MICRO - STAFF STAR STYLE 'L' LED

IP66 RATED

DATE: PROJECT: TYPE:

CATALOG NUMBER LOGIC:



*For use with standard Anchor Base only.

**Designed for use with 12 VAC, LED transformer.

***For use up to 48" maximum overall height.

CATALOG NUMBER LOGIC

Example: SF - 24 - L - MM - LED - e71 - MFL - WHP - 12 - 11 - A - PP18B

MATERIAL

Aluminum

SERIES

SF - Staff Star Pathlight

OVERALL HEIGHT

24" (Standard), 30", 36", 42", 48", *54", *60", *66", or *72" height

STYLE

L - 90° Radius

FIXTURE

MM - Mini-Micro

SOURCE

LED - with Non-Dimming Integral Driver**

LED TYPE

e70 - 3W LED/2700K e85 - 3W LED/2700K 90 CRI

e71 - 3W LED/3000K e86 - 3W LED/3000K 90 CRI

e72 - 3W LED/4000K e87 - 3W LED/3500K 80 CRI

e73 - 3W LED/Amber

OPTICS

NSP - Narrow Spot (17°) MFL - Medium Flood (28°)

SP - Spot (21°) ASY - Asymmetrical (17x31°)

FINISH (See page 2 for full-color swatches)

Standard Finishes (BZP, BZW, BLP, BLW, WHP, WHW, SAP, VER)

Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRM, HUG, NBP, OCP, RMG, SDS, SMG, TXF, WCP, WIR)

Also available in RAL Finishes

LENS TYPE

12 - Soft Focus 13 - Rectilinear

SHIELDING

11 - Honeycomb Baffle

CAP STYLE

A - 45°

B - 90°

C - Flush

D - 45° Less Weephole (Interior use only)

E - 90° Less Weephole (Interior use only)

BASE OPTIONS

(Blank) - Anchor Base (Standard, for use with remote 12 VAC, LED transformer)

PP18B - 18" Power Pipe Stake with 'B' Cap***

PP-TRe20 - Power Pipe T with 18" Stake, TRe20 Electronic Transformer (105-300 VAC, 50/60 Hz, non-dimming)***

SF - Stability Flange (For use with Power Pipe)

MINI-MICRO - STAFF STAR STYLE 'L' LED

IP66 RATED

DATE: PROJECT: TYPE:

Accessories (Configure separately)

