

Napa County

1195 THIRD STREET
SUITE 310
NAPA, CA 94559



Agenda

Wednesday, August 27, 2025

9:00 AM

**Board of Supervisors Chambers, Third Floor
1195 Third Street
Napa CA 94559**

Zoning Administrator

*Brian D. Bordona, Zoning Administrator
Laura Anderson, County Counsel
Michael Parker, Planning Manager
Alexandria Quackenbush, Meeting Clerk
Angie Ramirez Vega, Meeting Clerk
Aime Ramos, Meeting Clerk*

How to Watch or Listen to the Napa County Zoning Administrator Meetings

The Napa County Zoning Administrator will continue to meet the 4th Wednesday of each month when a meeting is scheduled.

The Napa County Zoning Administrator meets at 1195 Third Street, Suite 310, Napa, California, 94559. The meeting room is wheelchair accessible. Assistive listening devices and interpreters are available through the Clerk of the Zoning Administrator. Requests for disability related modifications or accommodations, aids or services may be made to the Clerk of the Zoning Administrator's office no less than 72 hours prior to the meeting date by contacting (707) 253-4417 or meetingclerk@countyofnapa.org.

The Napa County Zoning Administrator realizes that not all County residents have the same ways to stay engaged, so several alternatives are offered. Remote Zoom participation for members of the public is provided for convenience only. In the event that the Zoom connection malfunctions for any reason, the Zoning Administrator reserves the right to conduct the meeting without remote access.

Please watch or listen to the Zoning Administrator meeting in one of the following ways:

1. Attend in-person at the location posted on the agenda.
2. Watch on Zoom using the attendee link: <https://countyofnapa.zoom.us/j/81121621728>. Make sure the browser is up-to-date.
3. Listen on Zoom by calling 1-669-900-6833 (Meeting ID: 811-2162-1728).

If you are unable to attend the meeting in person and wish to submit a general public comment or a comment on a specific agenda item, please do the following:

1. Email your comment to meetingclerk@countyofnapa.org. Emails received will not be read aloud but will still become part of the public record and shared with the Zoning Administrator.
2. Use the Zoom attendee link: <https://countyofnapa.zoom.us/j/81121621728>. Make sure the browser is up-to-date. When the Zoning Administrator calls for the item on which you wish to speak, click "raise hand." Please limit your remarks to three minutes.
3. Call the Zoom phone number 1-669-900-6833 and enter the webinar ID: 811-2162-1728. When the Zoning Administrator calls for the item on which you wish to speak, press *9 to raise hand. Please limit your remarks to three minutes.

****Please note that phone numbers in their entirety will be visible online while speakers are speaking****

For more information, please contact us via telephone at (707) 253-4417 or send an email to meetingclerk@countyofnapa.org.

ANY MEMBER OF THE AUDIENCE DESIRING TO ADDRESS THE ZONING ADMINISTRATOR:

ON A MATTER ON THE AGENDA

Please proceed to the podium when the matter is called and, after receiving recognition from the Zoning Administrator, give your name and your comments or questions. In order that all interested parties have an opportunity to speak, please be brief and limit your comments to the specific subject under discussion. Time limitations shall be at the discretion of the Administrator but is generally limited to three minutes.

ON A MATTER NOT ON THE AGENDA

Public comment is an opportunity for members of the public to speak on items that are not on the agenda but are within the subject matter jurisdiction of the Zoning Administrator. Public comment is limited to three minutes per speaker, subject to the discretion of the Administrator. Comments should be brief and focused, and speakers should be respectful of one another who may have different opinions. Please remember this meeting is being recorded and broadcasted live via ZOOM. The County will not tolerate profanity, hate speech, abusive language, or threats. Also, while public input is appreciated, the Brown Act prohibits the Zoning Administrator from taking any action on matters raised during public comment that are not on the agenda.

- 1. AGENDA REVIEW**
- 2. PUBLIC HEARING ITEMS**

- A. CHAD MCCOMBER AND LUCIA HOSSFELD / 1270 LOMA VISTA DRIVE / VIEWSHED PROTECTION PROGRAM APPLICATION #P24-00054 [25-1426](#)

CEQA Status: Consideration and possible adoption of Categorical Exemptions Class 3 and 4: It has been determined that this type of project does not have a significant effect on the environment and is exempt from the California Environmental Quality Act. [See Section 15303 (Class 3 New Construction or Conversion of Small Structures) and Section 15304 (Class 4 Minor Alterations to Land), which may be found in the guidelines for the implementation of the California Environmental Quality Act at 14 CCR §15303 & 15304. See also Napa County's Local Procedures for Implementing the California Environmental Quality Act, Appendix B.] The project site is not included on a list of hazardous materials compiled pursuant to Government Code Section 65962.5.

