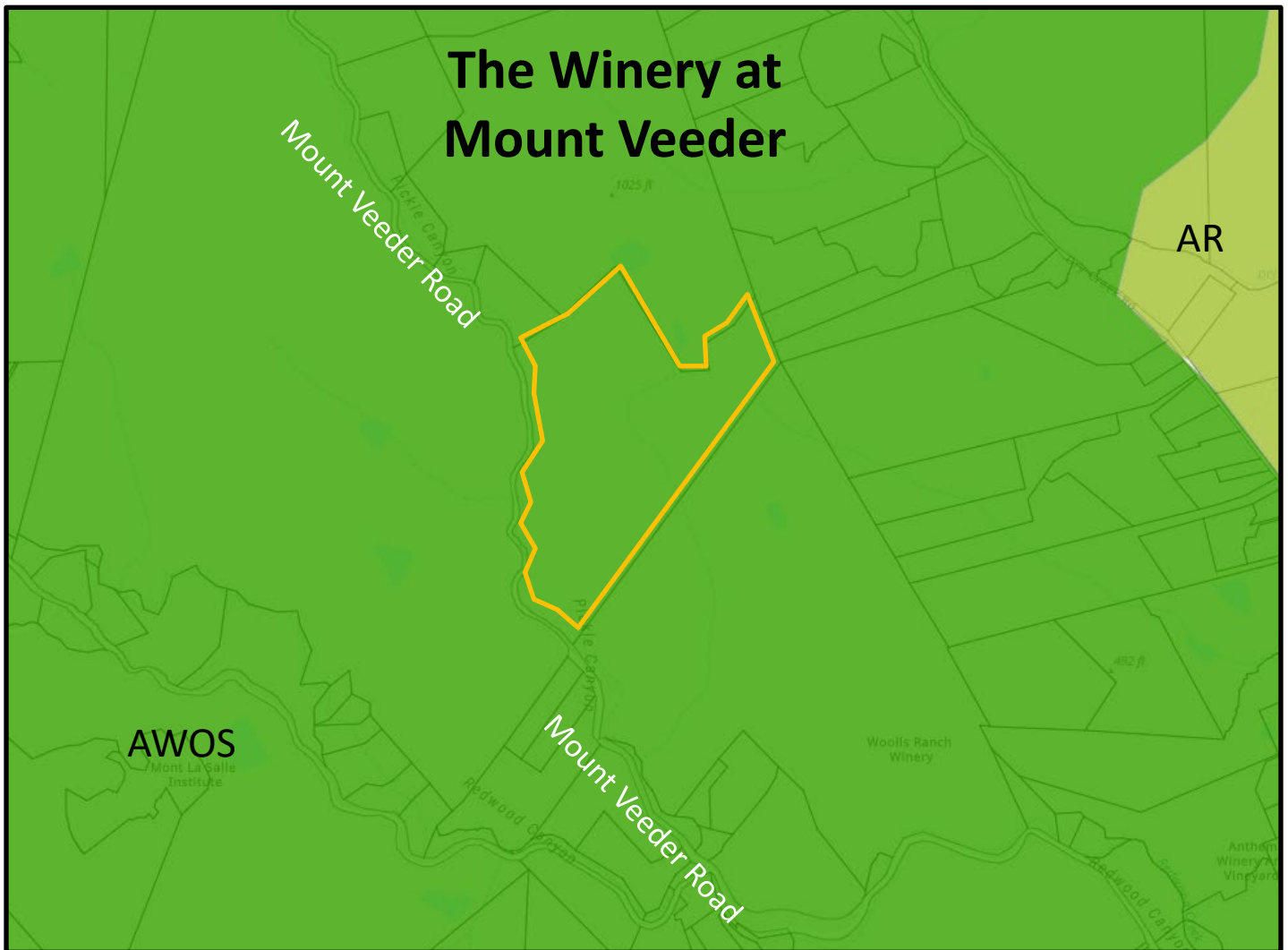


“M”

Graphics

NAPA COUNTY LAND USE PLAN 2008 – 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

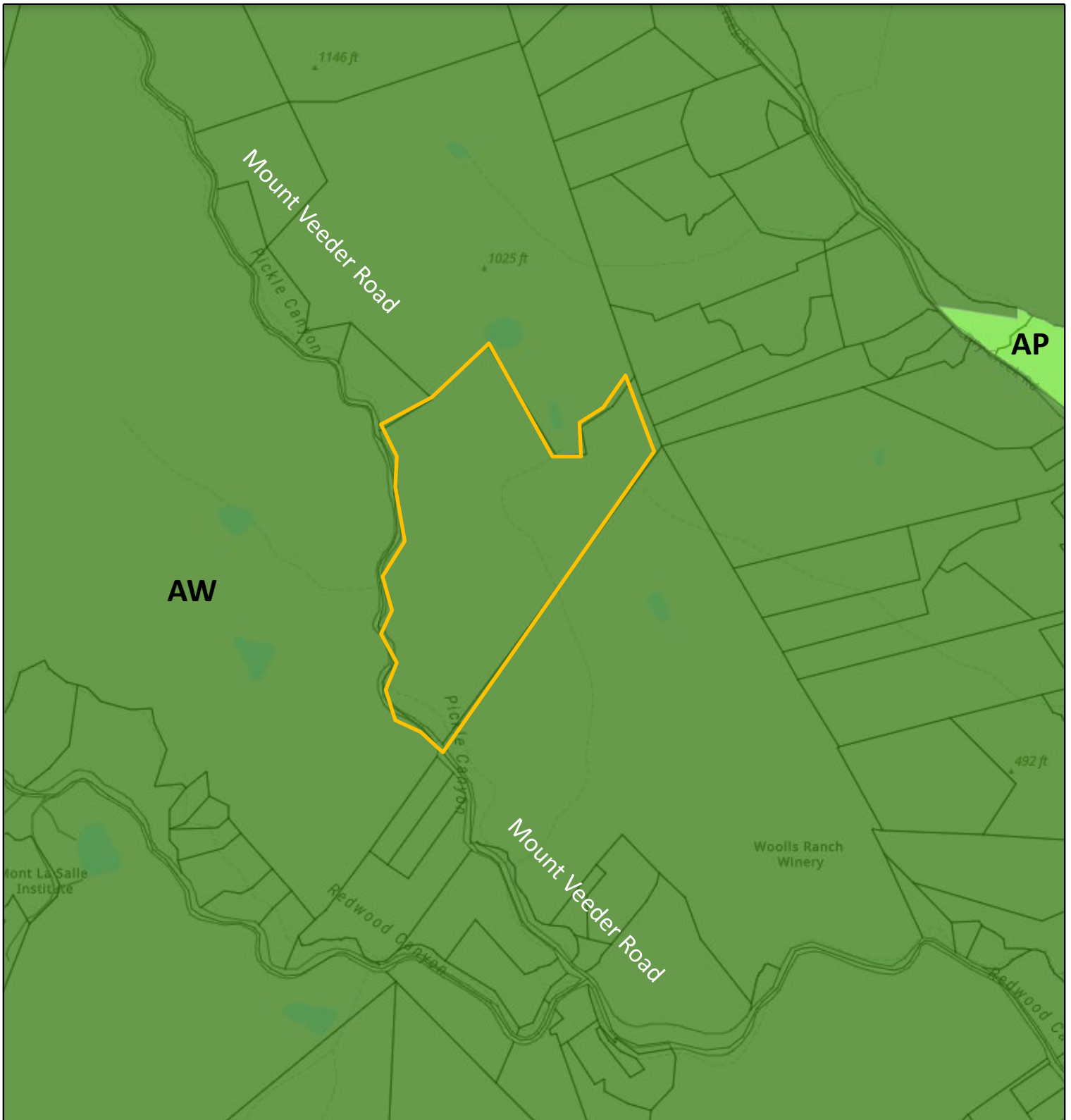
- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone



LEGEND

- Zoning
- Parcel



ZONING MAP



THE WINERY AT MT. VEEDER

USE PERMIT PLANS

ABBREVIATIONS

AD	AREA DRAIN
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
ARCH	ARCHITECT
BM	BENCHMARK
C	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONF	CONFORM
DI	DRAIN INLET
DIP	DUCTILE IRON PIPE
DS	DOWNSPOUT
EG	EXISTING GRADE
EP	EDGE OF PAVEMENT
EX (E)	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
GB	GRADE BREAK
HF	HIGH POINT
INV	INVERT
IP	IRON PIPE
JP	JOINT POLE
LF	LINEAL FEET/FOOT
LP	LOW POINT
M	MANHOLE
NCFD	NAPA COUNTY FIRE DEPARTMENT
N	NEW
OC	ON CENTER
OH	OVERHEAD
PCC	PORTLAND CEMENT CONCRETE
PG&E	PACIFIC GAS AND ELECTRIC
PV	POST INDICATOR VALVE
P	PROPERTY LINE
(P)	PROPOSED
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
S	SLOPE (FEET/FOOT)
S.A.D.	SEE ARCHITECTURAL DRAWINGS
SD	STORY DRAIN
S.S.D.	SEE STRUCTURAL DRAWINGS
STD	STANDARD
TYP	TYPICAL

LEGEND

	GUY WIRE
	TREE (AS NOTED)
	UTILITY POLE (AS NOTED)
	SURVEY CONTROL STATION (AS NOTED)
	FLOWLINE
	WIRE FENCE
	TOE OF BANK
	TOP OF BANK
	GRADEBREAK
	PROPERTY LINE
	EDGE OF ROAD
	OVERHEAD UTILITY LINES

EARTHWORK NOTES

1. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CALCULATED EXCESS AND SHORTAGE ARE TO FINISHED GRADE AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED WILL VARY, DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING, RISES, SETTLES, AND THE CONTRACTORS METHOD OF OPERATION.
2. DUE TO THE INEXACT NATURE OF EARTHWORK ESTIMATING, THERE IS NO GUARANTEE OF THE QUANTITIES. CONTRACTOR SHALL MAKE HIS OWN ESTIMATE FOR BID AND CONTRACT PURPOSES.
3. NO ASSUMPTIONS ARE MADE FOR UTILITY TRENCHES, STRUCTURAL FOOTINGS, BULKING, COMPACTION, OR CONSOLIDATION. CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS FOR BID AND CONTRACT PURPOSES.
4. SEE GEOTECHNICAL REPORT FOR ADDITIONAL EXCAVATION AND GRADING REQUIREMENTS.

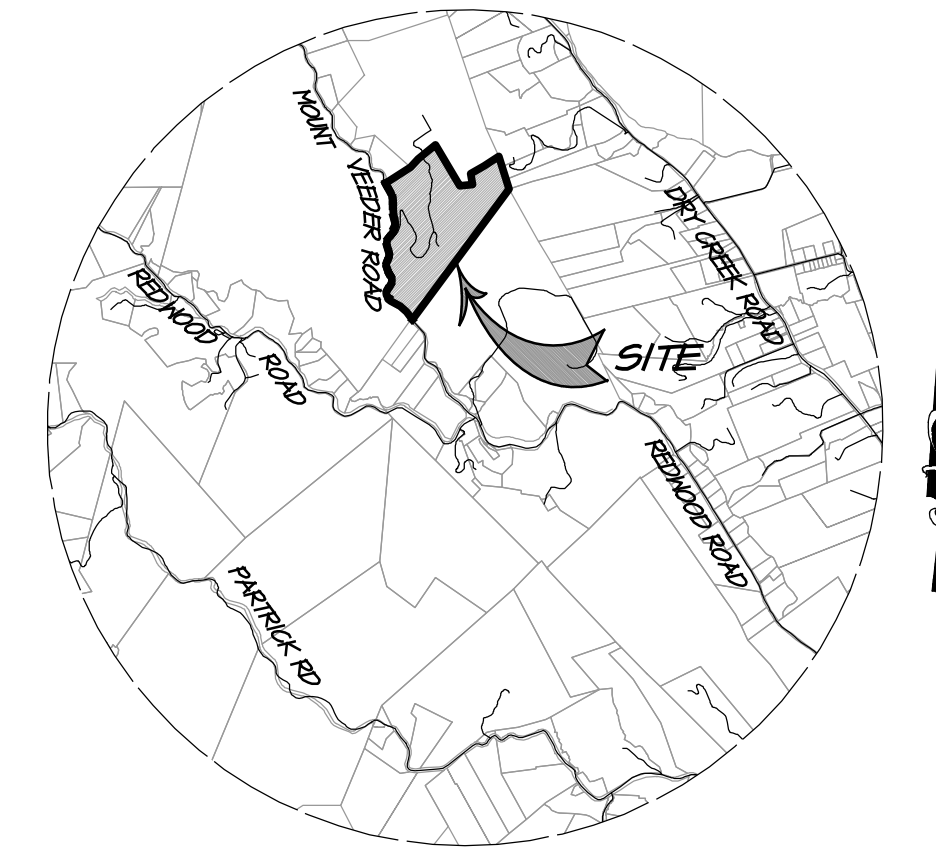
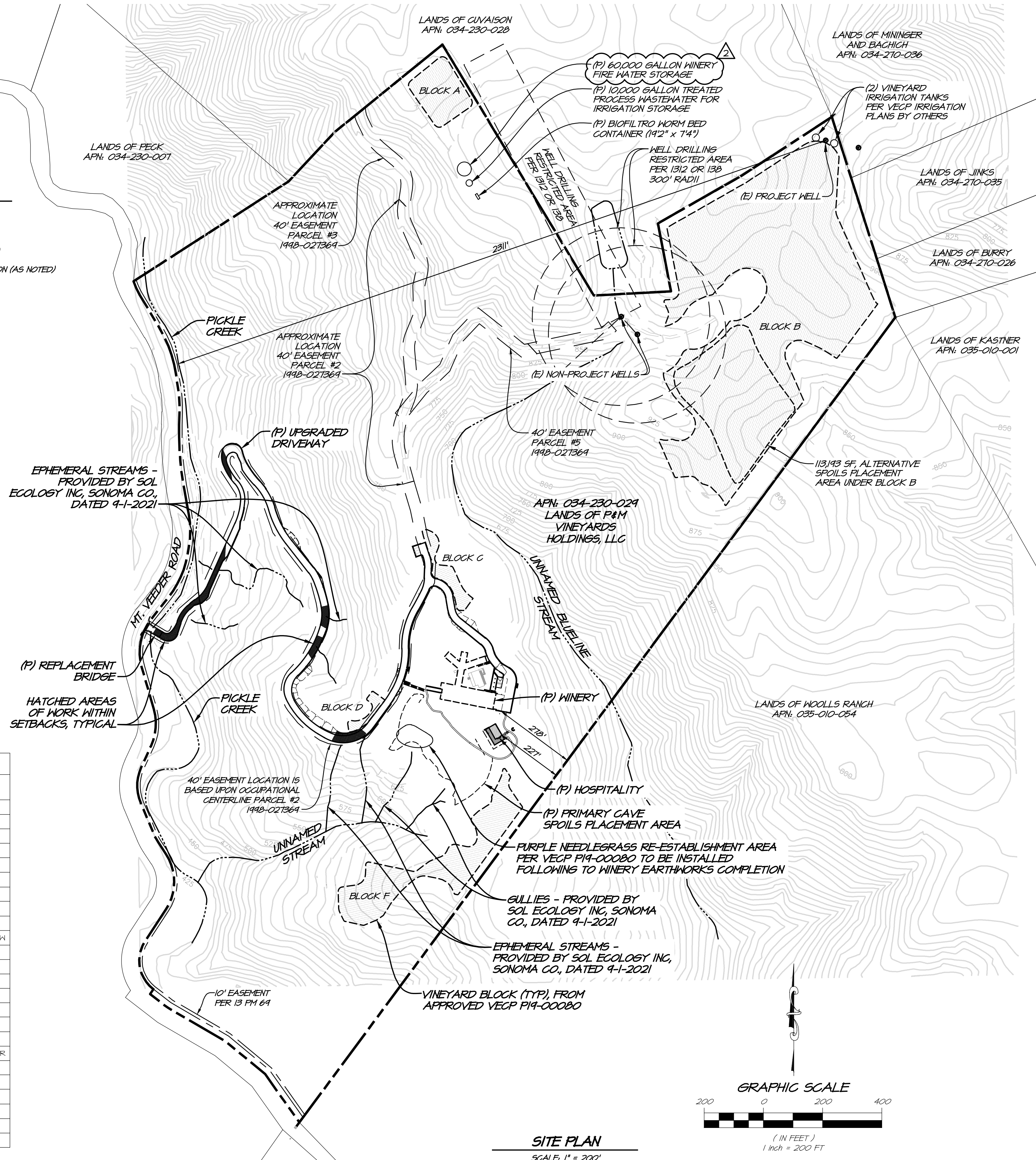
EARTHWORKS ESTIMATE

	CUT (CY)	FILL (CY)
GAVE	8,700	-
WINERY & NEW ROAD WITH PARKING	3,440	10,965
TURNOUTS & WIDENING (E) ROAD	1,755	50
SPOILS PLACEMENT IN VINEYARD BLOCK B	-	2,880
* NET	13,895	13,895

* EARTHWORKS BALANCE ON-SITE, NO OFF-HAUL REQUIRED.