SPECIFICATIONS

ELECTRICAL	WATTAGE WIRING POWER PIPE WITH TRANSFORMER HOUSING	3W LED PVC coated, 18AWG, 150V, 60°C rated and certified to UL 1838 standard. Additionally features integral transformer housing fully machined from copper-free aluminum. High temperature, silicone 'O' Ring provides water-tight seal. Integral, TRe20 electronic transformer. 105-300VAC primary voltage. 50/60Hz. Non Dimming. 20VA maximum load.
PHYSICAL	STYLE MATERIALS BODY KNUCKLE CAP STEM LENS LED OPTICS ANCHOR BASE POWER PIPE HARDWARE FINISH WARRANTY CERTIFICATION & LISTING	L style features clean, 90° transition from fixture to stem. Furnished in copper-free aluminum (6061-T6). Unibody design is fully machined from solid billet and provides enclosed, water-proof wireway and integral heat sink for maximum component life. Integral knuckle for maximum mechanical strength. High temperature, silicone 'O' Ring provides water-tight seal. LOCK Knuckle is integral to the body and features an interior taper machined from solid billet and a second, reverse angle taper allowing full 180° vertical adjustment without the use of aim-limiting serrated teeth. High temperature, silicone 'O' Ring provides water-tight seal and compressive resistance to maintain fixture position. Design withstands 73 lbs. static load prior to movement for optical alignment with a 1/2" pipe thread for mounting. Fully machined and accommodates one (1) lens or louver media. Fully machined, 1" dia. with internal threads for maximum visual appeal. Available in configurable lengths to 72" maximum (with Anchor Base) and 48" maximum (with Power Pipe). Shock-resistant, tempered glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment. Integrated solid state system and modular design with electrical disconnects allows for easy field upgrade and maintenance. High power, forward throw source complies with ANSI C78.377 binning requirements and exceeds ENERGY STAR® lumen maintenance requirements. LM-80 certified components. Integral, constant current driver. 12VAC/VDC input. 50/60Hz. Proprietary input control scheme achieves power factor correction and eliminates inrush current (limited to <250mA non-dimming). Output, overvoltage, open-circuit, and short circuit protected. Conforms to Safety Std. C22.2 No. 250.13-12. Interchangeable, color-coded OPTIKIT modules permit field changes to optical distribution. Cast aluminum junction box with pass-through cover. 10" galvanized anchor stem for installation into soil or concrete. For use with 12VAC remote transformer or magnetic transformers only. B-K Lighting cannot guarantee performance with third party manufacturers' transformers. Provides a clean transition from wiring system to fixture. Schedule 80, 18" PVC housing for direct burial into soil or concrete. Machined 2-1/4" dia. cap for fixture mounting. Optional 6" diameter, molded stability flange, which simplifies installation and projects into substrate to reinforce housing stability. For use with 12VAC remote transformer or magnetic transformers only. B-K Lighting cannot guarantee performance with third party manufacturers' transformers. Tamper-resistant, stainless steel hardware. LOCK aiming screw screw is black oxide treated for additional corrosion resistance. StarGuard, our 15-stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating and is RoHS compliant. Powder coat or metal finish options available for brass material and metal finish option only for stainless steel material. 5-year limited warranty. ITL tested to IESNA LM-79. UL Listed. Certified to CAN/CSA/ANSI Standards. RoHS compliant. Suitable for indoor or outdoor use, in wet locations, and for installation within 4' of the ground. IP66 Rated. Made in the USA with sustainable processes.



B-K LIGHTING

MADE IN THE USA

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PROJECT

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80 Clear Creek Rd., Oakville
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REV DATE