Request: Review and approval of an application under the Viewshed Protection Program, as defined in Chapter 18.108 of the Napa County Code, for the reconstruction of a fire damaged single-family home, water storage tank, and associated roadway improvements. The previous home, approximately 1,455 square-feet in size, was lost in the 2017 Napa County fires (LNU Complex Fires). The planned reconstructed single-family home is proposed to be approximately 3,129 square-feet and will be constructed in the same location and utilize the existing building pad. Road improvements consist of a series of turnout locations and general road widening, compliant with Napa County Road and Streets Standards. Additionally, the project proposes landscaping to adequately screen the project from designated viewshed roads while also meeting the 51% screening requirement of the Viewshed Protection Program. The project is located on a 6.02-acre parcel within the Agriculture, Watershed & Open Space (AWOS) General Plan and the Agricultural Watershed (AW) Zoning District.

Staff Recommendations: Find the project categorically exempt and approve the Viewshed Protection Program application as conditioned.

Staff Contact: Curtis Sawyer, Planner II, (707) 299-1361, or curtis.sawyer@countyofnapa.org

Applicant Contact: Chad McComber & Lucia Hossfeld, (415) 672-8000 or chadmccomber5@gmail.com

Attachments: [Attachment A. Recommended Findings](#)
[Attachment B. Recommended Conditions of Approval](#)
[Attachment C. CEQA Exemption Memo](#)
[Attachment D. Application](#)
[Attachment E. Viewshed Plans](#)
[Attachment F. Graphics](#)

B. MARINEAU-MES ACCESSORY STRUCTURES VIEWSHED PROTECTION PROGRAM / PERMIT NO. P25-00207-VIEW (formerly P25-00121) [25-1447](#)

CEQA status: Consideration and possible adoption of an Addendum to the previously adopted 2021 Mitigated Negative Declaration prepared for the Marineau-Mes Residence Viewshed (State Clearinghouse Number: 2021020357). Pursuant to CEQA Guidelines Section 15164(b) and Section 15162(a), an addendum to an adopted negative declaration may be prepared if only minor technical changes or additions are necessary or if none of the conditions contained in Section 15162 calling for preparation of a subsequent negative declaration have occurred. This project site is not on any lists of hazardous waste sites enumerated under Government Code Section 65962.5.

Request: Approval of an application under the Viewshed Protection Program, as defined in Chapter 18.106 of the Napa County Code, for the construction of two residential accessory structures within view of Silverado Trail North, a County designated viewshed road. The project consists of a 1,085 square-foot pool house surrounded by a 665 square-foot outdoor patio, a 300 square-foot barn, and a landscape plan that will screen approximately 60% percent of the proposed structures from view from the designated road. The project is located on a 5.67-acre parcel within the Agricultural Watershed (AW) Zoning District and has a General Plan designation of Agriculture, Watershed and Open Space (AWOS). 4000 Silverado Trl N, Angwin, CA 94515. APN: 021-010-079.

Staff Recommendation: Consider the Addendum to the previously adopted 2021 Mitigated Negative Declaration prepared for the Marineau-Mes Residence Viewshed Permit and approve the Marineau-Mes Accessory Structures Viewshed Protection Permit, as conditioned.

Staff Contact: Hannah Spencer, Planner III, 1195 Third St, Suite 210, Napa, CA 94559; (707) 253-4018; Hannah.spencer@countyofnapa.org

Applicant Contact: Jessica Stuenkel with Feldman Architecture Steve & Judith Padis, 1648 Pacific Ave., Suite B San Francisco, CA 94019, (415) 856-9083, or jstuenkel@feldmanarch.com

Attachments: [P25-00207 - Attachment A Recommended Findings](#)
[P25-00207 - Attachment B Recommended Conditions of Approval](#)
[P25-00207 - Attachment C CEQA Memo \(MND Addendum\)](#)
[P25-00207 - Attachment D 2021 Adopted MND - P20-00230](#)
[P25-00207 - Attachment E Public Comments](#)
[P25-00207 - Attachment F Viewshed Application](#)
[P25-00207 - Attachment G Viewshed Application - Project Plans](#)
[P25-00207 - Attachment H Graphics](#)
[P25-00207 - Attachment I 2024 Water Availability Analysis - P22-00212-ECP](#)