LOCAL SITE CONTROL				
#	GROUND NORTHING	GROUND EASTING	ELEVATION	DESCRIPTION
1	10871060.73	6454202.00	671.18'	SET RBR NE.20' PP WTRANS
2	1086338.90	6454560.04	680.64'	SET RBR HILLSIDE
3	1085115.54	6453891.12	415.03'	SET MAG WEP MT VEEDER RD
4	1087434.24	6454271.33	716.21'	SET RBR N. ERD GVL
5	1087014.65	6453941.78	640.40'	SET RBR K. SHOULDER GVL D/W
6	1087596.41	6454351.58	733.10'	SET 90D NE GVL D/W INT
7	1087153.19	6453861.23	616.40'	SET 90D SW ERD GVL FCC
8	1087428.02	6454001.41	580.11'	SET 90D ELY 6.0 GVL D/W
9	1087733.16	6453843.01	551.63'	SET 90D E 5.0 TOP CUT
10	1087961.54	6453646.34	524.24'	SET MAG NW EP HAIRPIN TURN D/W
11	1086615.73	6454558.61	702.41'	SET 90D HILLTOP
12	1087137.39	6454475.29	740.33'	SET MAG BACKYARD HOME/SITE
13	1086472.12	6454630.92	718.62'	SET 90D E. EDGE HILLSIDE
14	1087148.91	6454550.62	734.20'	SET 90D SE HSE
15	10871264.91	6454530.17	735.58'	SET 90D NE HSE
16	1088001.24	6454221.76	774.34'	SET 90D SLY D/W FORK
16	1088116.24	6453484.36	483.50'	SET MAG EEP MT VEEDER RD
62	1087585.80	6453040.91	454.65'	SET RBR SHOULDER E. MT VEEDER
63	1087413.67	6453362.20	448.71'	SET RBR TUNOUT W. MT VEEDER
64	1087803.63	6453522.56	410.43'	SET 90D E. MT VEEDER
65	1087345.34	6453455.15	451.34'	SET 90D S. EP D/W
66	1087632.33	6453664.68	497.75'	SET 90D E. 6.5 TOP D/W CUT
67	1087841.19	6453718.18	511.44'	SET 90D E. ERD GVL
70	1087486.14	6453358.53	476.45'	SET 90D W. ERD GVL

*POINT# I USED FOR GRID TO GROUND CONVERSION, SCALE: 1.000029665



VICINITY MAP

SCALE: 1" = 4000'

PROJECT INFORMATION

OWNER: P4M VINEYARDS HOLDINGS, LLC
MAILING ADDRESS: P.O. BOX 1480
SEBASTOPOL, CA 95473
SITE ADDRESS: 1300 MOUNT VEEDER ROAD
NAPA, CA 94558
CIVIL ENGINEER: RS4
1515 FOURTH STREET
NAPA, CA 94559
APN & AREA: 034-230-029 (115.21 ACRES)
DISTURBED AREA: 75,023 SF (1.12 ACRES)

TOPOGRAPHY NOTES

1. FADED BACKGROUND REPRESENTS EXISTING TOPOGRAPHIC FEATURES. TOPOGRAPHIC INFORMATION WAS TAKEN FROM THE TOPOGRAPHIC MAP OF A PORTION OF THE LANDS OF PAM VINEYARDS HOLDINGS LLC A.P.N. 034-230-024 NAPA COUNTY, CALIFORNIA* PREPARED BY RSA* APRIL, 2021.
 2. HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83) 2011 EPOCH BASED UPON G.P.S. OBSERVATIONS ON NETWORK UTILIZING CONTINUALLY OPERATING REFERENCE STATION (CORS.) INFORMATION FROM THE CALIFORNIA SPATIAL REFERENCE CENTER (C.S.R.C.).
 - VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDS88)
 3. CONTOURS ARE SHOWN EVERY ONE FOOT (1'), HIGHLIGHTED EVERY FIVE FEET (5').
- SUPPLEMENTAL TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD TOPOGRAPHIC SURVEY PREPARED BY MINGELLE CIVIL ENGINEERING ON JULY 7, 2015.
1. THE LOCATION OF ANY UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE, OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES, AND RELATED APPURTENANCES, ANY INDIVIDUAL, COMPANY, OR AGENCY USING THIS MAP MUST CONFIRM THE LOCATION OF ALL UNDERGROUND LINES OR STRUCTURES PRIOR TO COMMENCING ANY EXCAVATION. LOCATION OF UNDERGROUND UTILITIES SHALL BE DETERMINED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).
 2. THE CONTENT OF THIS MAP WAS DEFINED BY CONTRACT AT THE SPECIFIC REQUEST OF THE CLIENT(S) AND/OR THEIR CONSULTANT(S). THE SURVEYOR ACCEPTS NO LIABILITY FOR USE OF THIS MAP BY ANY ONE OTHER THAN THE CLIENT(S) AND/OR CONSULTANTS FOR WHOM IT WAS PREPARED.
 3. RECORD BOUNDARY LINES SHOWN HEREON ARE DELINEATED FROM RECORD DATA ONLY AND DO NOT CONSTITUTE A BOUNDARY SURVEY. THE PERFORMANCE OF A BOUNDARY SURVEY AND THE ANALYSIS OF LEGAL INTERESTS RELATING TO THE LANDS DEPICTED HEREIN SHOULD BE REQUIRED IF PRECISE PROPERTY LOCATION AND BOUNDARY LIMITS ARE NEEDED OR DESIRED. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE PROPERTY DATA DELINEATED HEREON.
 4. BASIS OF BEARINGS: T-83°21'00"E BETWEEN A FOUND T-BAR TAGGED "LS 3131" AND A 34" OAK WITH TAG "LS 3131"; AS SHOWN ON THE PARCEL MAP RECORDED IN BOOK 13 OF PARCEL MAPS, AT PAGES 64-71, NAPA COUNTY RECORDS.
 5. ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED DATUM. BENCHMARK CONTROL POINT #6, A 5FT GDSI ELEVATION: 930.10'

BOUNDARY NOTES

BOUNDARY SHOWN IS RECORD INFORMATION PER THE GRANT DEED
RECORDED AS DOCUMENT NUMBER 2015-0018227, NAPA COUNTY RECORDS.

SHEET INDEX

UP1.0	COVER SHEET
UP2.0	MINERY LAYOUT
UP2.1	SLOPE ANALYSIS
UP2.2	COVERAGE AND DEVELOPMENT
UP2.3	TREE CANOPY COVERAGE
UP2.4	CONSTRAINTS MAP
UP3.0	HILLSIDE GRADING PLAN
UP4.0	UTILITY PLAN
UP5.0-UP5.5	DRIVEWAY SHEETS
UP6.0	FIRE TRUCK PLAN: STA 6+50 - 10+00

		NO.	DATE	REVISIONS	BY	APPD.
0	08/08/22					
1	12/23/22					
2	06/23/23					

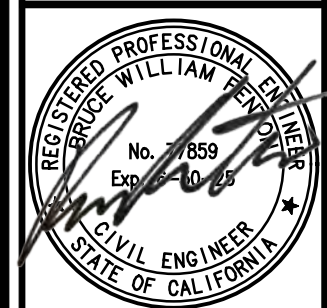
RS⁺

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE | 707 | 252.3301
+ www.RSagivil.com +

RS⁺ | CONSULTING CIVIL ENGINEERS • SURVEYORS +

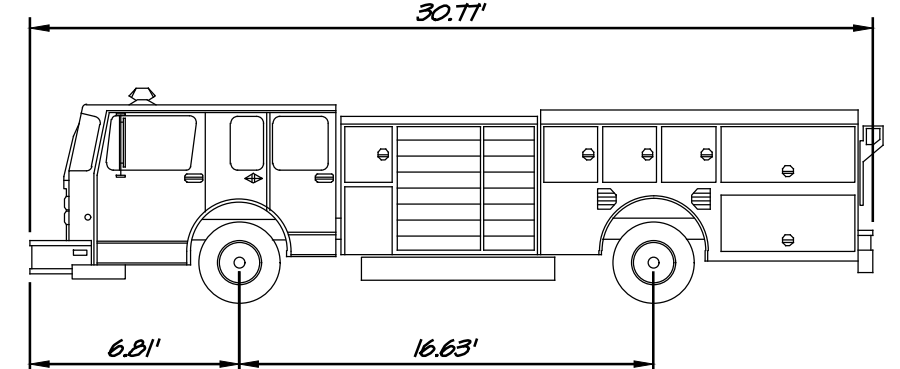
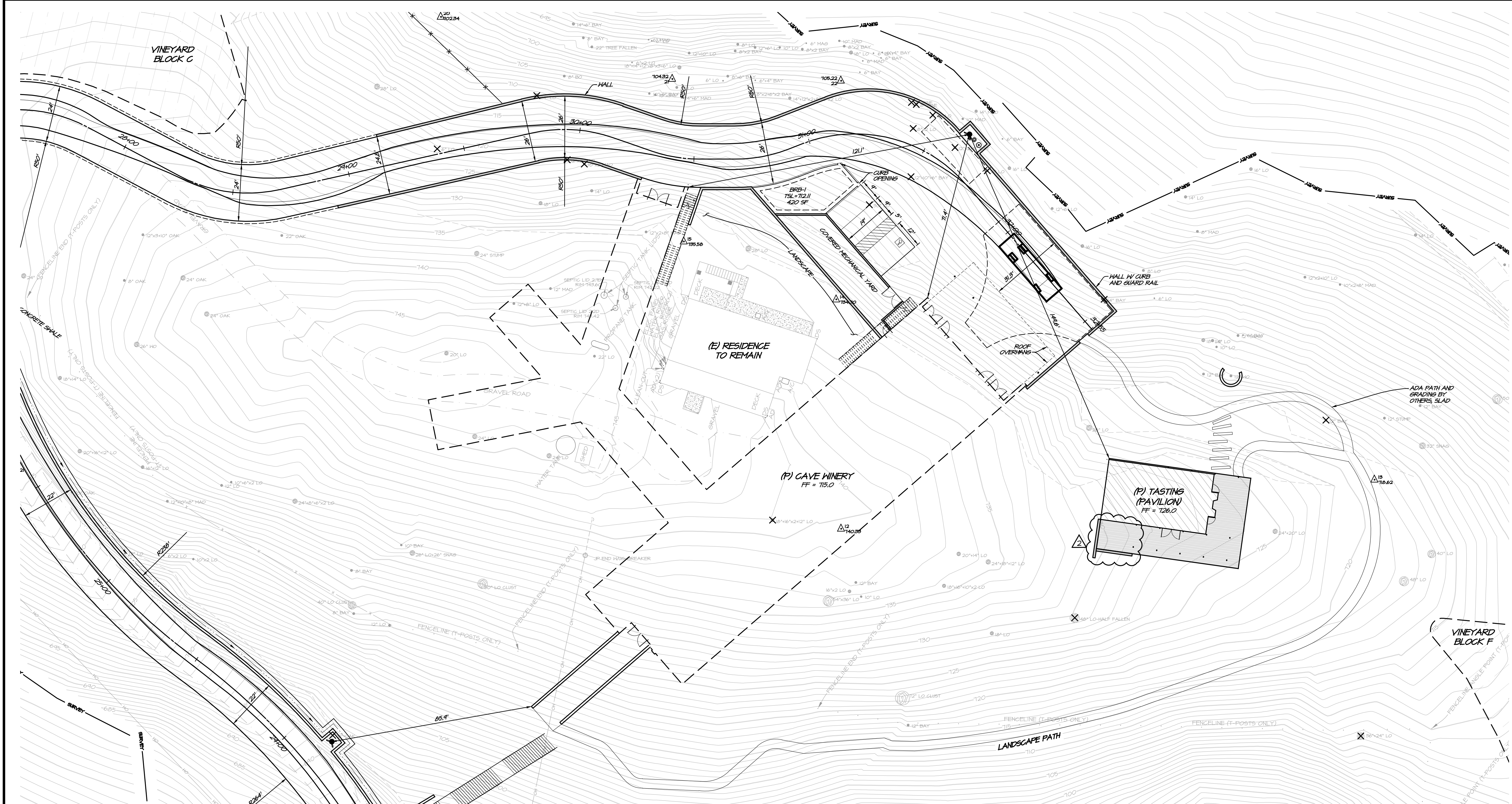
EST. 1980

THE WINERY AT MT. VEEDER
COVER SHEET
NAPA COUNTY CALIFORNIA



DATE	JUNE 23, 2023	
DRAWN	JFW	
DESIGNED	MSS ADRL	
CHECKED	BWF	
JOB NO.	4121017.0	

SHEET NO.
UP1.0
1 OF 15 SHEETS



NAPA COUNTY TYPE I ENGINE

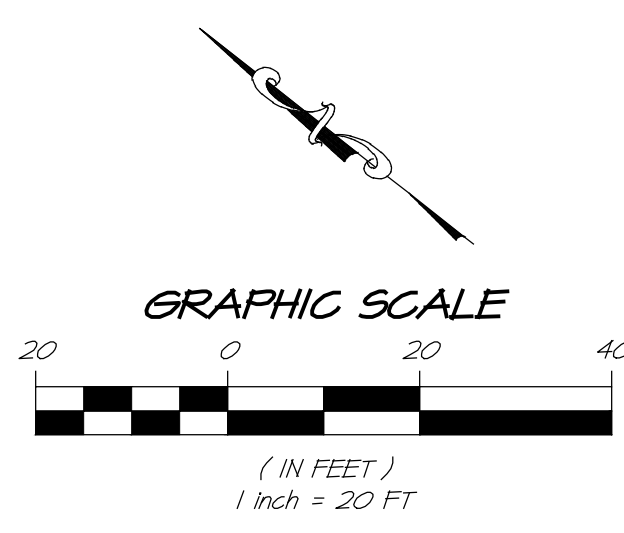
OVERALL LENGTH	30.71 FT
OVERALL WIDTH	8.500 FT
OVERALL BODY HEIGHT	8.711 FT
MIN BODY GROUND CLEARANCE	1.072 FT
TRACK WIDTH	8.500 FT
LOCK TO LOCK TIME	1.00 S
CURB TO CURB TURNING RADIUS	29.660 FT

NAPA COUNTY TYPE I ENGINE

NO SCALE

PARKING SUMMARY	
STANDARD	6
ADA	1
TOTAL	7

SEE UPS.4 FOR EMPLOYEE PARKING



06/09/22

FIRST SUBMITTAL OR REVISION DESCRIPTION

JFH M55

12/23/22

RESPONSE TO COUNTY COMMENTS #1

JFH M55

06/23/23

RESPONSE TO COUNTY COMMENTS #2

JFH DRL

NO.

DATE

REVISIONS

BY

APPD

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE (707) 252.3301
WWW.RSACivil.com

RSA+

RSAC+ CONSULTING CIVIL ENGINEERS + SURVEYORS • 1986

THE WINERY AT MT. VEEDER
WINERY LAYOUT

CALIFORNIA
NAPA COUNTY

REGISTERED PROFESSIONAL ENGINEER
No. 71752
Exp. 12/31/25
CIVIL ENGINEER
STATE OF CALIFORNIA

DATE

JUNE 23, 2023

DRAWN

JFH

DESIGNED

MSS
DRL

CHECKED

BAWF

JOB NO.

41210110

SHEET NO.

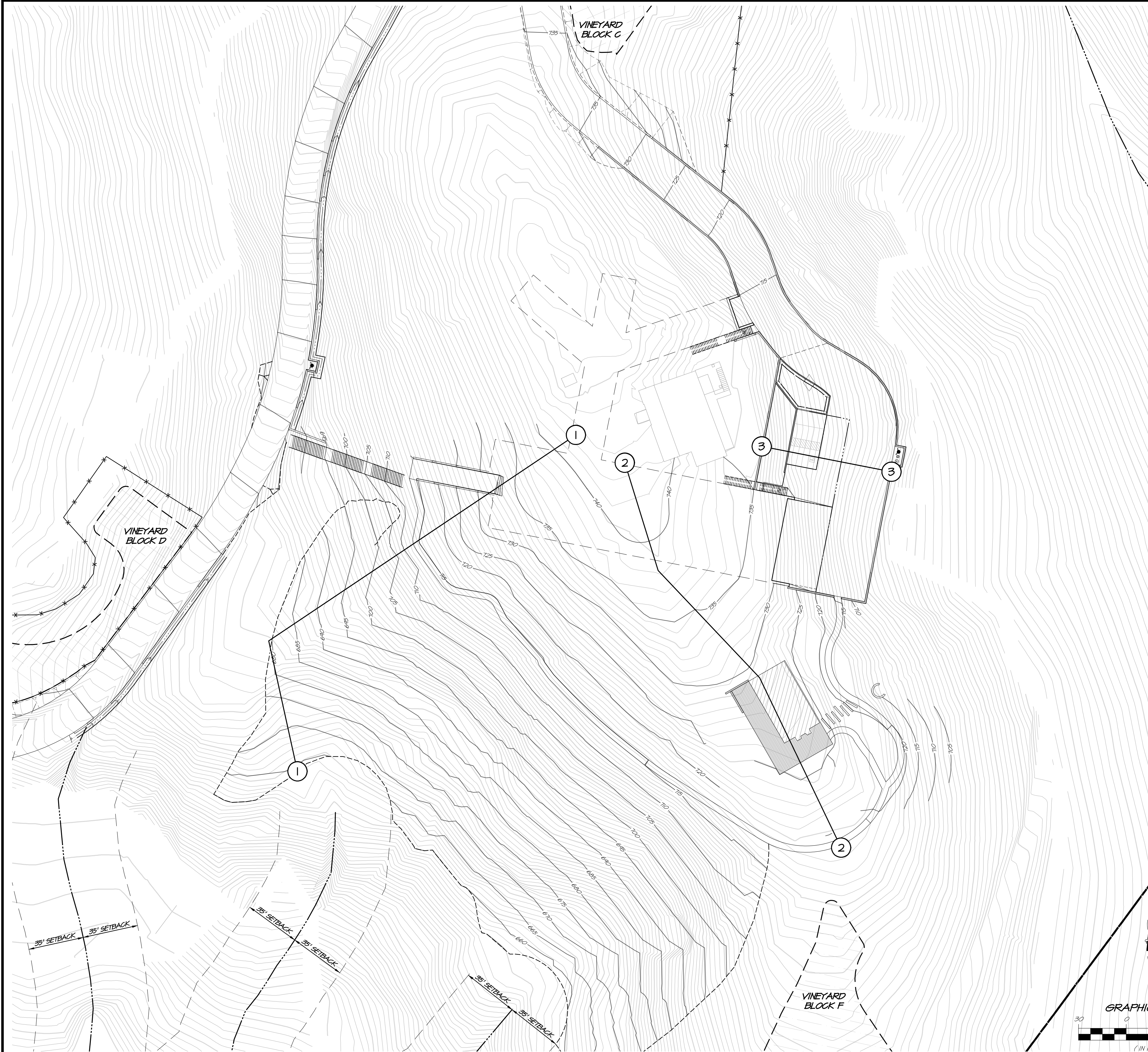
UP2.0

2 OF 15 SHEETS

PRINTED ON RECYCLED PAPER

PLEASE CONTINUE THE CYCLE

PRELIMINARY - NOT FOR CONSTRUCTION



NAPA COUNTY EROSION AND SEDIMENT CONTROL NOTES

- GENERAL**
- GRADING ON THE SITE SHALL BE LIMITED TO THE AREA SHOWN ON THE PLAN.
 - ALL MOVEMENT OF EARTH SHALL COMPLY WITH THE SPECIFICATIONS CONTAINED IN THE NAPA COUNTY GRADING ORDINANCE, AND THE EROSION AND SEDIMENT CONTROL PLAN (ESCP) / STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
 - CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN TO MEET FIELD CONDITIONS SHALL BE MADE ONLY WITH THE APPROVAL OFFICER AT THE DIRECTION OF RSA.
 - THE CONTRACTOR SHALL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE ESCP / SWPPP AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.
 - CONTRACTOR SHALL NOTIFY THE COUNTY OF NAPA PLANNING, BUILDING AND ENVIRONMENTAL SERVICES (PEES) DEPARTMENT (707-253-4471) 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED ESCP / SWPPP.
 - REVIEW AND/OR APPROVAL OF THE ESCP / SWPPP SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION SITE RUNOFF CONTROL MANUAL, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
 - IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE COUNTY OF NAPA PEES DEPARTMENT.
 - CONTRACTOR SHALL PROVIDE THE COUNTY OF NAPA PEES DEPARTMENT AN EROSION AND SEDIMENT CONTROL PLAN AND A SCHEDULE FOR IMPLEMENTATION OF SUCH MEASURES. IF ANY LOT OR STREET GRADING IS TO BE DONE BETWEEN OCTOBER 15 THROUGH APRIL 1, HYDROSEEDING OF ALL GRADED SLOPES SHALL BE COMPLETED BY NOVEMBER 1.
 - FOR SLOPES 3:1 (H:V) OR STEEPER, ALL SLOPES EQUAL TO OR GREATER THAN 3 FEET IN VERTICAL HEIGHT ARE REQUIRED TO BE PLANTED WITH GRASS OR ROSEA ICE PLANT (OR EQUAL) GROUND COVER AT A MAXIMUM SPACING OF 12 INCHES ON CENTER, OR TREES SPACED NOT TO EXCEED 20 FEET ON CENTER OR SHRUBS NOT TO EXCEED 10 FEET ON CENTER, OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15 FEET IN ADDITION TO THE GRASS OR GROUND COVER. SLOPES THAT REQUIRE PLANTING SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM EQUIPPED WITH AN APPROPRIATE BACKFLOW DEVICE PER CALIFORNIA PLUMBING CODE (CPC) CHAPTER 603. THE SLOPE PLANTING AND IRRIGATION SYSTEM SHALL BE INSTALLED PRIOR TO PRECISE GRADING FINAL.

- MAINTENANCE NOTES**
- BIODEGRADABLE FIBER ROLL SEDIMENT BARRIERS (NO PLASTIC NETTING) SHALL BE INSTALLED PRIOR TO ANY GRADING ON THE SITE AND WILL REMAIN OPERABLE UNTIL PERMANENT STABILIZATION HAS BEEN ACHIEVED.
 - DURING THE RAINY SEASON, ALL SEDIMENT BARRIERS SHALL BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY AND, IN ADDITION, AFTER EACH STORM.
 - ALL PAVED AREAS SHALL BE KEPT CLEAR OF DIRT, SEDIMENT, AND DEBRIS. THE PROJECT AREA SHALL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.