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BY

1 04.15.24 Viewshed Revision YS

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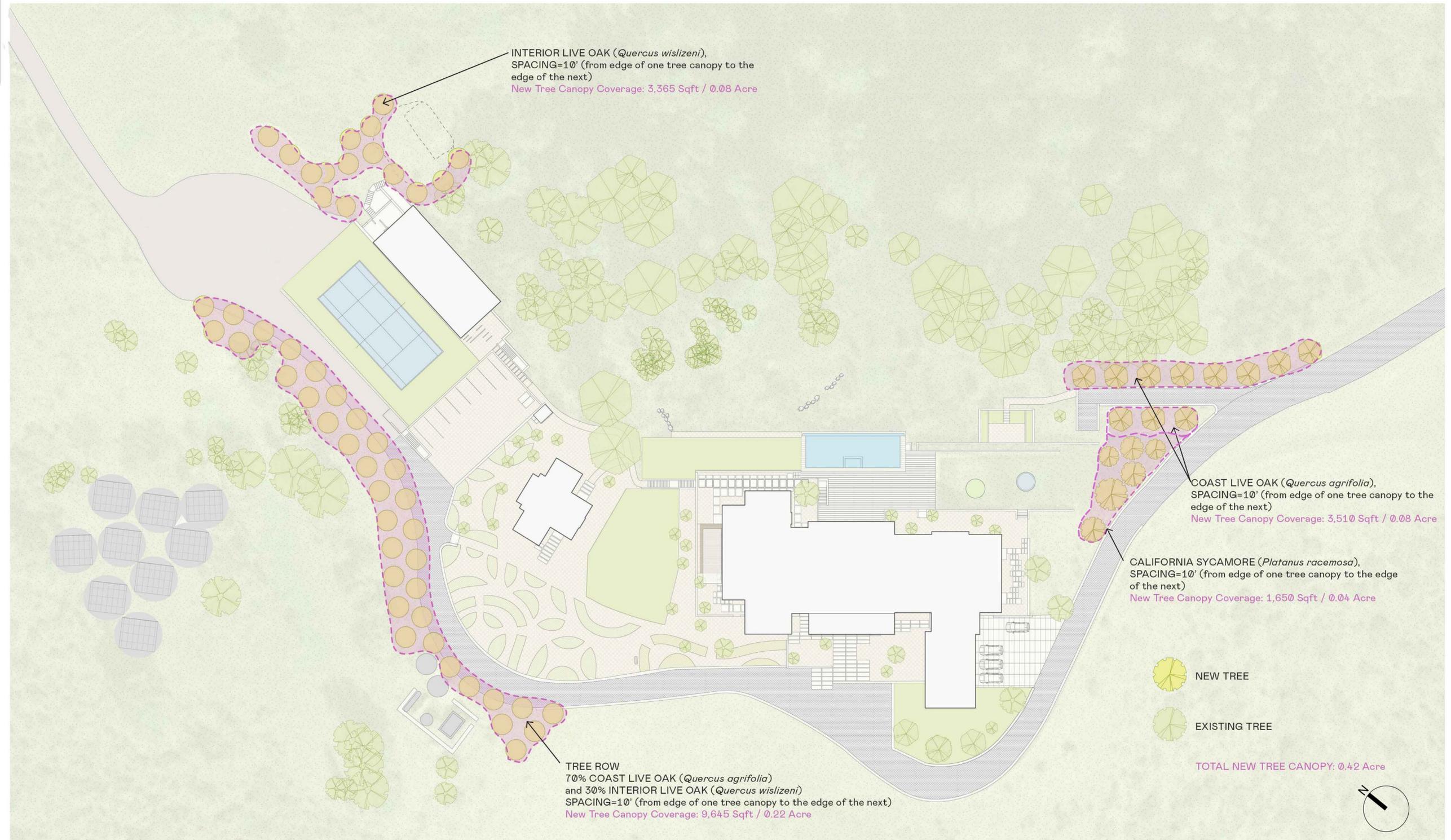
NTS

SHEET TITLE

LANDSCAPE LIGHTING FIXTURE SPECIFICATION

SHEET NUMBER

L103



INTERIOR LIVE OAK (*Quercus wislizeni*),
 SPACING=10' (from edge of one tree canopy to the edge of the next)
 New Tree Canopy Coverage: 3,365 Sqft / 0.08 Acre

COAST LIVE OAK (*Quercus agrifolia*),
 SPACING=10' (from edge of one tree canopy to the edge of the next)
 New Tree Canopy Coverage: 3,510 Sqft / 0.08 Acre

CALIFORNIA SYCAMORE (*Platanus racemosa*),
 SPACING=10' (from edge of one tree canopy to the edge of the next)
 New Tree Canopy Coverage: 1,650 Sqft / 0.04 Acre

TREE ROW
 70% COAST LIVE OAK (*Quercus agrifolia*)
 and 30% INTERIOR LIVE OAK (*Quercus wislizeni*)
 SPACING=10' (from edge of one tree canopy to the edge of the next)
 New Tree Canopy Coverage: 9,645 Sqft / 0.22 Acre

NEW TREE

EXISTING TREE

TOTAL NEW TREE CANOPY: 0.42 Acre



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ISSUE DATE
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2	12.06.24	New Tree Coverage	YS

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SCALE
 1"=30'-0"

SHEET TITLE
 NEW TREES

LA2 3



FIXTURE	MFG	MODEL #	DESCRIPTION
MINI MICRO	BK LIGHTING	SF - 24 - L - MM - LED - E71 - MFL - WHP - 12 - 11 - A - PP18B	PATH LIGHT