3. **ADJOURNMENT**

I HEREBY CERTIFY THAT THE AGENDA FOR THE ABOVE STATED MEETING WAS POSTED AT A LOCATION FREELY ACCESSIBLE TO MEMBERS OF THE PUBLIC AT THE NAPA COUNTY ADMINISTRATIVE BUILDING, 1195 THIRD STREET, NAPA, CALIFORNIA ON 8/22/2025 BY 5:00PM. A HARDCOPY SIGNED VERSION OF THE CERTIFICATES IS ON FILE WITH THE SECRETARY OF THE COMMISSION AND AVAILABLE FOR PUBLIC INSPECTION.

ALEXANDRIA QUACKENBUSH(By e-signature)

Alexandria Quackenbush, Secretary of the Zoning Administrator



Napa County

Board Agenda Letter

1195 THIRD STREET
SUITE 310
NAPA, CA 94559
www.countyofnapa.org
Main: (707) 253-4580

Zoning Administrator

Agenda Date: 8/27/2025

File ID #: 25-1426

TO: NAPA COUNTY ZONING ADMINISTRATOR
FROM: Curtis Sawyer, Planner II
REPORT BY: Curtis Sawyer, Planner II
SUBJECT: 1270 Loma Vista Drive Viewshed Application (P24-00054)

RECOMMENDATION

CHAD MCCOMBER AND LUCIA HOSSFELD / 1270 LOMA VISTA DRIVE / VIEWSHED PROTECTION PROGRAM APPLICATION #P24-00054

CEQA Status: Consideration and possible adoption of Categorical Exemptions Class 3 and 4: It has been determined that this type of project does not have a significant effect on the environment and is exempt from the California Environmental Quality Act. [See Section 15303 (Class 3 New Construction or Conversion of Small Structures) and Section 15304 (Class 4 Minor Alterations to Land), which may be found in the guidelines for the implementation of the California Environmental Quality Act at 14 CCR §15303 & 15304. See also Napa County's Local Procedures for Implementing the California Environmental Quality Act, Appendix B.] The project site is not included on a list of hazardous materials compiled pursuant to Government Code Section 65962.5.

Request: Review and approval of an application under the Viewshed Protection Program, as defined in Chapter 18.108 of the Napa County Code, for the reconstruction of a fire damaged single-family home, water storage tank, and associated roadway improvements. The previous home, approximately 1,455 square-feet in size, was lost in the 2017 Napa County fires (LNU Complex Fires). The planned reconstructed single-family home is proposed to be approximately 3,129 square-feet and will be constructed in the same location and utilize the existing building pad. Road improvements consist of a series of turnout locations and general road widening, compliant with Napa County Road and Streets Standards. Additionally, the project proposes landscaping to adequately screen the project from designated viewshed roads while also meeting the 51% screening requirement of the Viewshed Protection Program. The project is located on a 6.02-acre parcel within the Agriculture, Watershed & Open Space (AWOS) General Plan and the Agricultural Watershed (AW) Zoning District.

Staff Recommendations: Find the project categorically exempt and approve the Viewshed Protection Program application as conditioned.

Staff Contact: Curtis Sawyer, Planner II, (707) 299-1361, or curtis.sawyer@countyofnapa.org

Applicant Contact: Chad McComber & Lucia Hossfeld, (415) 672-8000 or chadmcomber5@gmail.com

EXECUTIVE SUMMARY

Proposed Actions:

That the Zoning Administrator:

1. Find the project Categorically Exempt from CEQA based on Findings 1 through 3 of Attachment A;
2. Approve the Viewshed Protection Program Application (P24-00054) based on Findings 4 through 10 of Attachment A and Subject to the Conditions of Approval in Attachment B.

Discussion:

The applicant requests the approval of a Viewshed application to reconstruct and expand an existing single-family residential structure and associated physical improvements that were destroyed in the 2017 LNU Complex Fires under Napa County Code Section 18.106-050 - Processing of projects subject to review and approval by the zoning administrator.