SUPPLEMENTAL EROSION AND SEDIMENT CONTROL NOTES

- SEEDING SPECIFICATIONS**
- ALL GRADED OR DISTURBED AREAS SHALL BE SEEDDED IMMEDIATELY AFTER GRADING IS COMPLETED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - ☒ STANDARD EROSION CONTROL MIX.
USE AT A RATE OF 25 LBS PER ACRE, OR 0.6 LBS PER 1,000 SF.

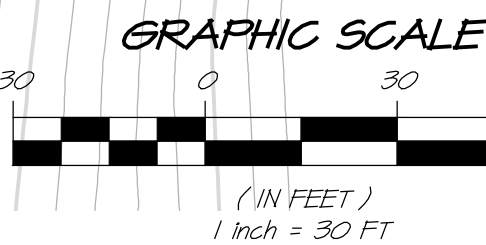
STANDARD EROSION CONTROL MIX:	
BLAND BROME	40%
ZORRO ANNUAL FESCUE	20%
CALIFORNIA BROME	15%
CRIMSON CLOVER	10%
ROSEA CLOVER	15%
 - ☐ EROSION MIX FOR WINTERIZATION OF HIGH USE AREAS.
(NON-SURFACED ROADS, INCLUDING FARM FIELD ACCESS ROADS)

BARLEY	40 LBS/ACRE
RED OATS	60 LBS/ACRE
 - ☐ EROSION CONTROL MIX FOR RIPARIAN AREAS AND ENVIRONMENTALLY SENSITIVE AREAS (ESAs):
 - ☐ SUNNY AREAS.
USE AT A RATE OF 34 LBS PER ACRE, OR 1.0 LBS PER 1,000 SF.

MEADOW BARLEY	36%
"MOLATE" FESCUE	30%
CALIFORNIA BROME	28%
 - ☐ SHADY OR PARTIAL SHADE AREAS.
USE AT A RATE OF 34 LBS PER ACRE, OR 1.0 LBS PER 1,000 SF.

CALIFORNIA BROME	27%
BLUE HILDRYE	41%
IDAH0 FESCUE	32%
 - ☐ EROSION MIX FOR HIGHER ELEVATION AREAS, (ABOVE 1,000 FEET)
USE AT A RATE OF 34 LBS PER ACRE, OR 1.0 LBS PER 1,000 SF.

PERENNIAL RYEGRASS	30%
BLUE HILDRYE	30%
IDAH0 FESCUE	30%
 - FERTILIZER USED SHALL BE ONE OF THE FOLLOWING FORMULATIONS OR ITS EQUIVALENT:
 - ☐ NONE, (ENVIRONMENTALLY SENSITIVE AREA)
 - ☒ 16-20-0 APPLIED AT A RATE OF 200 TO 250 LBS PER ACRE, (4.6 TO 5.7 LBS PER 1,000 SF)
 - ☐ 15-15-15 APPLIED AT A RATE OF 300 LBS PER ACRE, (1.0 LBS PER 1,000 SF)
 - MULCH USED SHALL BE ONE OF THE FOLLOWING OR ITS EQUIVALENT:
 - ☒ STRAW MULCH 3,000 LBS/ACRE
 - ☐ WOOD FIBER MULCH 2,000 LBS/ACRE (IF HYDROSEEDDED)
 - AREA TO BE SEEDDED SHALL BE SCARIFIED TO DEPTH OF 4" TO 8" AND DRESSED TO PROVIDE A REASONABLY SMOOTH FIRM SURFACE.
 - IF HYDROSEEDING METHOD IS USED, A TACKIFIER SUCH AS M-BINDER OR SENTINEL (OR EQUAL) SHALL BE APPLIED AT A RATE OF 75 TO 100 LBS/ACRE.
 - IF HYDROSEEDING METHOD IS USED, SEED SHALL NOT REMAIN IN THE SLURRY LONGER THAN 30 MINUTES. FERTILIZERS SHALL NOT REMAIN IN THE SLURRY LONGER THAN 2 HOURS. THE SLURRY SHALL BE APPLIED IN A UNIFORM MANNER AT A RATE THAT IS NON-EROSIVE AND MINIMIZES RUNOFF.
 - IF STRAW MULCH METHOD IS USED, STRAW SHALL BE ANCHORED TO THE SOIL BY A TACKIFIER, EROSION CONTROL BLANKET, CRIMPING, PUNCH ROLLER-TYPE ROLLERS, OR TRACK WALKING.
 - NORTH AMERICAN GREEN SC850 EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES STEEPER THAN 2:1. JUTE NETTING SHALL BE INSTALLED OVER STRAW MULCH OVER SEED ON ALL SLOPES 2:1 TO 4:1.
 - THE SEEDDED AREAS SHALL BE PREPARED, RESEEDDED AND MULCHED AS SOON AS POSSIBLE AFTER BEING DAMAGED.



SLOPE DETERMINATION				
SECTION	LENGTH	LOW ELEV.	HIGH ELEV.	SLOPE %
1	316.9	664.2	742.5	24.7
2	282.6	719.4	742.5	8.2
3	83.3	701.5	733.6	38.5
AVERAGE SLOPE				23.8

01/2019

GENERAL

06/08/22

FIRST SUBMITTAL OR REVISION DESCRIPTION

JFH

MSS

12/23/22

RESPONSE TO COUNTY COMMENTS #1

JFH

MSS

06/23/23

RESPONSE TO COUNTY COMMENTS #2

JFH

DRL

NO.

DATE

REVISIONS

BY

APPD

1515 FOURTH STREET

NAPA, CALIF. 94559

OFFICE (707) 252-3301

+ www.rsacivil.com +

RSA+

RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS +

1986

THE WINERY AT MT. VEEDER

SLOPE ANALYSIS

NAPA COUNTY

CALIFORNIA

REGISTERED PROFESSIONAL CIVIL ENGINEER

DATE OF CALIFORNIA EXAMINATION

NO. 1255

DATE OF CALIFORNIA EXAMINATION

DATE

JUNE 23, 2023

DRAWN

JFH

DESIGNED

MSS

DRL

CHECKED

BAW

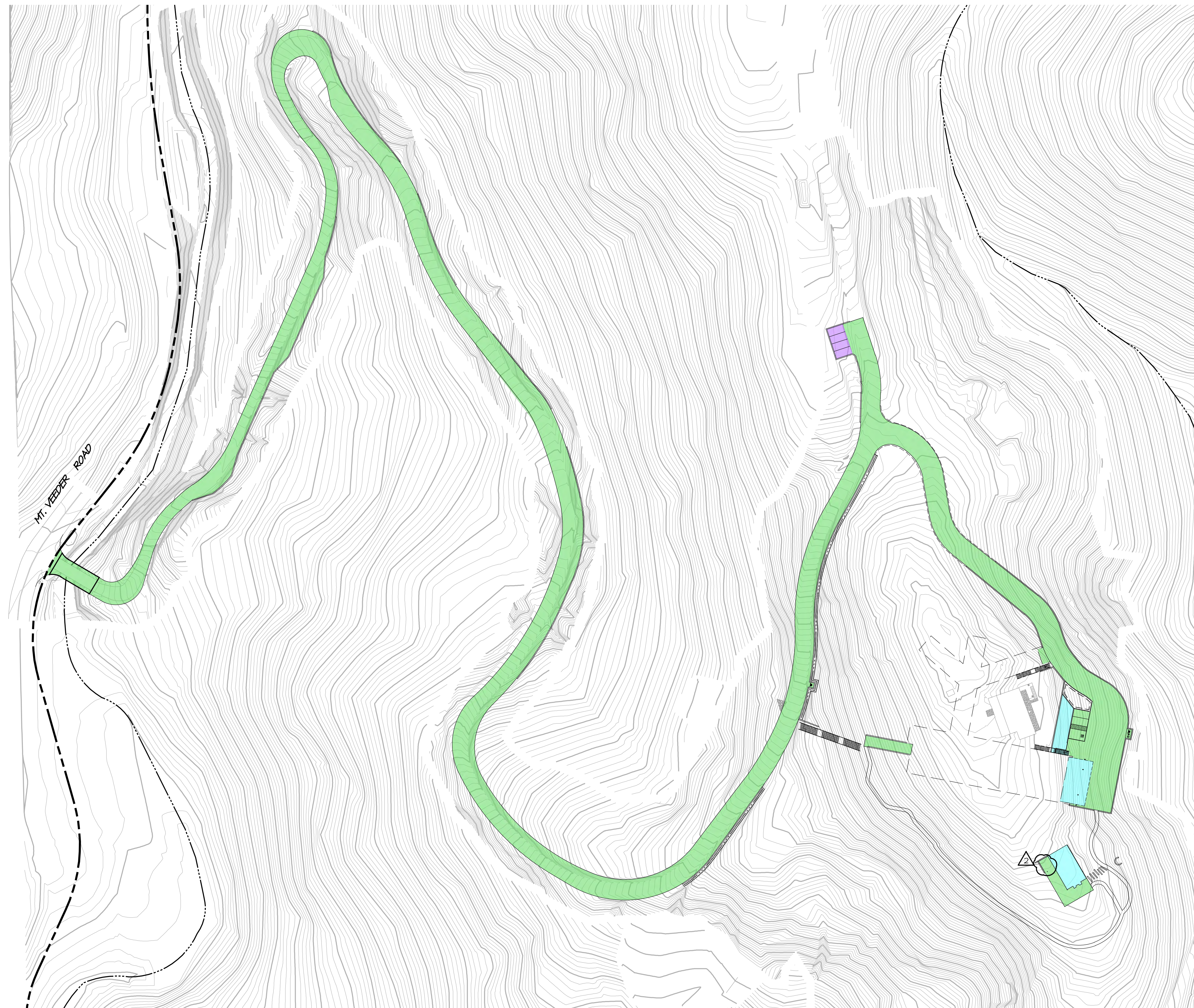
JOB NO.

41210110

SHEET NO.

UP2.1

3 OF 15 SHEETS



PROPOSED COVERAGE AND DEVELOPMENT

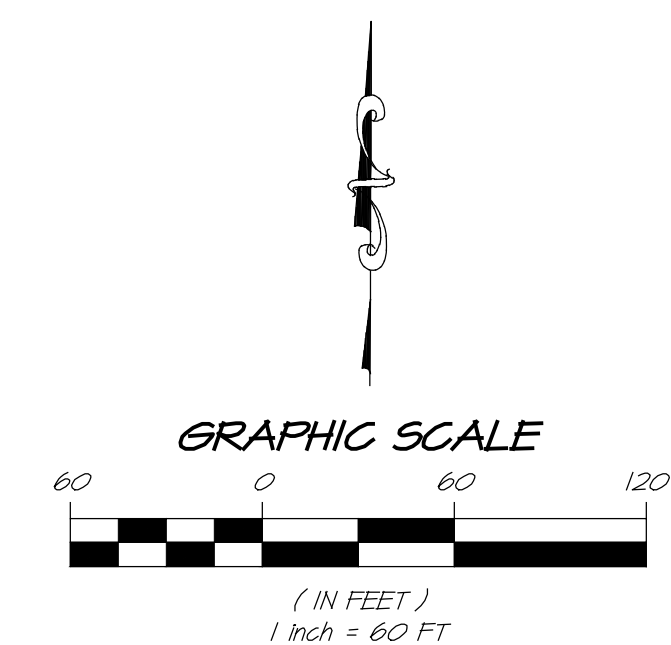
STRUCTURES = 3,690 SF

EMPLOYEE PARKING = 684 SF

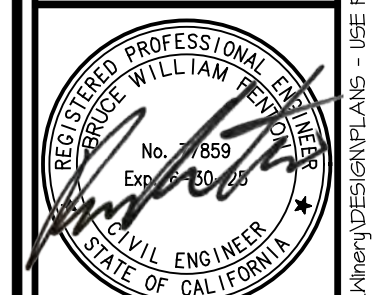
PAVED AREAS = 79,210 SF

 +  = DEVELOPMENT AREA = 4,314 SF
 +  +  = COVERAGE AREA = 83,584 SF 

COVERAGE AS A PERCENTAGE OF PARCEL = 1.7%



**THE WINERY AT MT. VEEDER
COVERAGE & DEVELOPMENT**
NAPA COUNTY CALIFORNIA



DATE	JUNE 23, 2023	
DRAWN	JFW	
DESIGNED	MSS /DR/L	
CHECKED	BWF	
JOB NO. 4121017.0		
SHEET NO.		
UP2.2		
4 OF 15 SHEETS		

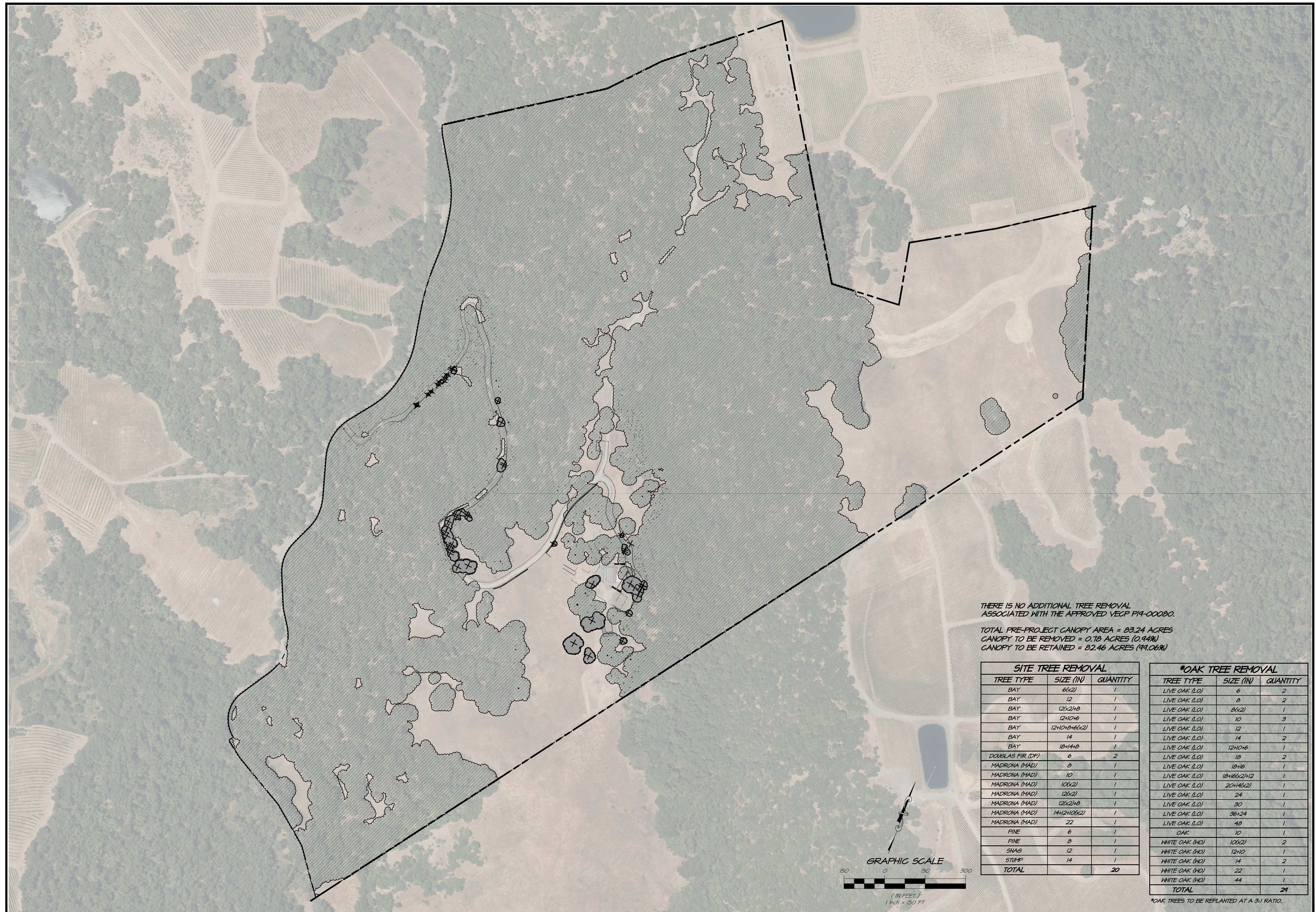
O.	DATE	NO.	REVISIONS	BY	APPD
0	06/08/22				
1	12/23/22				
2	06/23/23				

RSA⁺

1515 FORTH STREET
NAPA, CALIF. 94559
OFFICE / 707.252.3301
+ www.RSAcivil.com +

RSA⁺ CONSULTING CIVIL ENGINEERS & SURVEYORS

Civil
1980



Q	NO.	DATE	REVISIONS	BY	APPO
0		06/09/23	FIRST SUBMITTAL OR REVISION DESCRIPTION	JFM	MS
1		12/23/22	RESPONSE TO COUNTY COMMENTS #1	JFM	MS
2		06/23/23	RESPONSE TO COUNTY COMMENTS #2	JFM	DRL

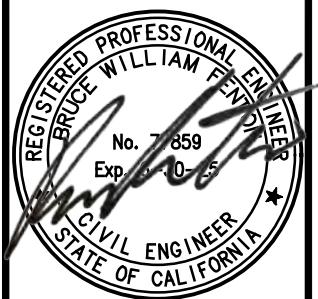
RS⁺A

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE | 707/252.3301
+ www.RSAcivil.com +