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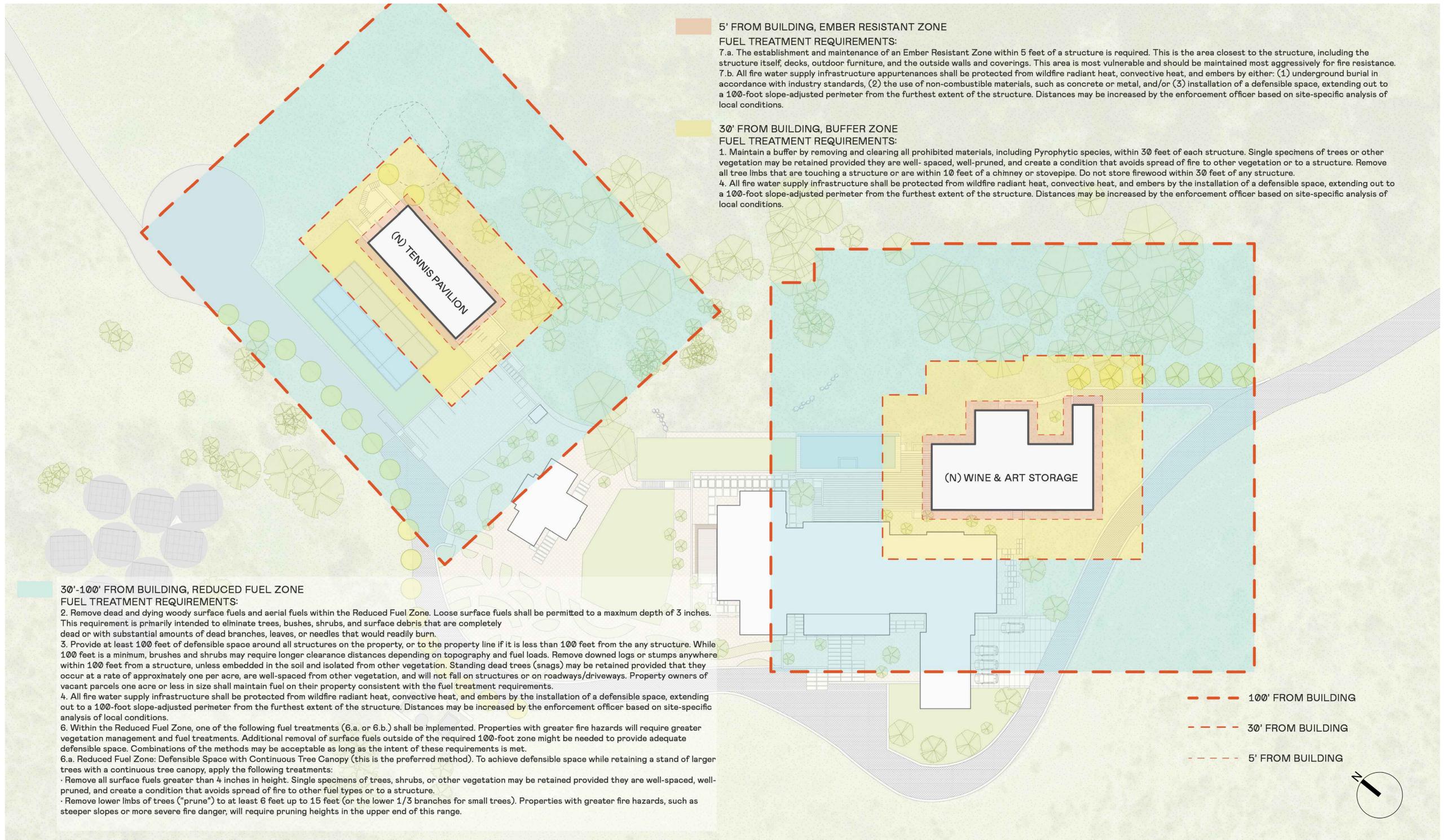
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ISSUE DATE	04/15/2024		
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SCALE
1" = 30'-0"