ENVIRONMENTAL IMPACT

ENVIRONMENTAL DETERMINATION: Consideration and possible adoption of Categorical Exemptions Class 3 and 4: It has been determined that this type of project does not have a significant effect on the environment and is exempt from the California Environmental Quality Act. [See Section 15303 (Class 3 New Construction or Conversion of Small Structures and Class 4 Minor Alterations to Land), which may be found in the guidelines for the implementation of the California Environmental Quality Act at 14 CCR §15303 & 15304. See also Napa County's Local Procedures for Implementing the California Environmental Quality Act, Appendix B.] The project site is not included on a list of hazardous materials compiled pursuant to Government Code Section 65962.5.

BACKGROUND AND DISCUSSION

Owner/Applicant: Chad & Lucia Hossfeld, (415) 672-8000, or chadmcomber5@mccalligan.com

Representative: James Jeffery, (707) 226-7041 or james@j2arch.com

Zoning: Agricultural Watershed (AW)

General Plan Designation: Agriculture, Watershed & Open Space (AWOS)

Filed: March 11 2024; Resubmittal Received: August 2, 2024, October 7, 2024, and February 2, 2025; Deemed Complete: February 2, 2025

Code Compliance History: None

Existing Development: The site is currently undeveloped as the previously established single-family home was destroyed during the 2017 LUN Complex Fires. The previous home was approximately 1,455 square-feet in size. The location of the homesite is relatively flat, and all previously known areas of oak woodland have been destroyed. All that remains at the subject development area is a salvaged building foundation and existing driveway alignment.

Located to the south and east of the proposed building site are several areas of established vineyards, previously approved by Napa County. Surrounding uses include agriculture and residential.

Discussion Points:

Viewshed Protection Program

According to NCC §18.106.010(A), the purpose and intent of the Napa County Viewshed Protection Program is to provide hillside development standards to protect the public health, safety, and community welfare and to otherwise protect the scenic quality of the county both for visitors to the county as well as for its residents by ensuring that future improvements are compatible with existing land forms, particularly county ridgelines and that views of the county's many unique geologic features and the existing landscape fabric of the county's hillside areas are protected and preserved. These regulations are consistent with the goals and policies of the Napa County general plan, particularly as specified in the land use, open space and conservation and circulation.

The proposed project involves the reconstruction of a single-family residence and associated site improvements on a property located atop a minor ridgeline. The previous residence was destroyed during the 2017 LNU Complex Fires. Although the replacement home will be situated on the same approximate building pad, it is larger in floor area than the original residence (approximately 3,129 square-feet compared to 1,455 square-feet). The applicant has indicated the increased size is intended to better accommodate the needs of the property

owners and meet current building code and energy efficiency standards.

Road Improvements:

The project will utilize the existing driveway alignment; however, targeted improvements will be made to bring the access road up to current Fire and County Engineering standards. These improvements include minor widening at key curves and the installation of two new turnouts to enhance fire truck access. No exceptions to the County's Road and Street Standards are required, and no significant grading beyond localized widening is anticipated.

Water Tank:

A new 5,000-gallon water storage tank will be installed near the residence to support fire suppression and domestic water needs. The tank will be sited downslope of the primary building pad and will be visually screened from designated viewshed roads (Silverado Trail and State Highway 29) by both natural topography and proposed vegetative screening. The tank will be painted in an earthtone color to further reduce visibility.

Landscaping and Screening:

To ensure compliance with the Napa County Viewshed Protection Program, the applicant has submitted a detailed landscape plan prepared by Wendt Landscape Architecture. The plan demonstrates that more than 51% of the new residence and accessory improvements will be screened from designated public roads within five years of installation.

- Tree plantings: Approximately 27 new trees will be planted, including Coast Live Oak, Chinese Pistache, and Pink Lady Hawthorn.
- Shrubs and groundcover: Additional screening will be provided by drought-tolerant species such as Butterfly Bush, Compact Escallonia, Eve Case Coffeeberry, Rockspray Cotoneaster, and California Fuchsia.
- The landscaping has been reviewed for consistency with both the Napa County Design Manual and fire-safe defensible space requirements.