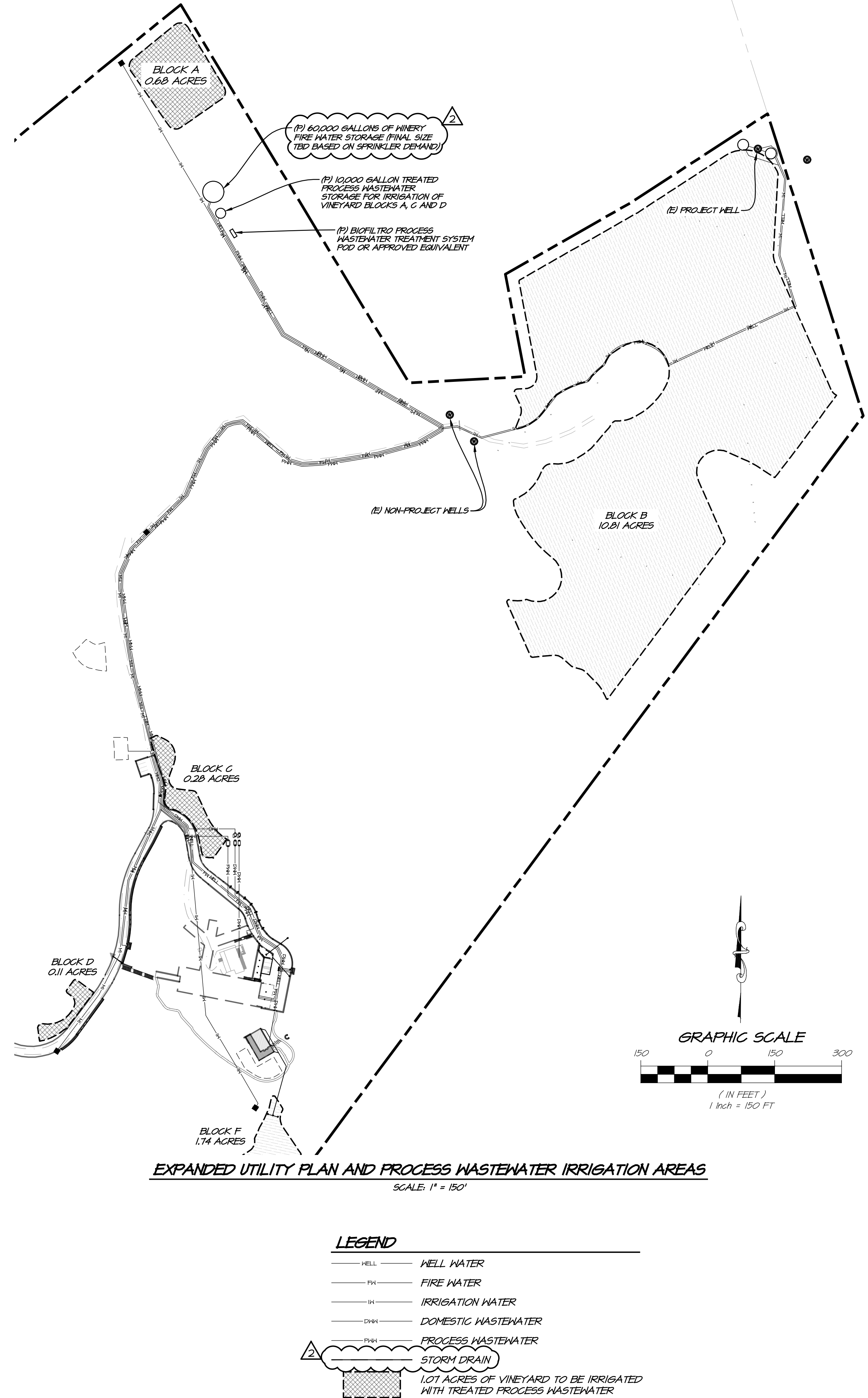
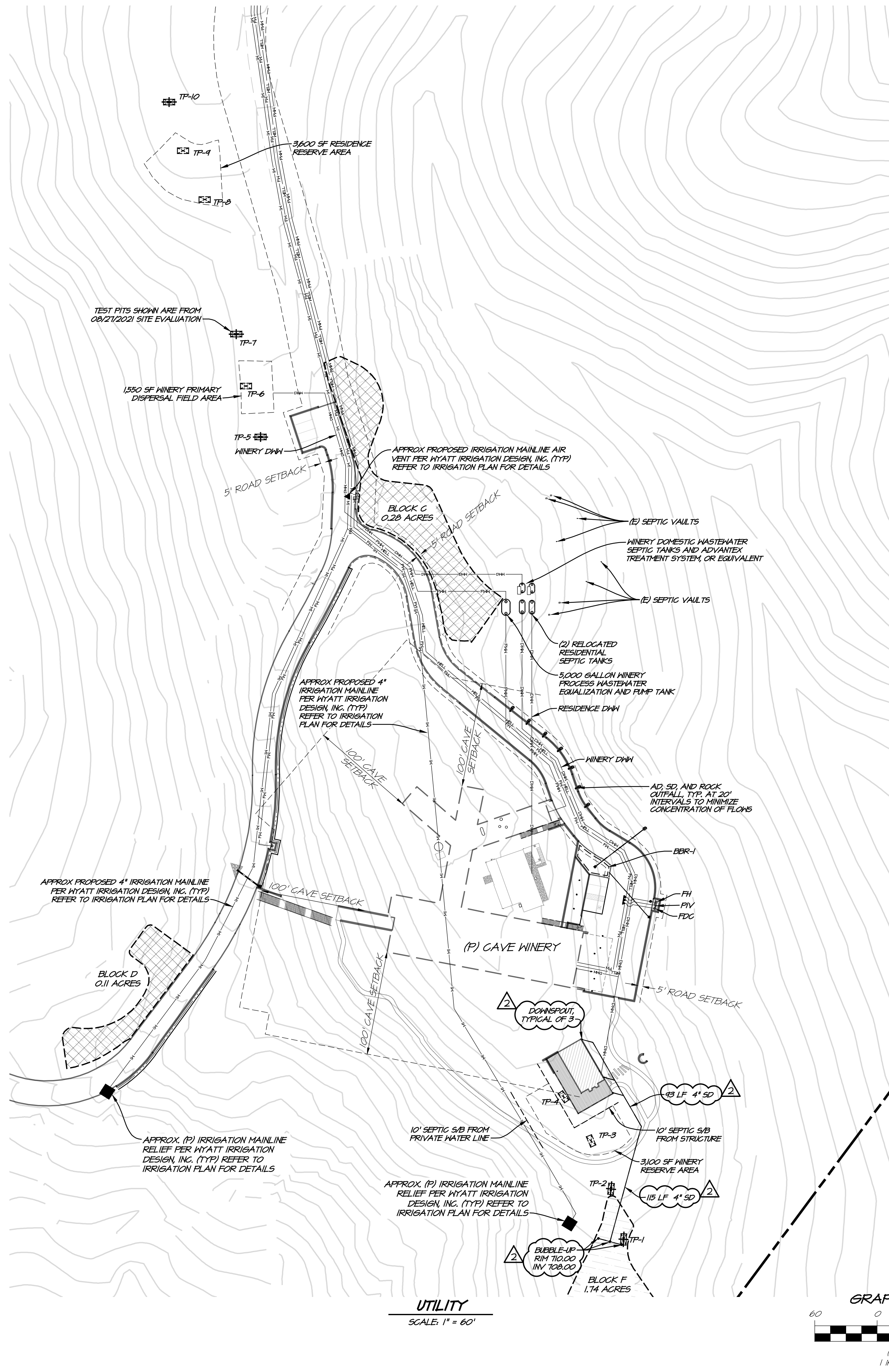
RS⁺A CONSULTING CIVIL ENGINEERS + SURVEYORS +

est. 1980

**THE WINERY AT MT. VEEDER
TREE CANOPY COVERAGE**
NAPA COUNTY CALIFORNIA



DATE	JUNE 23, 2023		
DRAWN	JFW		
DESIGNED	MSS /DRL		
CHECKED	BWF		
JOB NO.		4121017.0	
SHEET NO.			
UP2.3 5 OF 15 SHEETS			



NO.	DATE	REVISIONS	BY	APPD
0	06/09/22	FIRST SUBMITTAL OR REVISION DESCRIPTION	JFH	MSS
1	12/23/22	RESPONSE TO COUNTY COMMENTS #1	JFH	MSS
2	06/23/23	RESPONSE TO COUNTY COMMENTS #2	JFH	DRL

RSA+

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE (707) 252.3301
WWW.RSACIVIL.COM

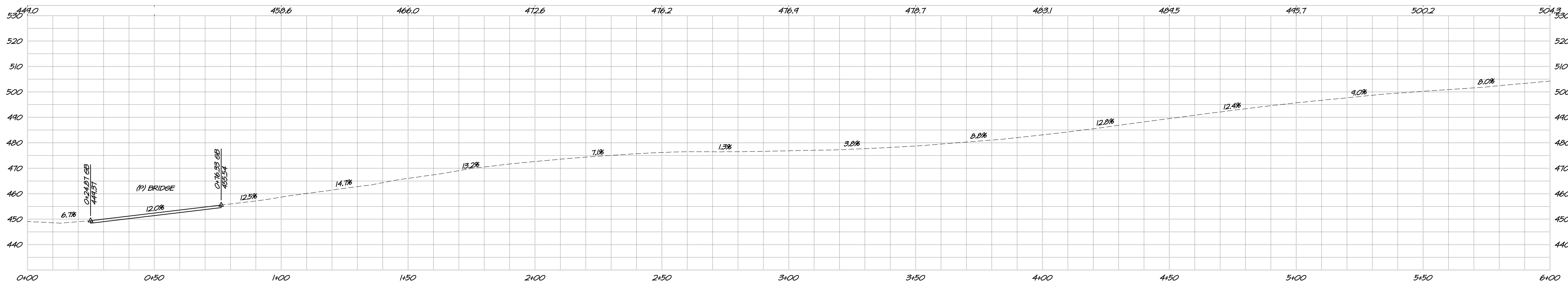
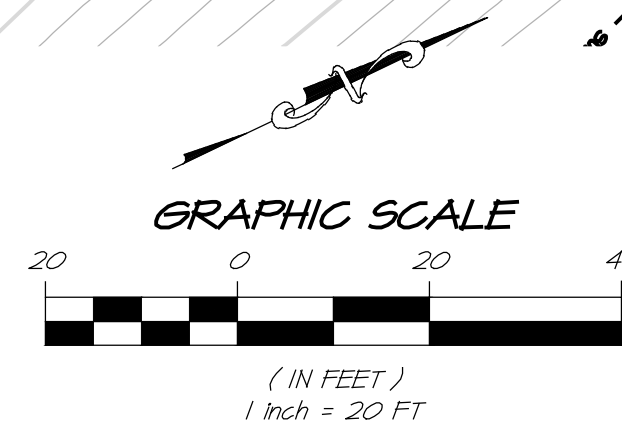
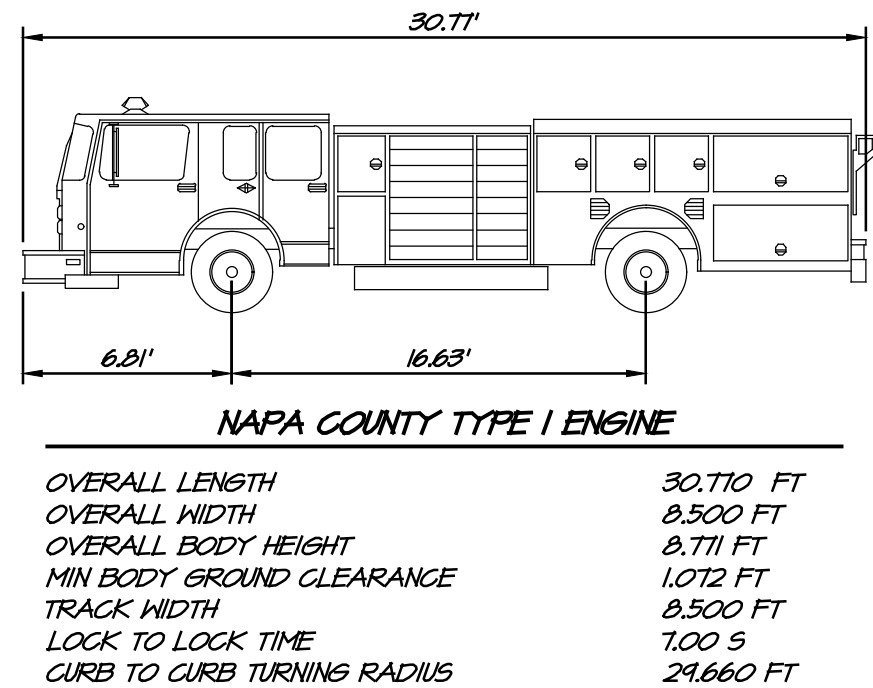
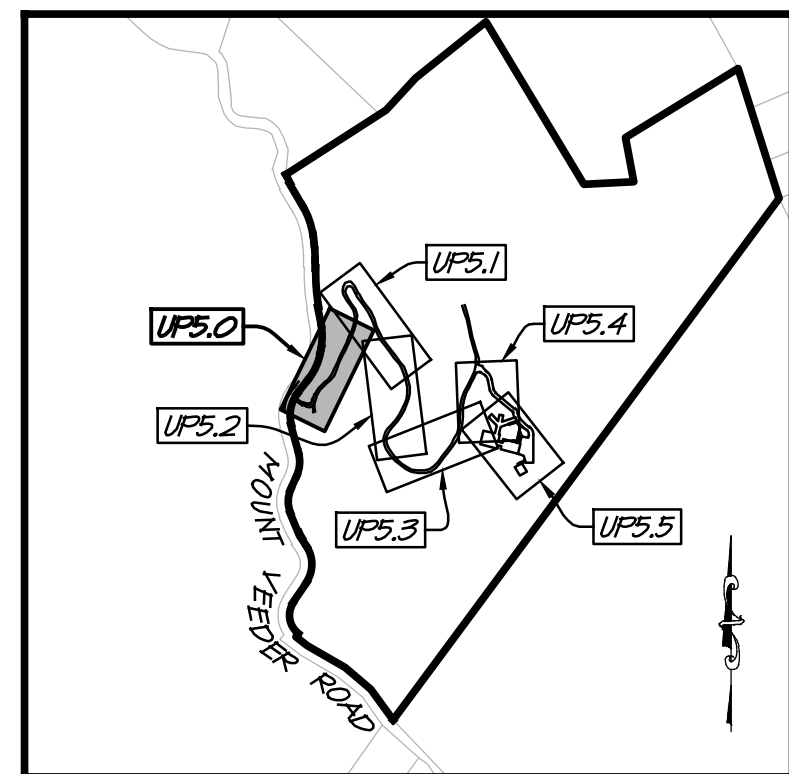
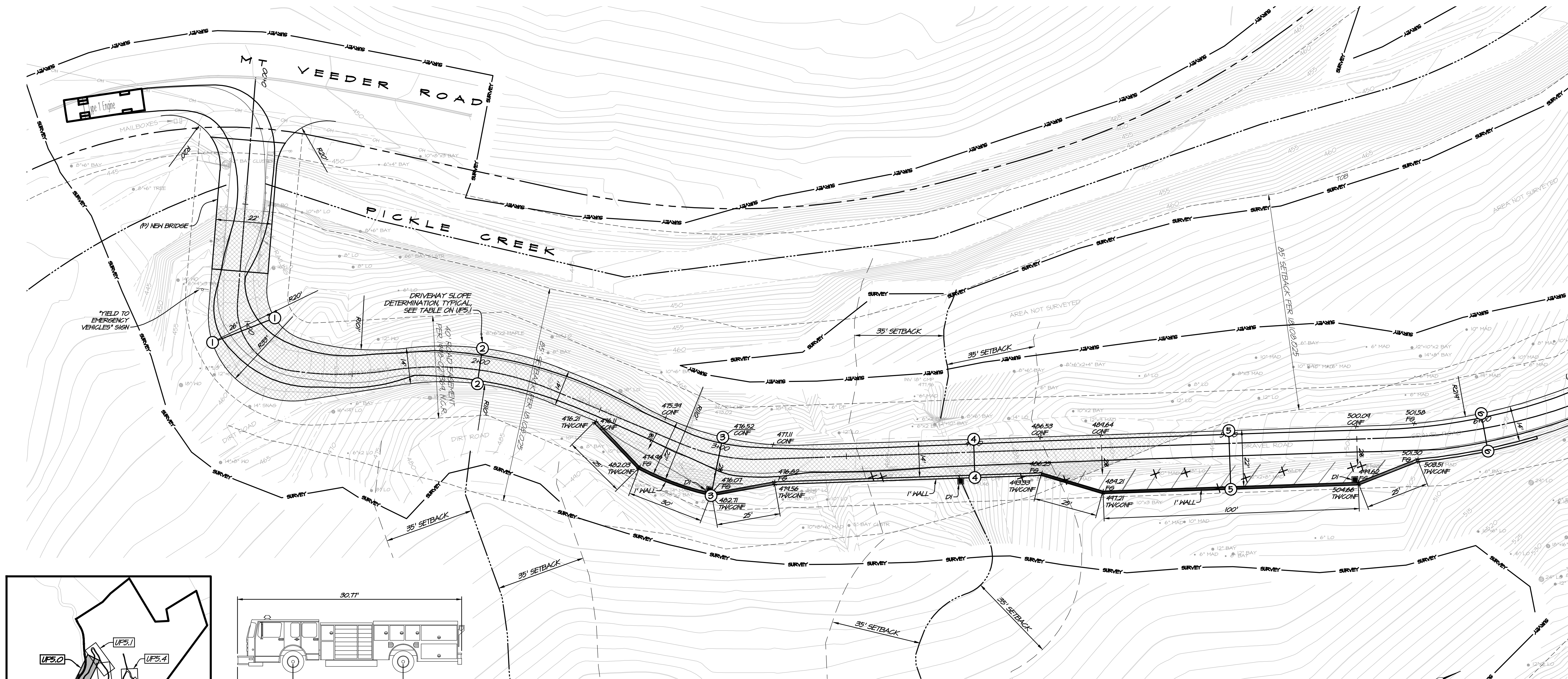
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS • 1986

THE WINERY AT MT. VEEDER
UTILITY PLAN
NAPA COUNTY
CALIFORNIA

DATE: JUNE 23, 2023
DRAWN: JFH
DESIGNED: MSS / DRL
CHECKED: BWF
JOB NO.: 41210170
SHEET NO.: **UP4.0**
8 OF 15 SHEETS

Printed on Recycled Paper Please Continue the Cycle

PRELIMINARY - NOT FOR CONSTRUCTION



PROFILE: STA 0+00 - 6+00
SCALE: 1" = 20'

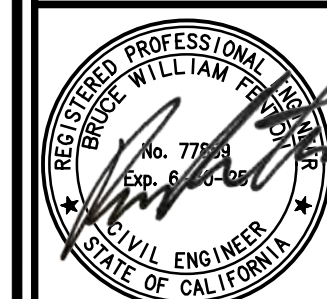
NO.	DATE	REVISIONS	BY	APPD
0	06/09/22	FIRST SUBMITTAL OR REVISION DESCRIPTION	JFH	MSS
1	12/23/22	RESPONSE TO COUNTY COMMENTS #1	JFH	MSS
2	06/23/23	RESPONSE TO COUNTY COMMENTS #2	JFH	DRL

RSA+

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE (707) 252.3301
+ www.RSACivil.com