SHEET TITLE
LIGHTING PLAN

SHEET NUMBER
LA3



5' FROM BUILDING, EMBER RESISTANT ZONE

FUEL TREATMENT REQUIREMENTS:

7. a. The establishment and maintenance of an Ember Resistant Zone within 5 feet of a structure is required. This is the area closest to the structure, including the structure itself, decks, outdoor furniture, and the outside walls and coverings. This area is most vulnerable and should be maintained most aggressively for fire resistance.
 7. b. All fire water supply infrastructure appurtenances shall be protected from wildfire radiant heat, convective heat, and embers by either: (1) underground burial in accordance with industry standards, (2) the use of non-combustible materials, such as concrete or metal, and/or (3) installation of a defensible space, extending out to a 100-foot slope-adjusted perimeter from the furthest extent of the structure. Distances may be increased by the enforcement officer based on site-specific analysis of local conditions.

30' FROM BUILDING, BUFFER ZONE

FUEL TREATMENT REQUIREMENTS:

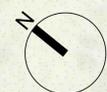
1. Maintain a buffer by removing and clearing all prohibited materials, including Pyrophytic species, within 30 feet of each structure. Single specimens of trees or other vegetation may be retained provided they are well-spaced, well-pruned, and create a condition that avoids spread of fire to other vegetation or to a structure. Remove all tree limbs that are touching a structure or are within 10 feet of a chimney or stovepipe. Do not store firewood within 30 feet of any structure.
 4. All fire water supply infrastructure shall be protected from wildfire radiant heat, convective heat, and embers by the installation of a defensible space, extending out to a 100-foot slope-adjusted perimeter from the furthest extent of the structure. Distances may be increased by the enforcement officer based on site-specific analysis of local conditions.

30'-100' FROM BUILDING, REDUCED FUEL ZONE

FUEL TREATMENT REQUIREMENTS:

2. Remove dead and dying woody surface fuels and aerial fuels within the Reduced Fuel Zone. Loose surface fuels shall be permitted to a maximum depth of 3 inches. This requirement is primarily intended to eliminate trees, bushes, shrubs, and surface debris that are completely dead or with substantial amounts of dead branches, leaves, or needles that would readily burn.
 3. Provide at least 100 feet of defensible space around all structures on the property, or to the property line if it is less than 100 feet from the any structure. While 100 feet is a minimum, bushes and shrubs may require longer clearance distances depending on topography and fuel loads. Remove downed logs or stumps anywhere within 100 feet from a structure, unless embedded in the soil and isolated from other vegetation. Standing dead trees (snags) may be retained provided that they occur at a rate of approximately one per acre, are well-spaced from other vegetation, and will not fall on structures or on roadways/driveways. Property owners of vacant parcels one acre or less in size shall maintain fuel on their property consistent with the fuel treatment requirements.
 4. All fire water supply infrastructure shall be protected from wildfire radiant heat, convective heat, and embers by the installation of a defensible space, extending out to a 100-foot slope-adjusted perimeter from the furthest extent of the structure. Distances may be increased by the enforcement officer based on site-specific analysis of local conditions.
 6. Within the Reduced Fuel Zone, one of the following fuel treatments (6.a. or 6.b.) shall be implemented. Properties with greater fire hazards will require greater vegetation management and fuel treatments. Additional removal of surface fuels outside of the required 100-foot zone might be needed to provide adequate defensible space. Combinations of the methods may be acceptable as long as the intent of these requirements is met.
 6.a. Reduced Fuel Zone: Defensible Space with Continuous Tree Canopy (this is the preferred method). To achieve defensible space while retaining a stand of larger trees with a continuous tree canopy, apply the following treatments:
 - Remove all surface fuels greater than 4 inches in height. Single specimens of trees, shrubs, or other vegetation may be retained provided they are well-spaced, well-pruned, and create a condition that avoids spread of fire to other fuel types or to a structure.
 - Remove lower limbs of trees ("prune") to at least 6 feet up to 15 feet (or the lower 1/3 branches for small trees). Properties with greater fire hazards, such as steeper slopes or more severe fire danger, will require pruning heights in the upper end of this range.