Because the proposed residence is located atop a minor ridgeline and does not meet the administrative findings of Napa County Code (NCC) §18.106.040(C), it requires Zoning Administrator review. The following findings required by NCC §18.106.050(B) can be made:

Findings Required by NCC §18.106.050(B)**1. The project as designed or modified is consistent with Chapter 18.108 of the code.**

Analysis: The project does not encroach within stream setbacks and is located on relatively flat slopes on top of a minor ridgeline in a previously disturbed area. Furthermore, the project does not involve the removal of trees or natural habitat, and as such is consistent with the Napa County Conservation Regulations as described in NCC 18.108.

2. If the highest point of the proposed project is located more than twenty-five vertical feet below a major or minor ridgeline, that measures have been included in the project to reduce its visual impact on the major or minor ridgeline through use of existing natural vegetation, landscaping, topographical siting, architectural design, and colortone; or if the highest point of the proposed

structure is within twenty-five vertical feet of a major or minor ridgeline, that the existing vegetation, proposed landscaping, topographical siting, architectural design, and colortone screen the predominant portion of the proposed structure.

Analysis: The proposed structure is located approximately 694-feet below a major ridgeline to the east. However, the proposed single-family home is situated directly at the top of a minor ridgeline. Because of this, the home, water tank, and associated landscaping has been designed to conform with the 51% screening requirement as required by the Napa County Viewshed Protection Ordinance. Additionally, the home will be designed with approved earthtone colors and is consistent with the Napa County Design Manual. Exterior elements such as window treatments will conform with the Napa County Design Manual to reduce glare. Any and all exterior lighting will be downward angled, compliant with the Napa County Design Manual requirements.

3. The proposed structure, access road and other site improvements, including earthmoving or grading, and benches or shelves minimize the removal of vegetation.

Analysis: The proposed single-family residence is a reconstruction of a home lost during the 2017 LNU Complex Fires. Although it replaces a previously existing structure, the proposed home is larger in size and therefore does not qualify for administrative review under Napa County's Disaster Recovery Viewshed Protection Program (Section 8.80.090). The original home, constructed prior to adoption of the County's Viewshed Protection Program, was prominently visible from two designated viewshed roads: Silverado Trail and State Highway 29. Additionally, the property was previously surrounded by dense oak woodland, which was largely destroyed during the 2017 fire.

To minimize visual impacts, the applicant has incorporated a comprehensive landscape plan prepared by Wendt Landscape Architecture, which includes vegetative screening designed to obscure more than 51% of the proposed structure from public view within five years. The project has been designed in accordance with the Napa County Design Manual and the Viewshed Protection Program. Proposed exterior colors are earthtone, consistent with viewshed guidelines and have been reviewed and found to be in conformance by Planning staff. Colors consist of brown and dark grey, as identified on the associated plans. The combination of site design, appropriate materials and colors, and the proposed landscape plan ensures that the development will reduce potential visual impacts from designated public roadways.

4. The proposed structure, access road and other site improvements, including earthmoving or grading, and benches or shelves minimize the removal of vegetation.

Analysis: The proposed structure does not involve the removal of vegetation. Grading associated with the homesite or required roadwork have been evaluated by Napa County Fire and Engineering divisions. The proposed home will utilize the existing building pad, and the site will be accessed by an existing driveway. Furthermore, Engineering and Fire have recommended approval of this project and have evaluated the proposed roadway improvements, which do not trigger the need for a Conservation Regulations exception or a road and streets standards exception.

5. The siting and design of site improvements and access roads minimize grading and alteration of natural landforms and topography.

Analysis: The site improvements have been carefully planned to preserve the natural terrain-no

significant grading or alteration of existing landforms is required. By reusing the foundation of the original structure, the project minimizes earthwork across the site. While certain road enhancements such as turnout installations and targeted roadway widening are necessary, the design relies on an existing, previously approved driveway that once served the prior single-family home, which was destroyed in the 2017 LNU Complex Fires.

- 6. A landscape and/or vegetation retention plan in conformance with the Design Manual has been submitted and approved for the site that would provide maximum screening from designated public roads through preservation of existing vegetation and the planting of new vegetation and provide for defensible space in conformance with state law.**

Analysis: A landscape plan prepared by Wendt Landscape Architecture has been submitted and reviewed by the appropriate County divisions. The plan complies with Napa County Fire Safe Regulations and demonstrates that 51% of the proposed structure will be screened from viewshed roads Silverado Trail and State Highway 29 within five years. As shown on Sheet L1 of the project plan set, the proposed landscaping includes species such as Coast Live Oak, Chinese Pistache, Butterfly Bush, Mush Anemone, Compact Escallonia, Eve Case Coffeeberry, Rockspray Cotoneaster, Pink Lady Hawthorn, California Fuchsia, and White Icicle. Project renderings provided by James Jefferey Architects further illustrate compliance with the 51% screening requirement.