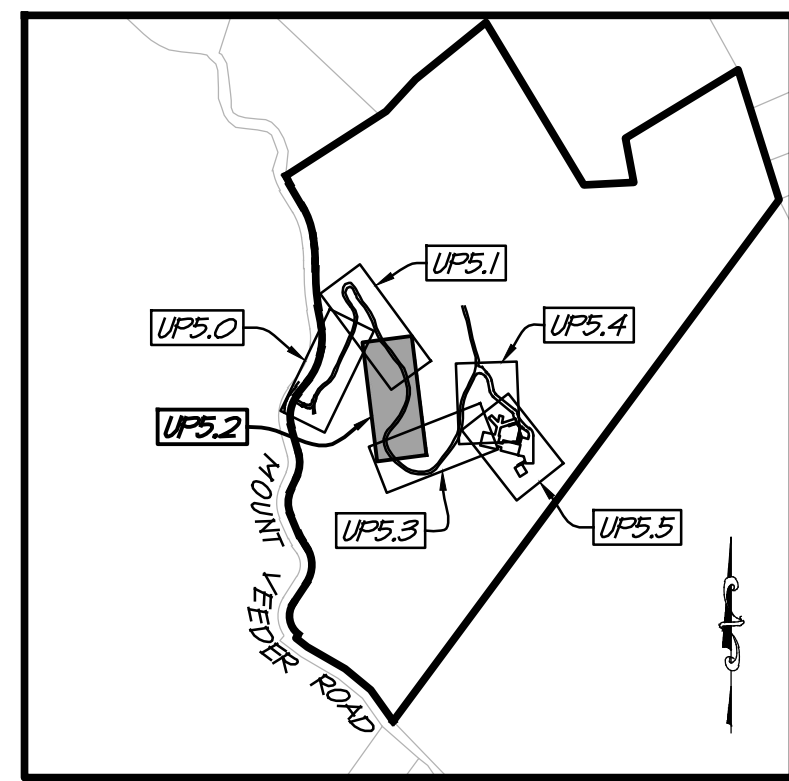
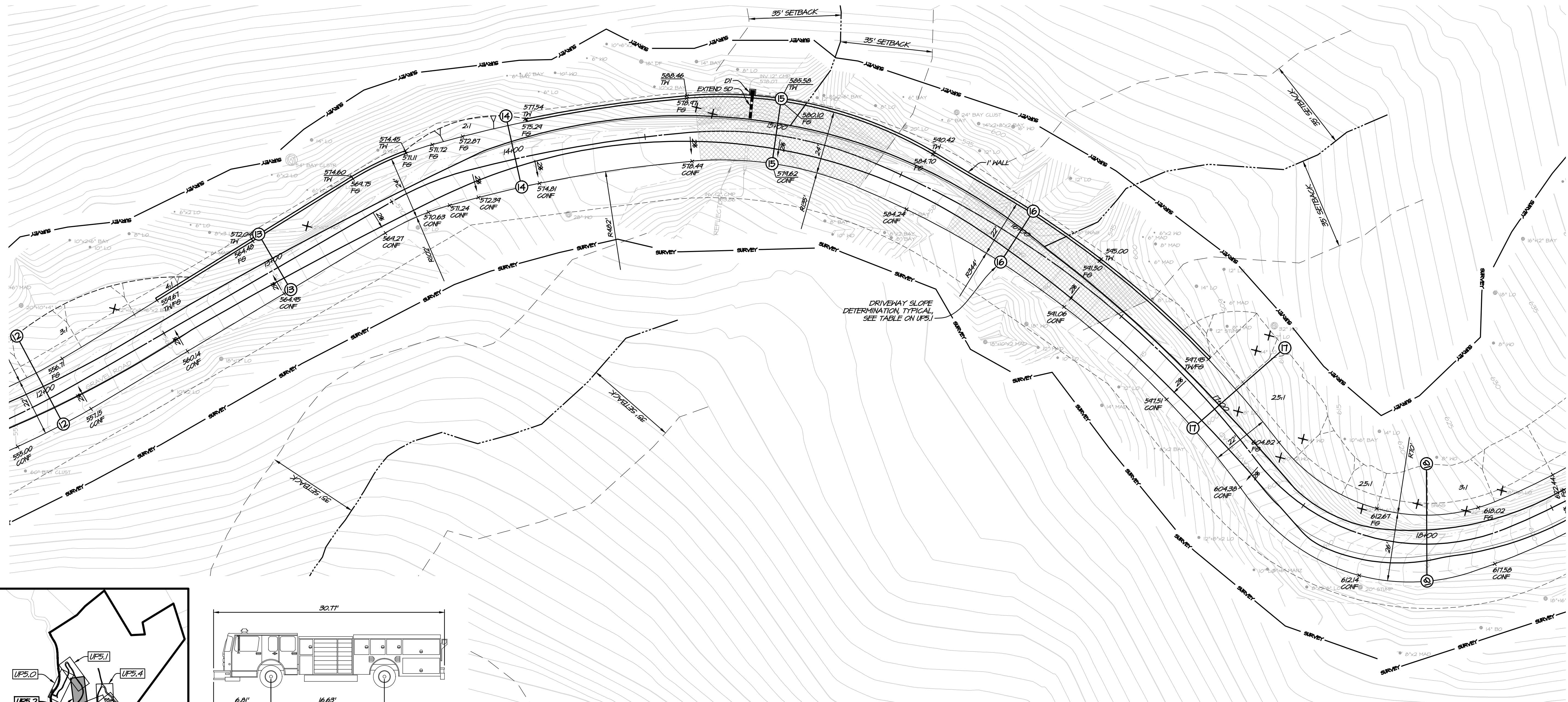
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + 1986

THE WINERY AT MT. VEEDER
DRIVEWAY: STA 0+00 - 6+00
CALIFORNIA
NAPA COUNTY

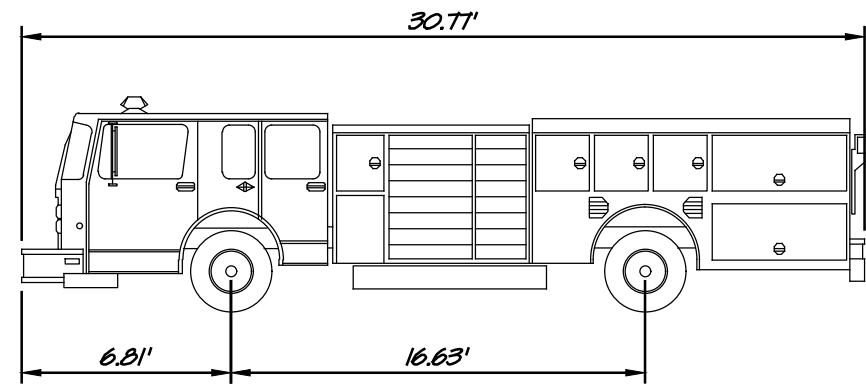


DATE	JUNE 23, 2023
DRAWN	JFH
DESIGNED	MSS /DRL
CHECKED	BNF
JOB NO.	41210170

SHEET NO.
UP5.0
9 OF 15 SHEETS



SITE KEY MAP
SCALE: 1" = 1000'



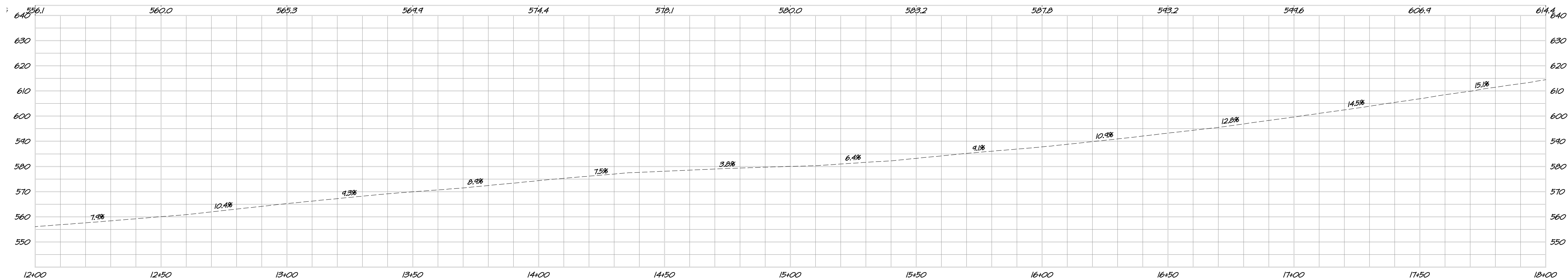
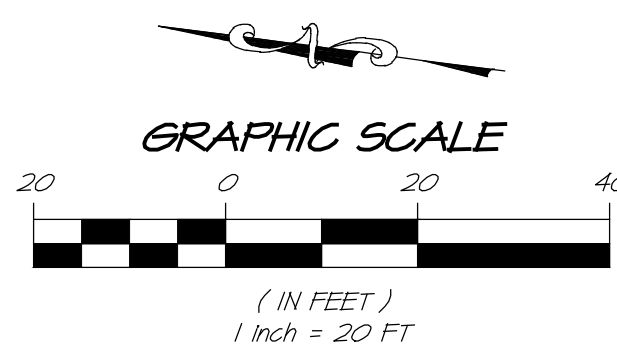
NAPA COUNTY TYPE I ENGINE
OVERALL LENGTH 30.710 FT
OVERALL WIDTH 8.500 FT
OVERALL BODY HEIGHT 8.711 FT
MIN BODY GROUND CLEARANCE 1.072 FT
TRACK WIDTH 8.500 FT
LOCK TO LOCK TIME 7.00 S
CURB TO CURB TURNING RADIUS 24.660 FT

NAPA COUNTY TYPE I ENGINE
NO SCALE

HATCH



AREA OF WORK WITHIN SETBACKS



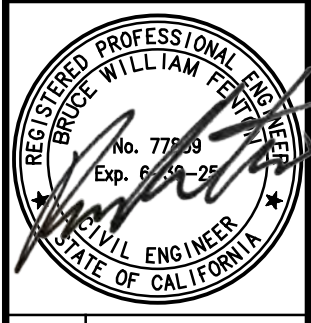
PROFILE: STA 12+00 - 18+00
SCALE: 1" = 20'

NO.	DATE	REVISIONS	BY	APPD
0	06/09/22	FIRST SUBMITTAL OR REVISION DESCRIPTION	JFH	MSS
1	12/29/22	RESPONSE TO COUNTY COMMENTS #1	JFH	MSS
2	06/29/23	RESPONSE TO COUNTY COMMENTS #2	JFH	DRL

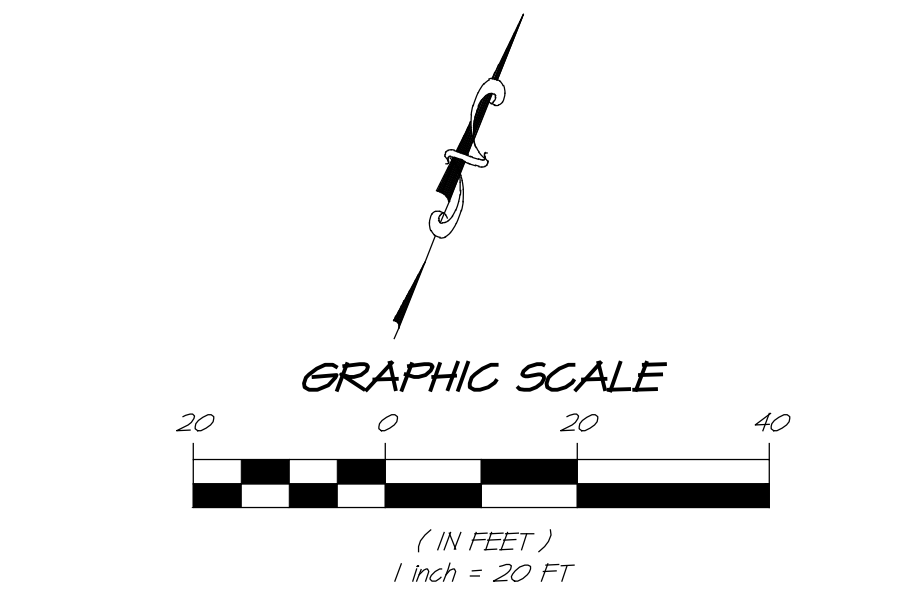
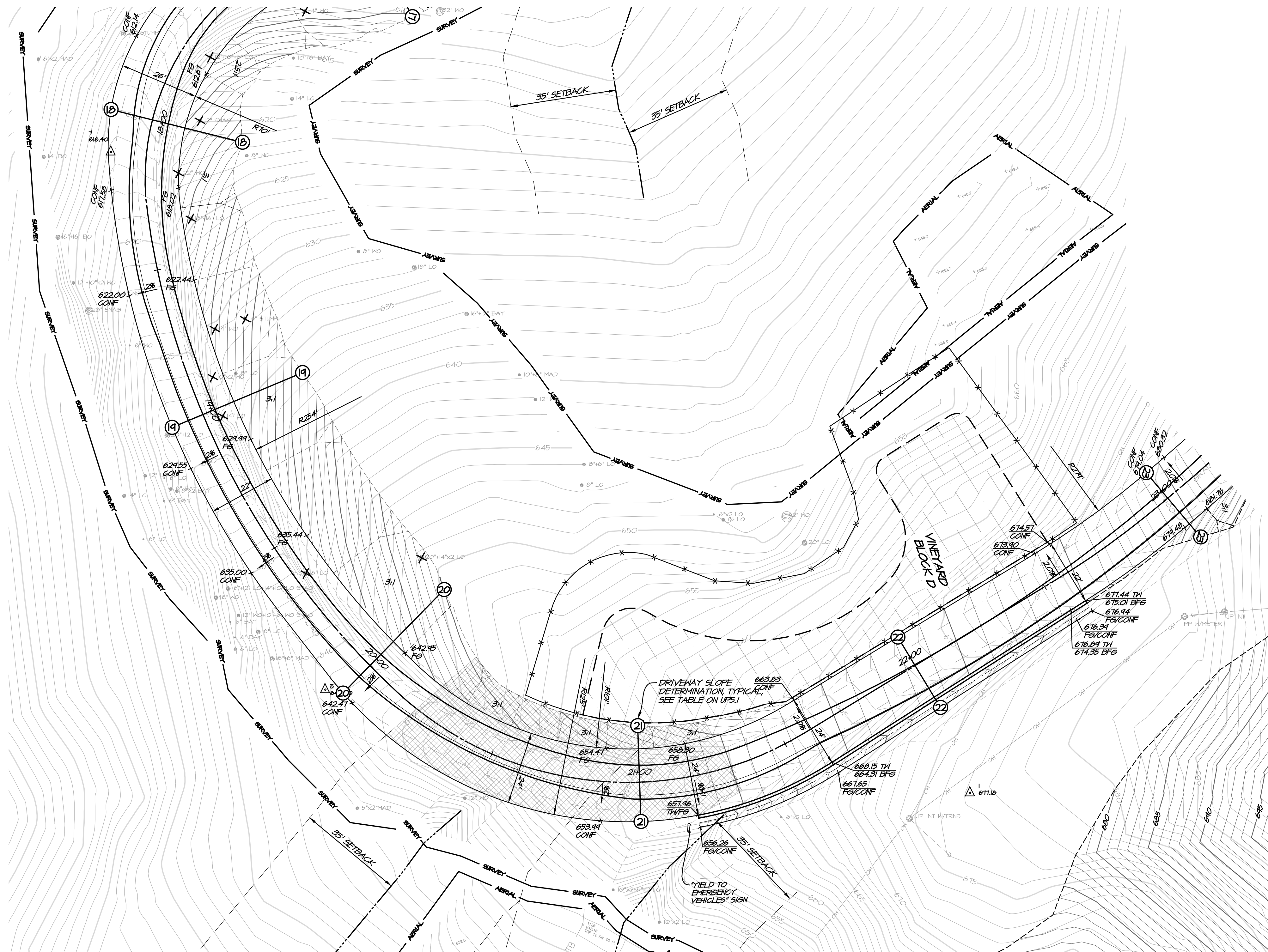
1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE (707) 252.3301
+ www.RSACivil.com +

RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + 1986

THE WINERY AT MT. VEEDER
DRIVEWAY: STA 12+00 - 18+00
CALIFORNIA
NAPA COUNTY

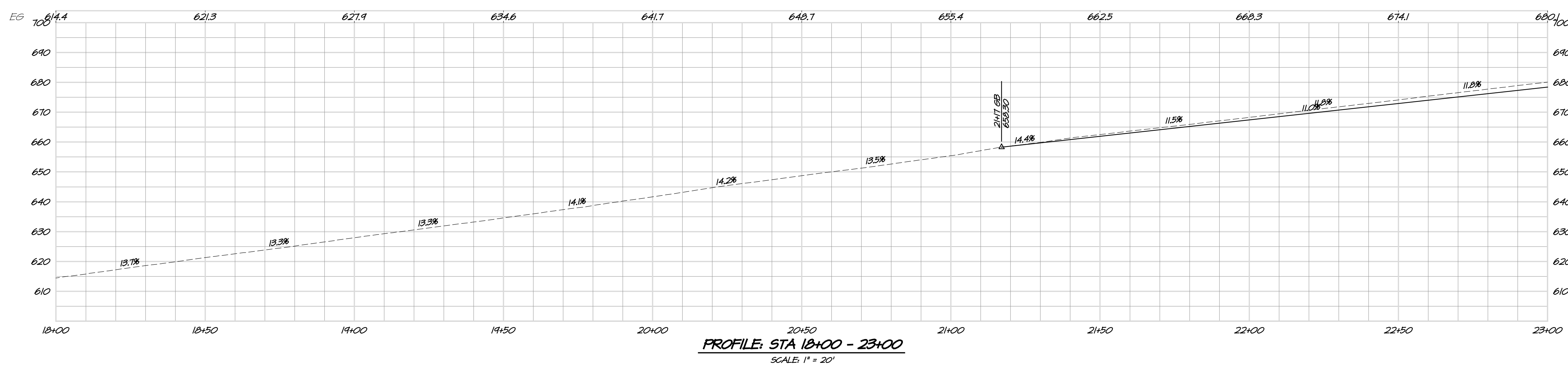
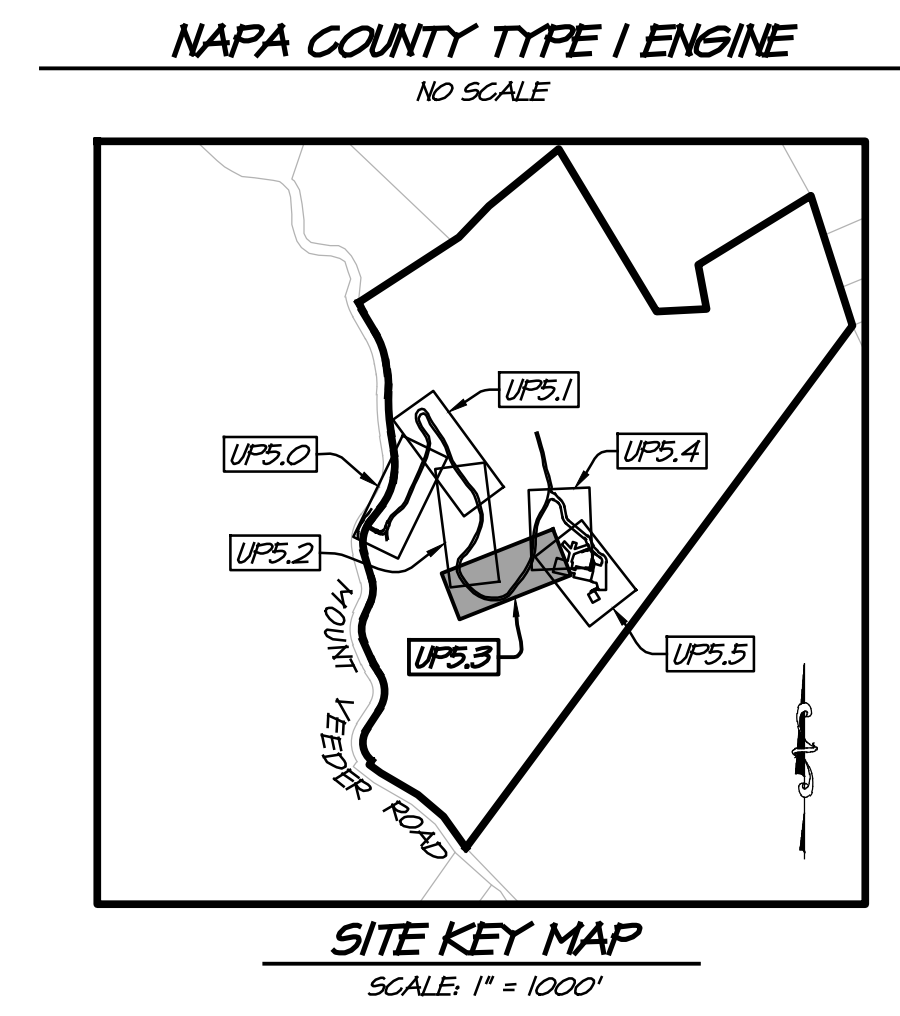
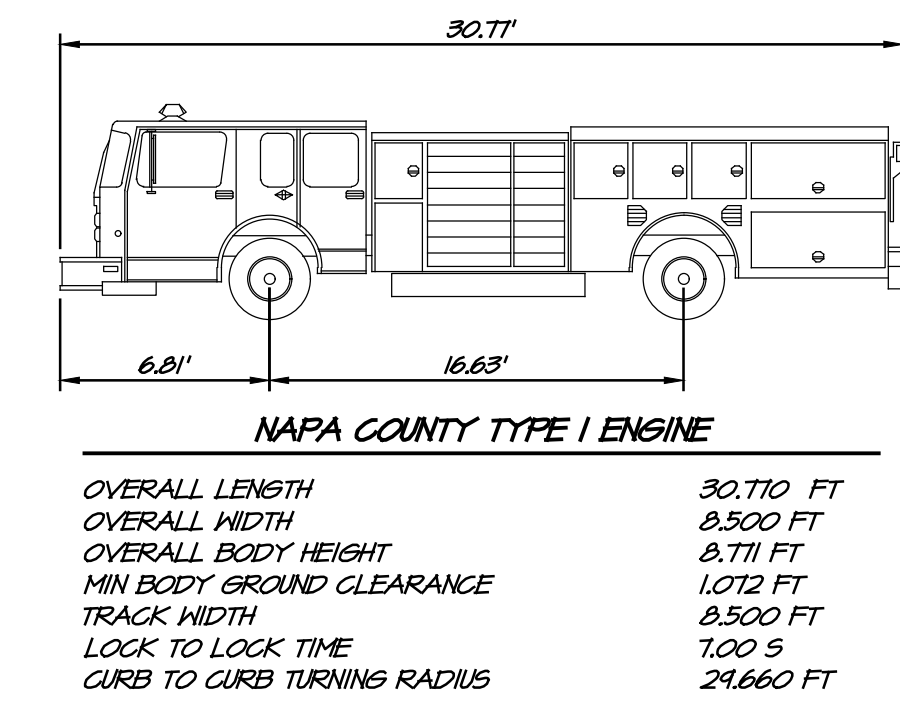