- - - 100' FROM BUILDING
- - - 30' FROM BUILDING
- - - 5' FROM BUILDING



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 SCALE: 1" = 30'-0"

SHEET TITLE
**DEFENSIBLE SPACE
 NEW BUILDING**

SHEET NUMBER
LA4

5' FROM BUILDING, EMBER RESISTANT ZONE

RECOMMENDATIONS:

- Remove any combustible outdoor furniture.
- Replace jute or fiber doormats with fire resistant materials.
- Remove or relocate all combustible materials, including garbage and recycling containers, lumber, trash, and patio accessories.
- Clean all fallen leaves and needles regularly. Repeat often during fire season.
- No Pyrophytic vegetation is recommended within 5 feet of structures. Vegetation in the Ember Resistant Zone area will be evaluated for compliance.
- Other plant species not listed or named should be reviewed by the Fire Code Official.
- Remove tree limbs that extend into this zone. Fire-prone tree varieties should be removed if they extend within 5 feet of any structure.
- Do not store firewood, lumber, or combustibles here, even (especially) under decks or overhangs. Move stored combustibles inside, or at least 30 feet away from structures.
- Use only inorganic, non-combustible mulches such as stone or gravel.

30' FROM BUILDING, BUFFER ZONE

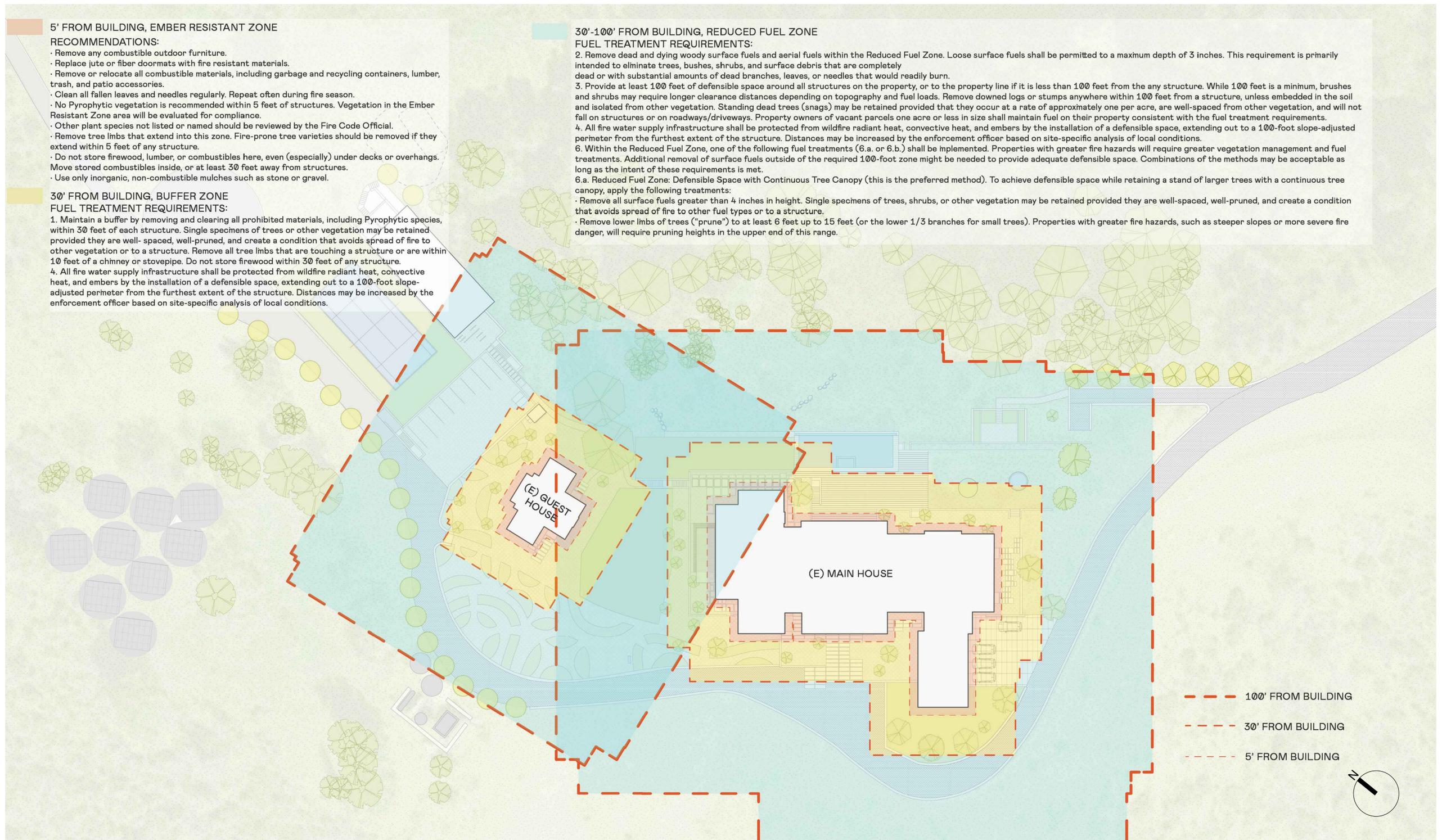
FUEL TREATMENT REQUIREMENTS:

1. Maintain a buffer by removing and clearing all prohibited materials, including Pyrophytic species, within 30 feet of each structure. Single specimens of trees or other vegetation may be retained provided they are well-spaced, well-pruned, and create a condition that avoids spread of fire to other vegetation or to a structure. Remove all tree limbs that are touching a structure or are within 10 feet of a chimney or stovepipe. Do not store firewood within 30 feet of any structure.
4. All fire water supply infrastructure shall be protected from wildfire radiant heat, convective heat, and embers by the installation of a defensible space, extending out to a 100-foot slope-adjusted perimeter from the furthest extent of the structure. Distances may be increased by the enforcement officer based on site-specific analysis of local conditions.

30'-100' FROM BUILDING, REDUCED FUEL ZONE

FUEL TREATMENT REQUIREMENTS:

2. Remove dead and dying woody surface fuels and aerial fuels within the Reduced Fuel Zone. Loose surface fuels shall be permitted to a maximum depth of 3 inches. This requirement is primarily intended to eliminate trees, bushes, shrubs, and surface debris that are completely dead or with substantial amounts of dead branches, leaves, or needles that would readily burn.
3. Provide at least 100 feet of defensible space around all structures on the property, or to the property line if it is less than 100 feet from the any structure. While 100 feet is a minimum, bushes and shrubs may require longer clearance distances depending on topography and fuel loads. Remove downed logs or stumps anywhere within 100 feet from a structure, unless embedded in the soil and isolated from other vegetation. Standing dead trees (snags) may be retained provided that they occur at a rate of approximately one per acre, are well-spaced from other vegetation, and will not fall on structures or on roadways/driveways. Property owners of vacant parcels one acre or less in size shall maintain fuel on their property consistent with the fuel treatment requirements.
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SCHEMATIC DESIGN

ISSUE DATE

04/15/2024

REV DATE

04-15-24

ISSUE

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BY

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SCALE

1" = 30'-0"

SHEET TITLE

DEFENSIBLE SPACE
EXISTING BUILDING

SHEET NUMBER

LA5