DATE	JUNE 23, 2023
DRAWN	JFH
DESIGNED	MSS /DRL
CHECKED	BNF
JOB NO.	41210170
SHEET NO.	UP5.2
11 OF 15 SHEETS	



HATCH

AREA OF WORK WITHIN SETBACKS



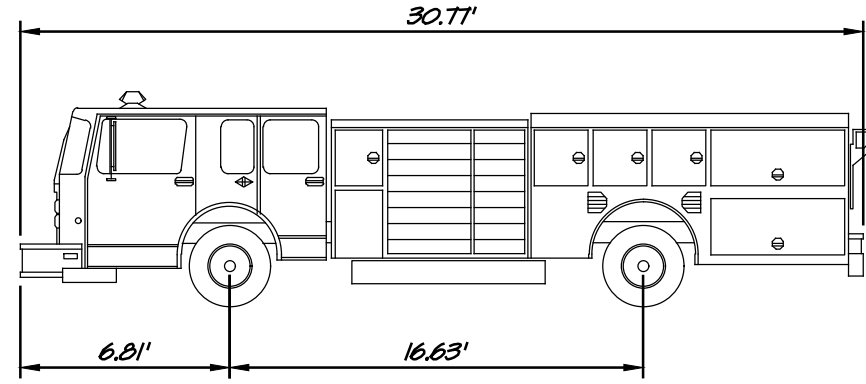
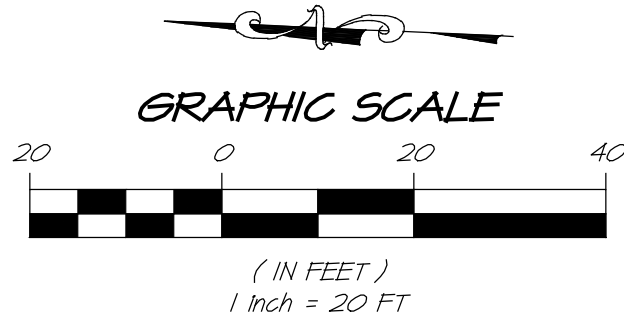
NO.	DATE	REVISIONS	BY	APPD
0	06/09/22	FIRST SUBMITTAL OR REVISION DESCRIPTION	JFH	MSS
1	12/23/22	RESPONSE TO COUNTY COMMENTS #1	JFH	MSS
2	06/23/23	RESPONSE TO COUNTY COMMENTS #2	JFH	DEL

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE (707) 252-3301
+ www.RSACivil.com +

RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + 1986

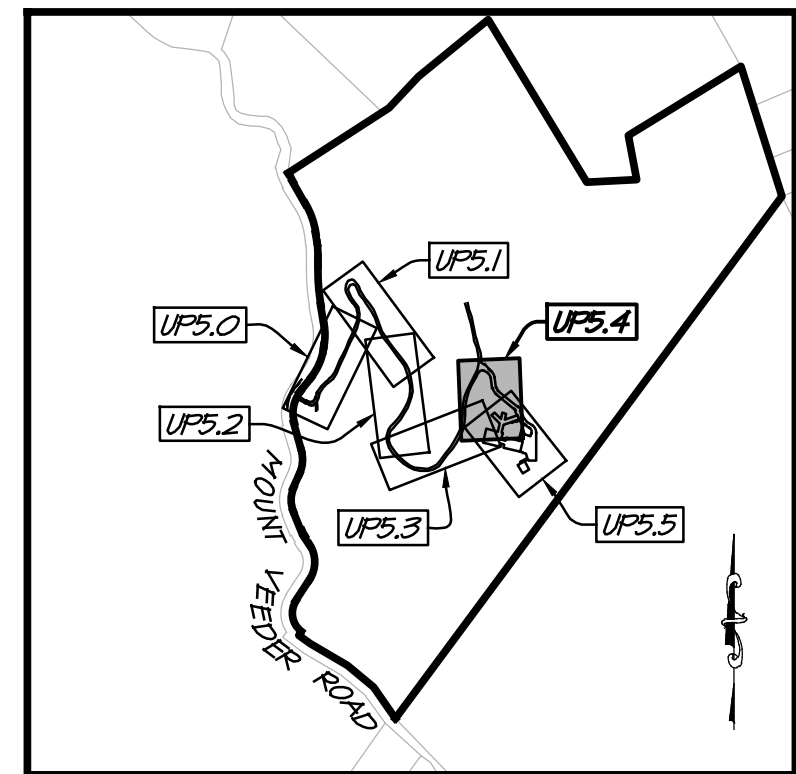
THE WINERY AT MT. VEEDER
DRIVEWAY: STA 18+00 - 23+00
CALIFORNIA
NAPA COUNTY

DATE: JUNE 23, 2023
DRAWN: JFH
DESIGNED: MSS/JFH
CHECKED: BWF
JOB NO.: 41210170
SHEET NO.: **UP5.3**
12 OF 15 SHEETS

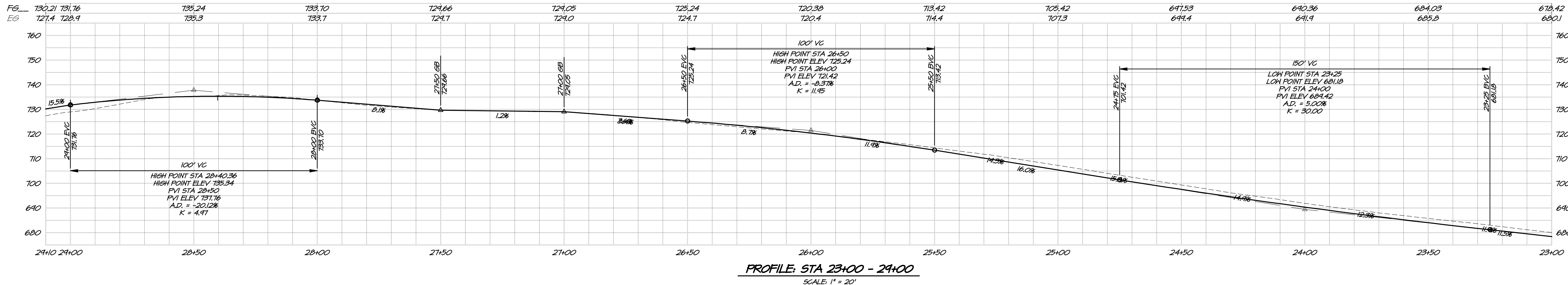


OVERALL LENGTH 30.710 FT
OVERALL WIDTH 8.500 FT
OVERALL BODY HEIGHT 8.711 FT
MIN BODY GROUND CLEARANCE 1.072 FT
TRACK WIDTH 8.500 FT
LOCK TO LOCK TIME 7.00 S
CURB TO CURB TURNING RADIUS 24.660 FT

NAPA COUNTY TYPE I ENGINE
NO SCALE



SITE KEY MAP
SCALE: 1" = 1000'



PROFILE: STA 23+00 - 24+00
SCALE: 1" = 20'

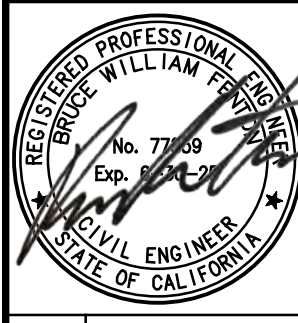
Printed on Recycled Paper Please Continue the Cycle

PRELIMINARY - NOT FOR CONSTRUCTION

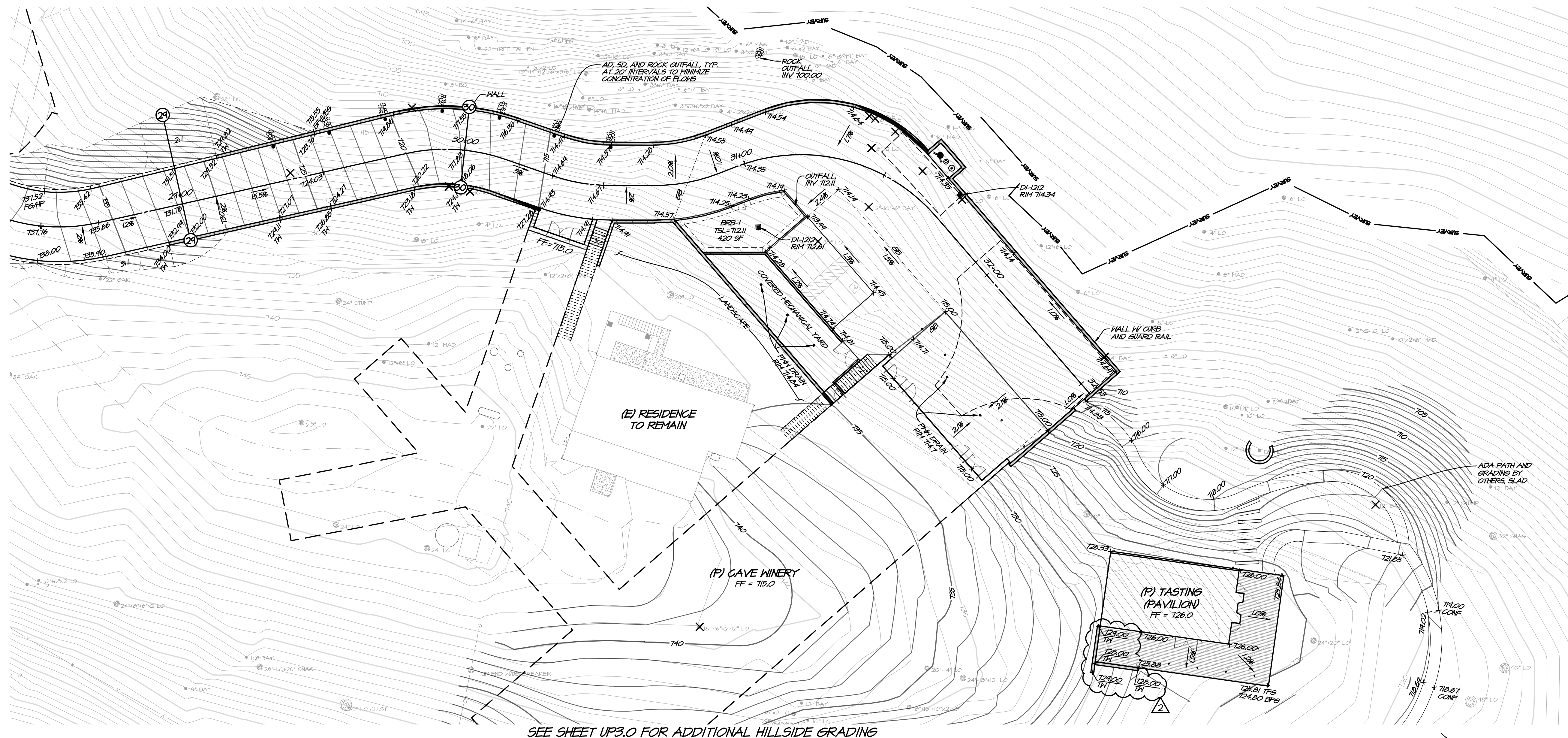
NO.	DATE	REVISIONS	BY	APPD
0	06/09/22	FIRST SUBMITTAL OR REVISION DESCRIPTION	JFH	MSS
1	12/23/22	RESPONSE TO COUNTY COMMENTS #1	JFH	MSS
2	06/23/23	RESPONSE TO COUNTY COMMENTS #2	JFH	DRL

RSA+
1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE (707) 852.3301
+ www.RSACivil.com +
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + [1986]

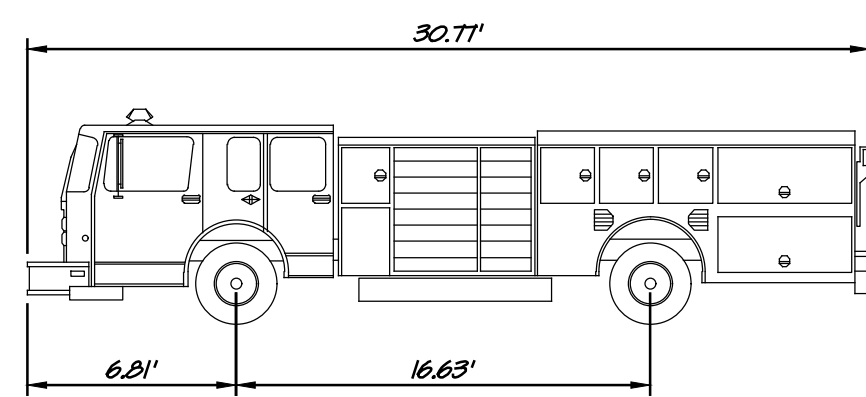
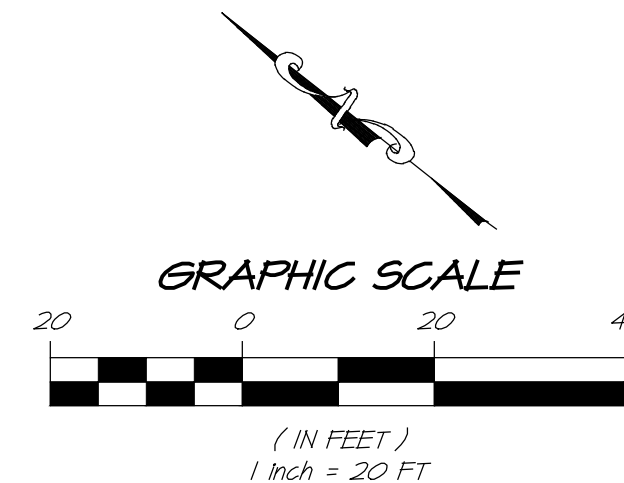
THE WINERY AT MT. VEEDER
DRIVEWAY: STA 23+00 - 29+00
CALIFORNIA
NAPA COUNTY



DATE	JUNE 23, 2023
DRAWN	JFH
DESIGNED	MSS/DRL
CHECKED	EWK
JOB NO.	41210710
SHEET NO.	UP5.4
13 OF 15 SHEETS	

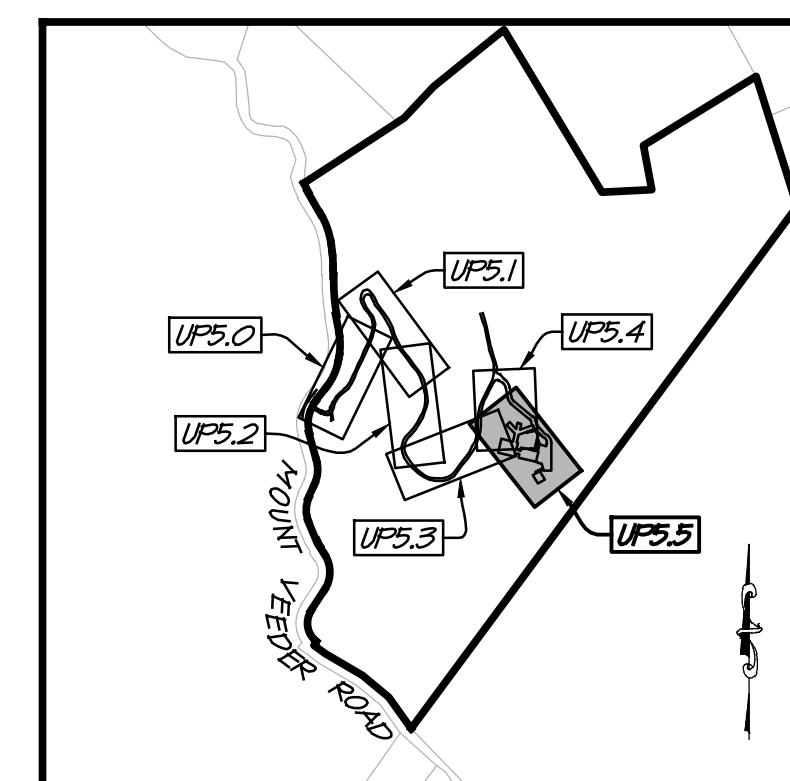
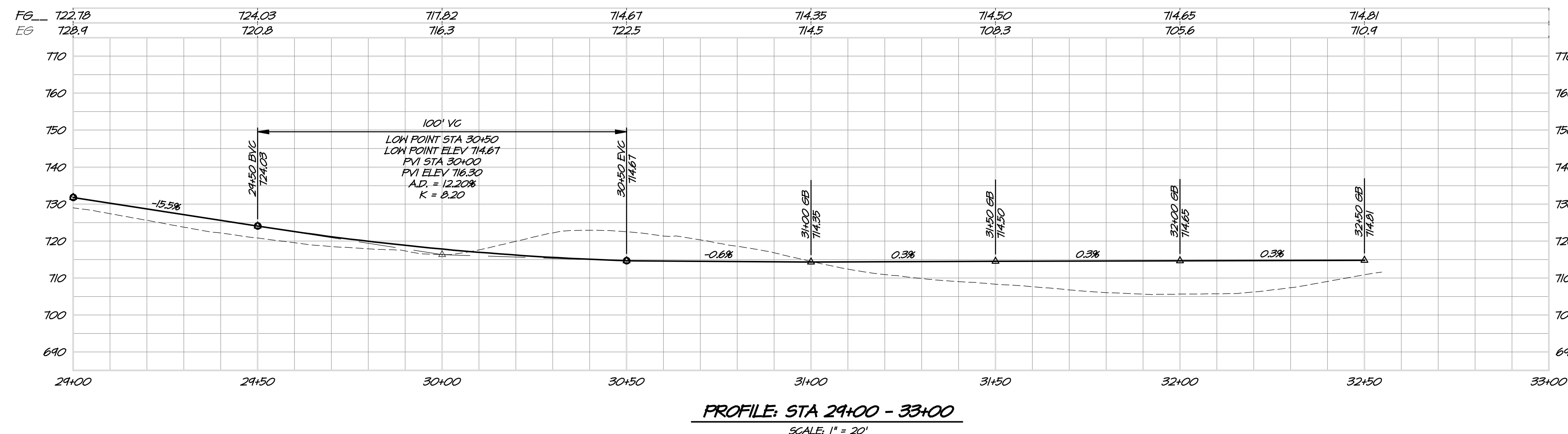


SEE SHEET UP3.0 FOR ADDITIONAL HILLSIDE GRADING



NAPA COUNTY TYPE I ENGINE	
OVERALL LENGTH	30.71' FT
OVERALL WIDTH	8.500 FT
OVERALL BODY HEIGHT	8.711 FT
MIN BODY GROUND CLEARANCE	1.072 FT
TRACK WIDTH	8.500 FT
LOCK TO LOCK TIME	1.00 S
CURB TO CURB TURNING RADIUS	24.660 FT

NOTE: SEE SHEET UP2.0 FOR FIRE TRUCK PATH
NAPA COUNTY TYPE I ENGINE
NO SCALE

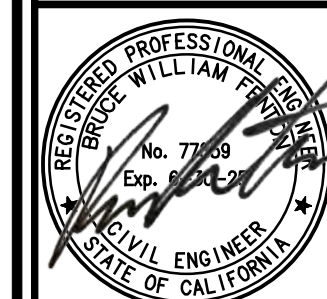


SITE KEY MAP
SCALE: 1" = 1000'

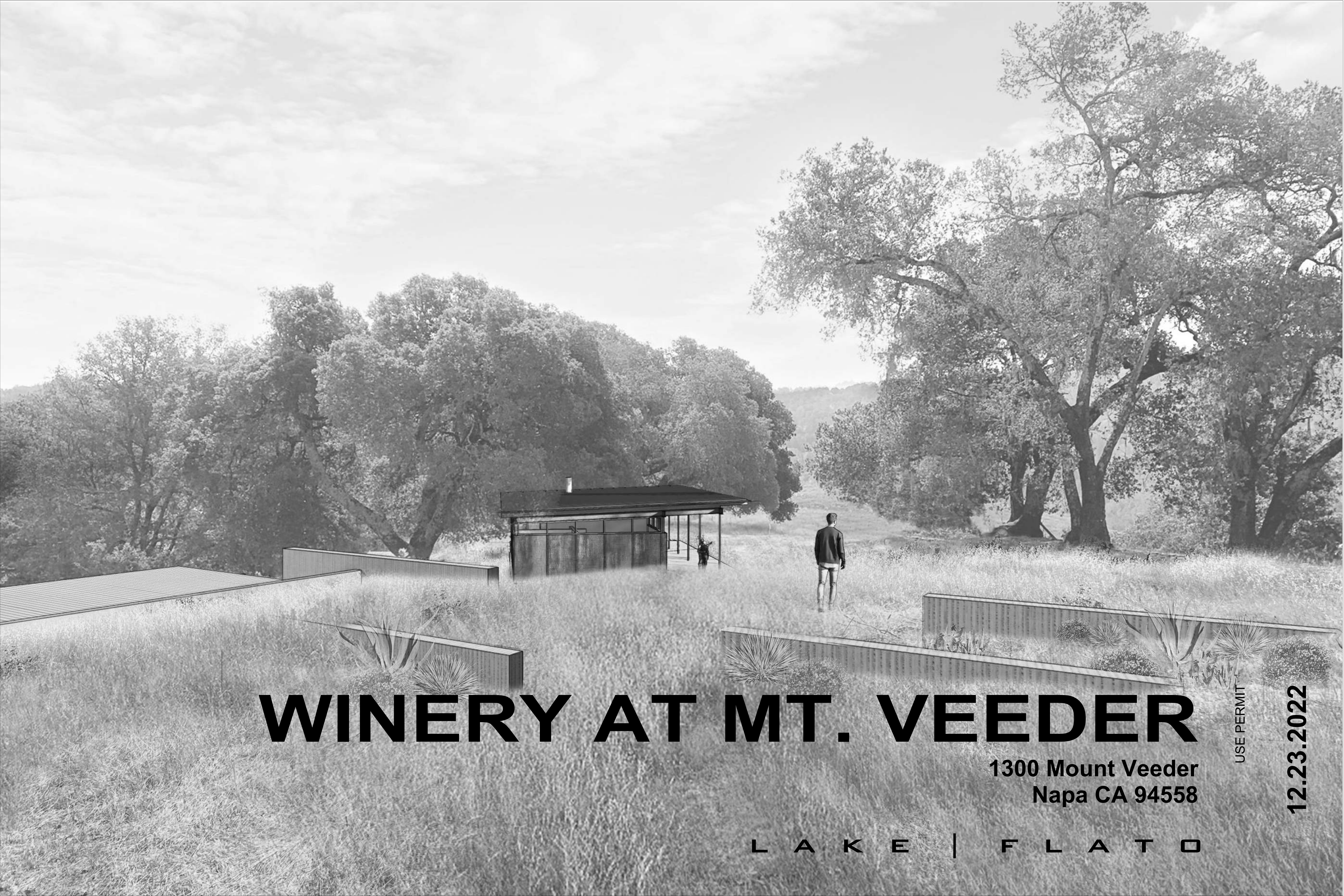
NO.	DATE	REVISIONS	BY
0	06/09/22	FIRST SUBMITTAL OR REVISION DESCRIPTION	JFH
1	12/23/22	RESPONSE TO COUNTY COMMENTS #1	JFH
2	06/23/23	RESPONSE TO COUNTY COMMENTS #2	JFH

RSA+
1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE (707) 252.3301
+ www.rsacivil.com +
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + 1986

THE WINERY AT MT. VEEDER
DRIVEWAY: STA 29+00 - 33+00
CALIFORNIA
NAPA COUNTY



DATE	JUNE 23, 2023
DRAWN	JFH
DESIGNED	MSS
CHECKED	BAF
JOB NO.	41210170
SHEET NO.	UP5.5
14 OF 15 SHEETS	



WINERY AT MT. VEEDER

1300 Mount Veeder
Napa CA 94558

L A K E | F L A T O

USE PERMIT

12.23.2022

NOT FOR
CONSTRUCTION

WINERY AT
MT. VEEDER

1300 Mount Veeder
Napa CA 94558

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

12.23.2022 L|F PROJ. NO. 21002
PROJ. ARCHITECT - DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE
05.31.2022	USE PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

USE PERMIT

PROJECT
RENDERINGS

A0.2



4 RENDERING - EAST PORTAL



3 RENDERING - PAVILION



2 RENDERING - WEST PORTAL



1 RENDERING - WEST PORTAL VIEW FROM REDWOOD ROAD

NOT FOR
CONSTRUCTION

WINERY AT
MT. VEEDER

1300 Mount Veeder
Napa CA 94558

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

12.23.2022 LIF PROJ. NO. 21002
PROJ. ARCHITECT - DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE
05.31.2022	USE PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

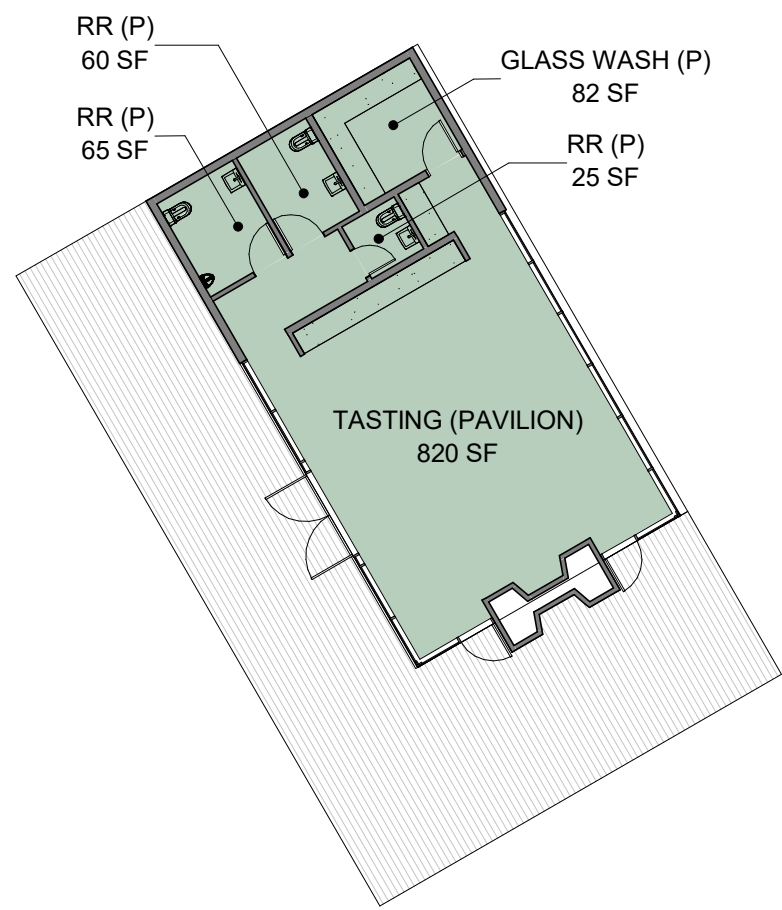
USE PERMIT

SITE PLAN

A1



Central File Path: C:\MyProject\Drawings\Folder\Winery\Winery-LF-Arch-Building-CENTRAL-2021-05-31.dwg
Local File Path: B:\1300 Mount Veeder Winery\Arch-Building-CENTRAL-2021-05-31.dwg



ACCESSORY AREA SUMMARY

ACCESSORY CONDITIONED	
OFFICE SUPPORT	312 SF
RR	68 SF
RR	46 SF
GLASS WASH (P)	82 SF
RR (P)	25 SF
RR (P)	60 SF
RR (P)	65 SF
TASTING (PAVILION)	820 SF
ACCESSORY CONDITIONED	1479 SF

TOTAL ACCESSORY AREA: 1,479 SF

PRODUCTION AREA SUMMARY

PRODUCTION CONDITIONED	
BARRELS	3065 SF
BARRELS	4141 SF
HALL	354 SF
LAB	512 SF
MEP	103 SF
MEP	96 SF
PRESS	208 SF
STAFF RR	87 SF
STORAGE	208 SF
STORAGE	370 SF
TANKS	3695 SF
WINERY EQUIPMENT	554 SF
PRODUCTION CONDITIONED	13393 SF

PRODUCTION UNCONDITIONED	
COVERED PROCESSING	1509 SF
MECH YARD	910 SF
PRODUCTION UNCONDITIONED	2419 SF

TOTAL PRODUCTION AREA: 15,812 SF

LEGEND - AREA TYPE

- ACCESSORY USE
- PRODUCTION USE

NOT FOR
CONSTRUCTION

WINERY AT
MT. VEEDER

1300 Mount Veeder
Napa CA 94558

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

12.23.2022 L|F PROJ. NO. 21002
PROJ. ARCHITECT - DRAWN BY: Author

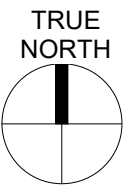
SET ISSUE DATES	
DATE	ISSUE
05.31.2022	USE PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

USE PERMIT

FLOOR PLANS -
AREA TYPE

A2



NOT FOR
CONSTRUCTION

WINERY AT
MT. VEEDER

1300 Mount Veeder
Napa CA 94558

12.23.2022 LIF PROJ. NO. 21002
PROJ. ARCHITECT - DRAWN BY: Author

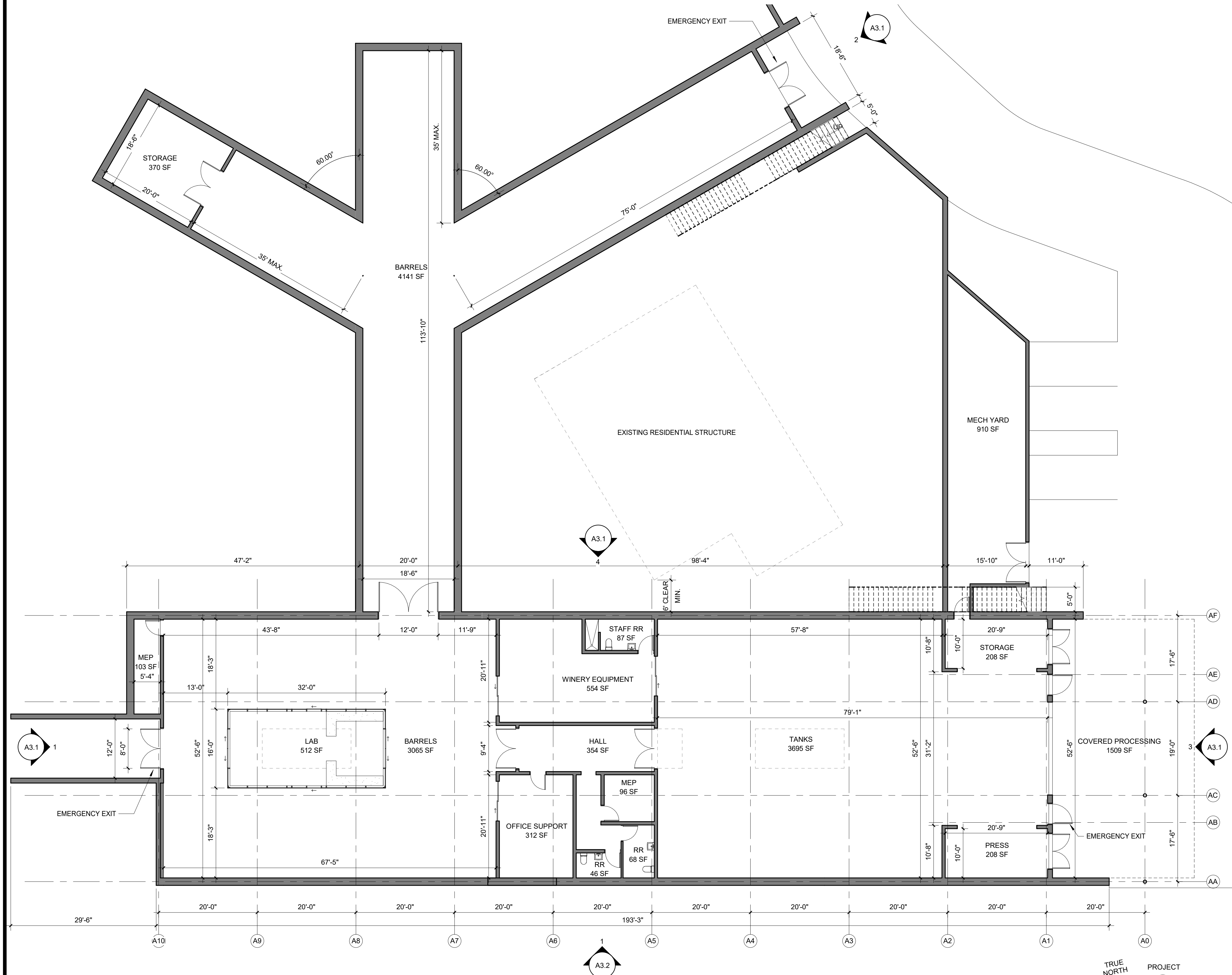
SET ISSUE DATES
DATE ISSUE
05.31.2022 USE PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

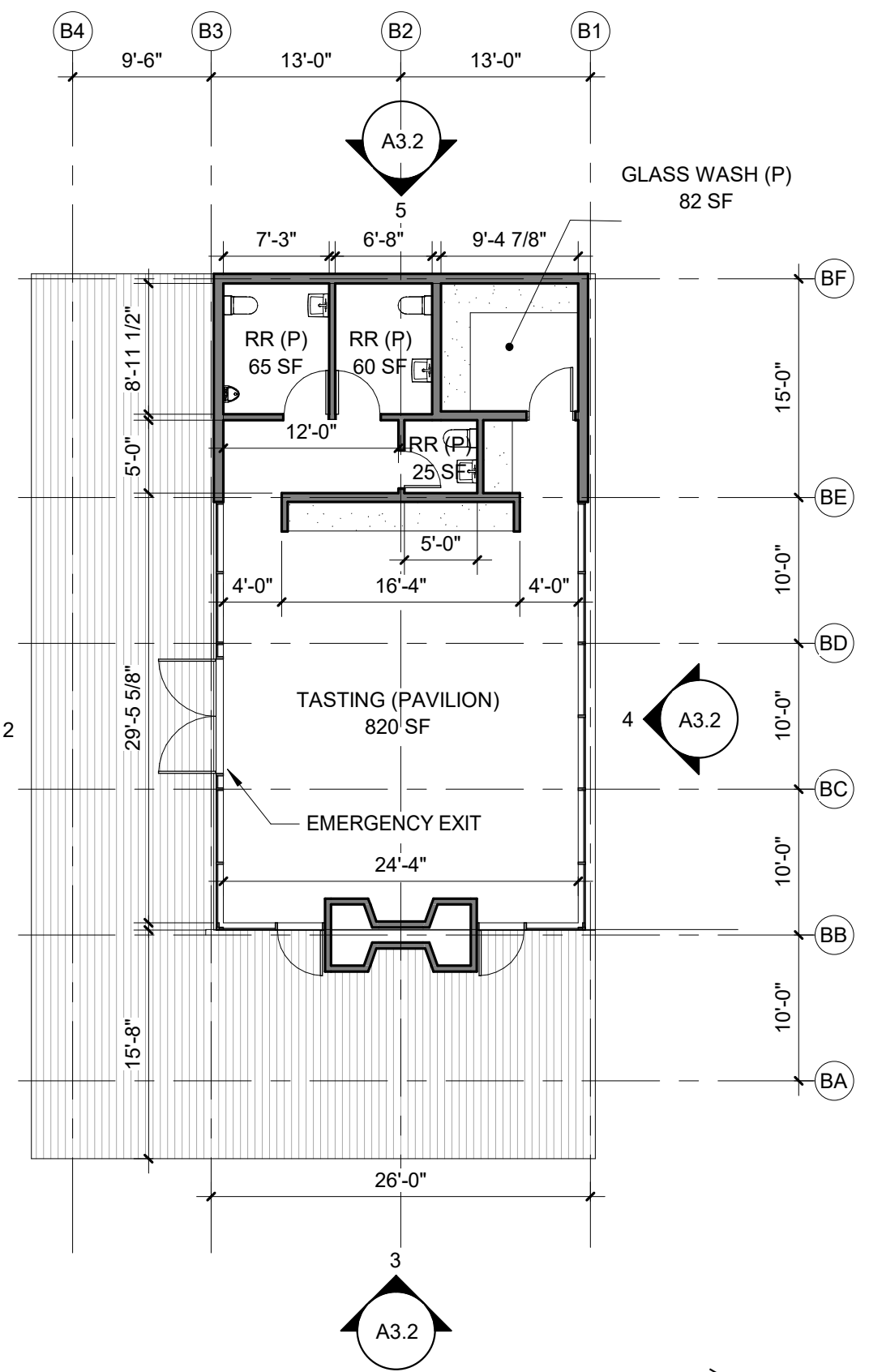
USE PERMIT

FLOOR PLANS

A2.1



2 FLOOR PLAN - WINERY
SCALE: 3/32" = 1'-0"



1 FLOOR PLAN - PAVILION
SCALE: 3/32" = 1'-0"

Central File Path: C:\MyProject\Drawings\Floorplans\Winery-Floor-Plans-Central-2021-05-31.dwg
Local File Path: B:\1300 Mount Veeder Winery\Mount Veeder Winery-Floor-Plans-Central-2021-05-31.dwg

NOT FOR
CONSTRUCTION

WINERY AT MT. VEEDER

1300 Mount Veeder
Napa CA 94558

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

12.23.2022 LIF PROJ. NO. 21002
PROJ. ARCHITECT - DRAWN BY: Author

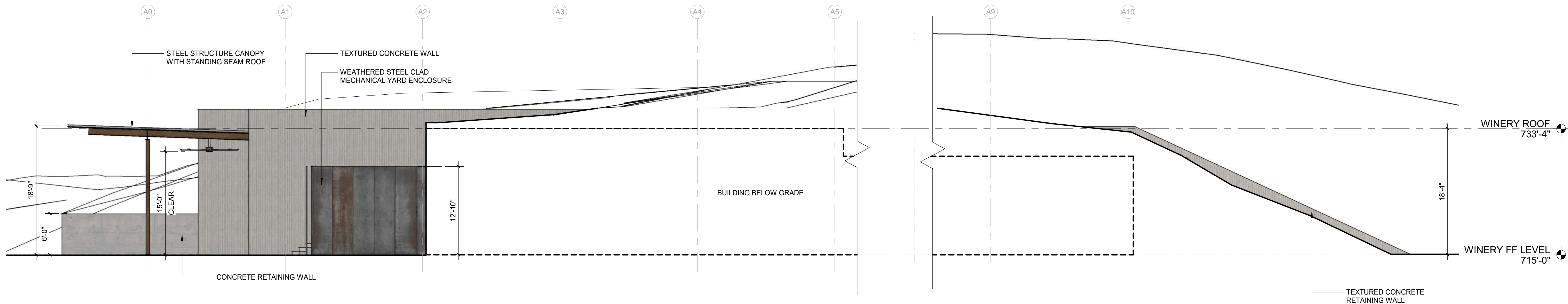
SET ISSUE DATES	
DATE	ISSUE
05.31.2022	USE PERMIT

REVISIONS		
NO.	DATE	DESCRIPTION

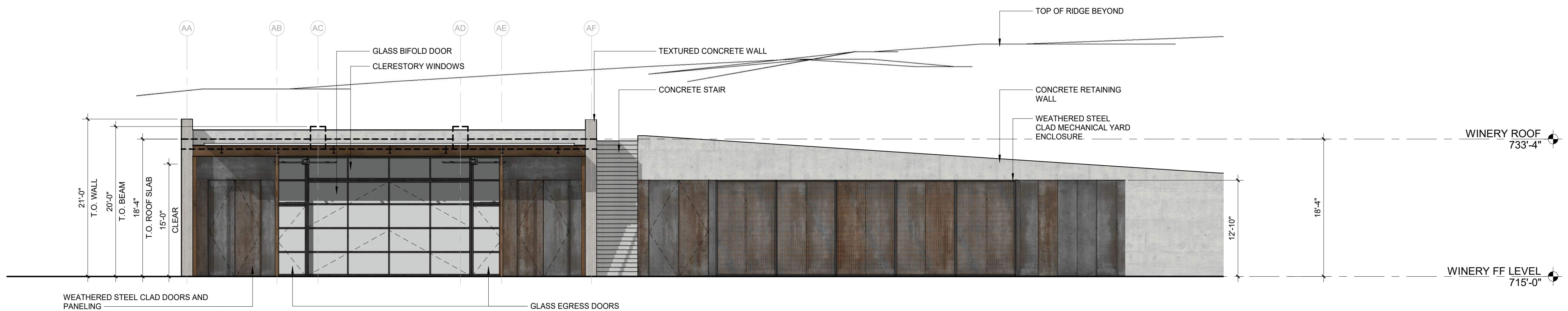
USE PERMIT

BUILDING
ELEVATIONS

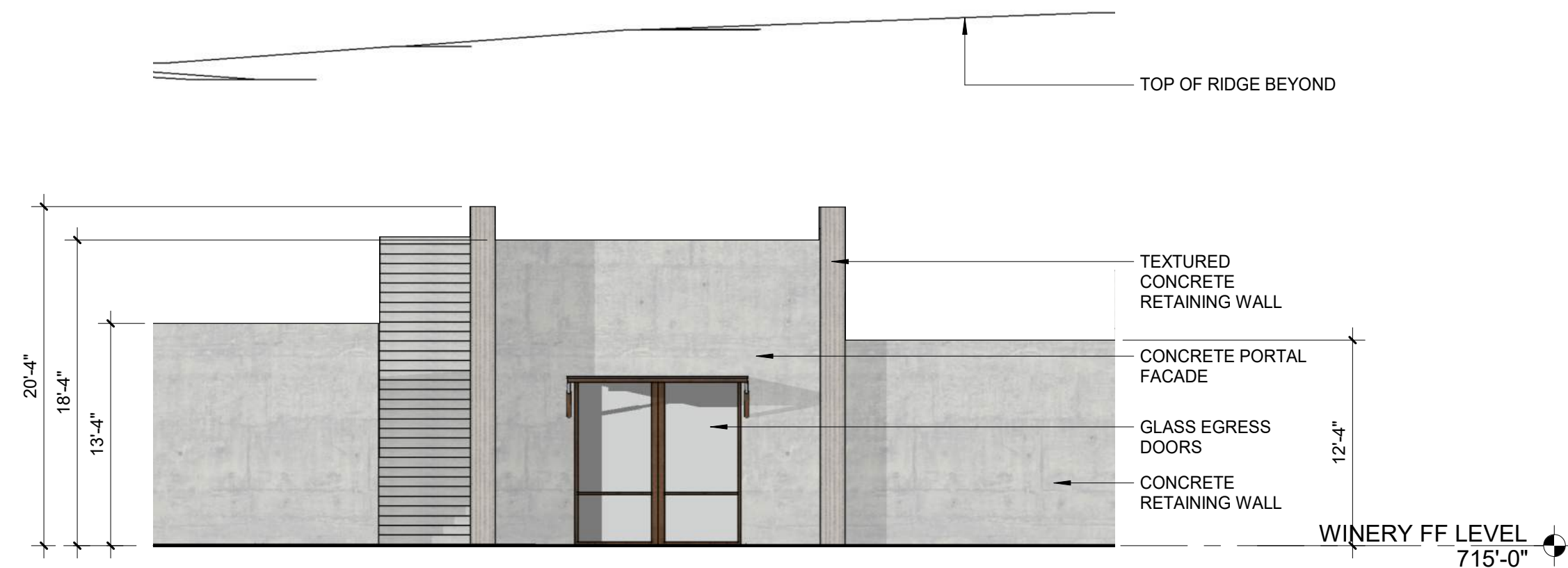
A3.1



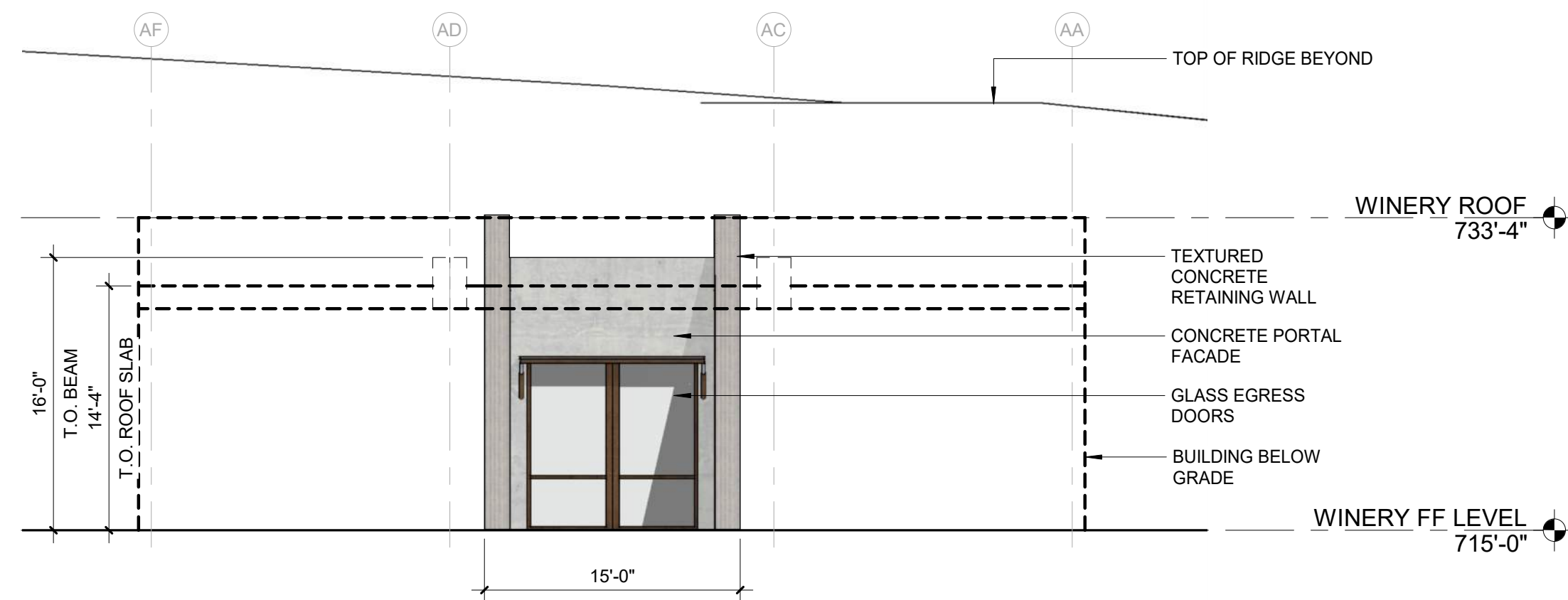
4 WINERY ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



3 WINERY ELEVATION - EAST
SCALE: 1/8" = 1'-0"



2 WINERY ELEVATION - NORTHEAST
SCALE: 1/8" = 1'-0"

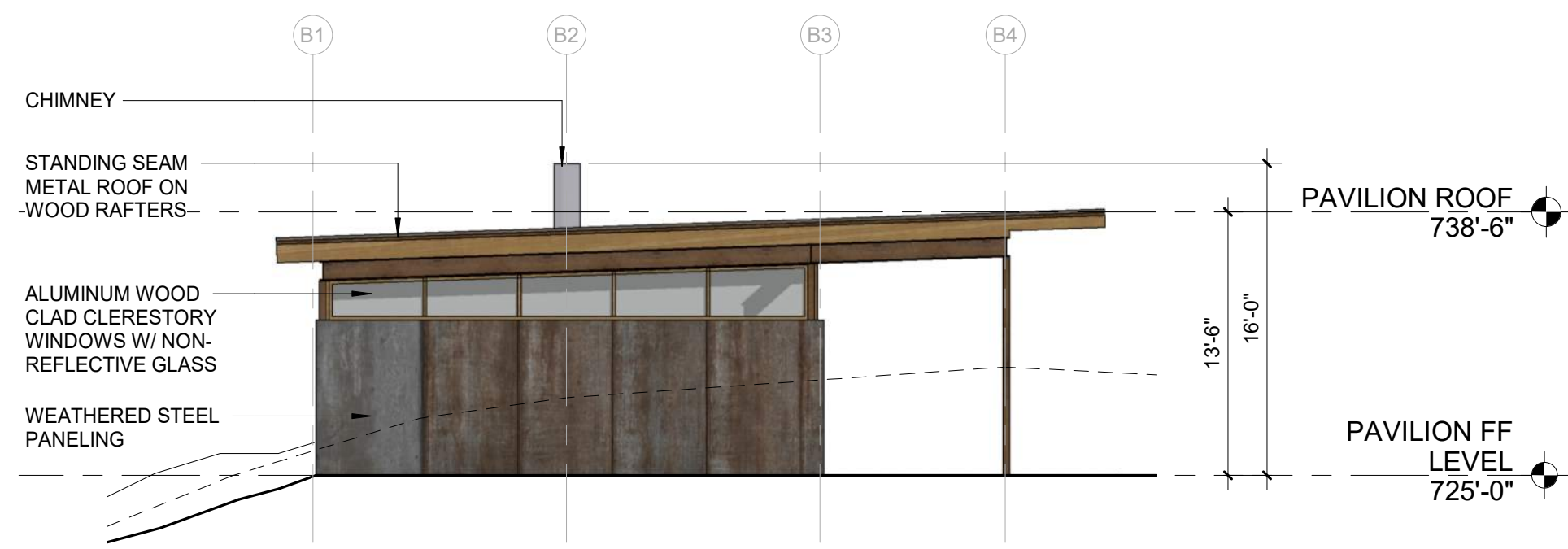


1 WINERY ELEVATION - WEST
SCALE: 1/8" = 1'-0"

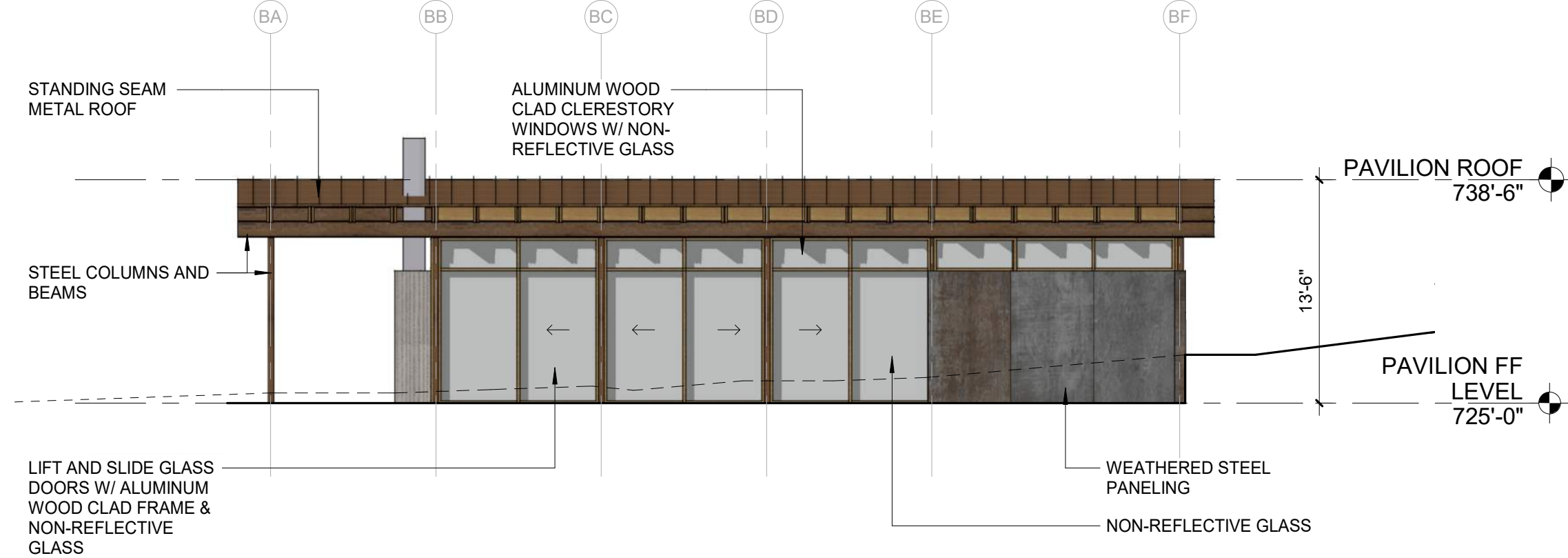
NOT FOR
CONSTRUCTION

WINERY AT MT. VEEDER

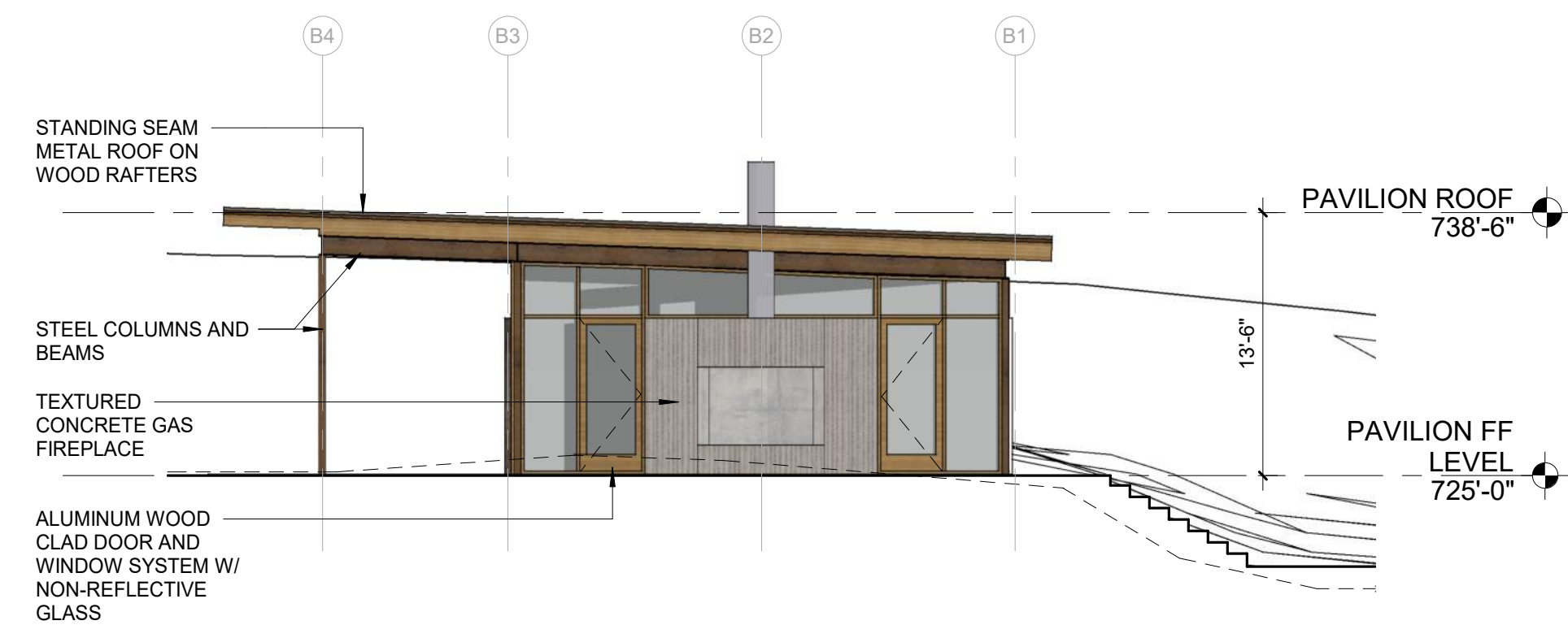
1300 Mount Veeder
Napa CA 94558



5 PAVILION ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



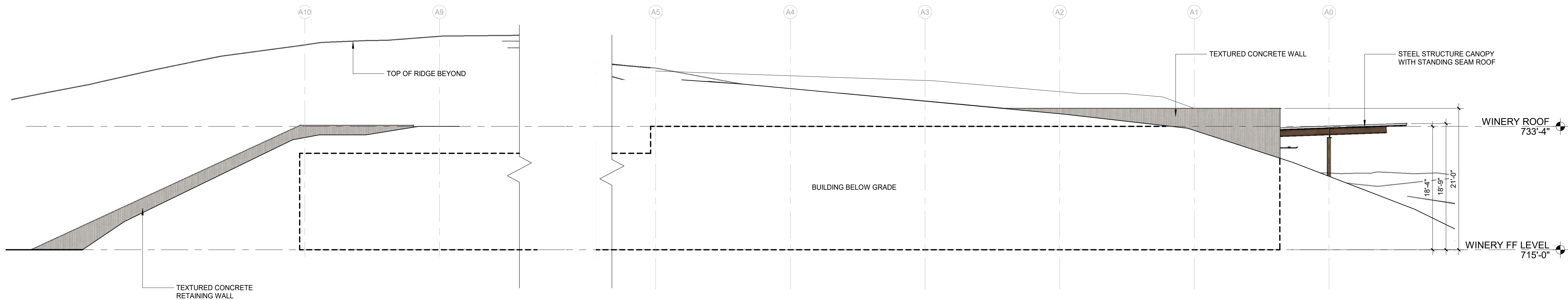
4 PAVILION ELEVATION - EAST
SCALE: 1/8" = 1'-0"



3 PAVILION ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



2 PAVILION ELEVATION - WEST
SCALE: 1/8" = 1'-0"



1 WINERY ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

12.23.2022 L/F PROJ. NO. 21002
PROJ. ARCHITECT - DRAWN BY: Author

SET ISSUE DATES
DATE ISSUE
05.31.2022 USE PERMIT

REVISIONS
NO. DATE DESCRIPTION

USE PERMIT

BUILDING
ELEVATIONS

A3.2