- 7. The proposed structure and associated improvements substantially conform with the Design Manual in order to reduce their visual impact on the views of major and minor ridgelines as viewed from any designated public road and unique topographic or geologic features as viewed from any county road. The following landforms will be considered to be unique topographic or geologic features for the purposes of this subsection: Mt. St. Helena, Stag's Leap, Calistoga Palisades, Round Hill, Mt. George and Mt. St. John.**

Analysis: The proposed structure is compliant with the requirements of NCC 18.106.050. The applicant has designed the project to minimize visual impacts of views of unique topographic features as viewed from any county road. The exterior of home has been designed with earthtone colors and elements such as window treatments will conform with the Napa County Design Manual to reduce glare. Any and all exterior lighting will be downward angled, compliant with the Napa County Design Manual requirements.

Staff Comment: The project will not adversely affect the health, safety or welfare of the County. The project is subject to County Codes and regulations including but not limited to the California Building Code, Napa County Fire Department requirements and Engineering Division requirements all with recommended conditions that would be incorporated into the project to assure protection of public health, safety and welfare. Staff supports the application as designed and conditioned.

Public Comments - No comments have been received by members of the public or adjacent property owners.

SUPPORTING DOCUMENTS

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Categorical Exemption Memorandum
- D. Viewshed Application
- E. Viewshed Plans
- F. Graphics

“A”

Recommended Findings

ZONING ADMINISTRATOR HEARING – AUGUST 27, 2025
RECOMMENDED FINDINGS

1270 LOMA VISTA DRIVE VIEWSHED PROTECTION PROGRAM APPLICATION
P24-00054-VIEW
1270 LOMA VISTA DR, NAPA 94558
APN: 039-670-014

ENVIRONMENTAL:

The Zoning Administrator has received and reviewed the Categorical Exemption Memorandum dated August 27, 2025, pursuant to the provisions of the California Environmental Quality Act (CEQA) and of Napa County's Local Procedures for Implementing CEQA, and finds that:

1. The project is categorically exempt from CEQA under Section 15303 (Class 3 New Construction or Conversion of Small Structures) and Section 15304 (Class 4 Minor Alterations to Land).
2. The site of this proposed project is not on any of the lists of hazardous waste sites enumerated under Government Code Section 65962.5 and is not within the boundaries of any airport land use plan.
3. The Planning, Building and Environmental Services Director is the custodian of the records of the proceedings on which this decision is based. The records are located at the Napa County Planning, Building & Environmental Services Department, 1195 Third Street, Second Floor, Napa, California.

VIEWSHED PROTECTION PROGRAM FINDINGS:

The following findings must be made in order for the Zoning Administrator to approve a project applicable to the Viewshed Protection Program pursuant to Napa County Code (NCC) Section 18.106.050(B):

4. The project as designed or modified is consistent with Chapter 18.108 of the code;

Analysis: The project does not encroach within stream setbacks and is located on relatively flat slopes on top of a minor ridgeline in a previously disturbed area. Furthermore, the project does not involve the removal of trees or natural habitat, and as such is consistent with the Napa County Conservation Regulations as described in NCC 18.108.

5. If the highest point of the proposed project is located more than twenty-five vertical feet below a major or minor ridgeline, that measures have been included in the project to reduce its visual impact on the major or minor ridgeline through use of existing natural vegetation, landscaping, topographical siting, architectural design, and color tone; or if the highest point of the proposed structure is within twenty-five vertical feet of a major or minor ridgeline, that the existing vegetation, proposed landscaping, topographical siting

architectural design, and colortone screen the predominant portion of the proposed structure;

Analysis: The proposed structure is located approximately 694-feet below a major ridgeline to the east. However, the proposed single-family home is situated directly at the top of a minor ridgeline. Because of this, the home, water tank, and associated landscaping has been designed to conform with the 51% screening requirement as required by the Napa County Viewshed Protection Ordinance. Additionally, the home will be designed with approved earthtone colors and is consistent with the Napa County Design Manual. Exterior elements such as window treatments will conform with the Napa County Design Manual to reduce glare. Any and all exterior lighting will be downward angled, complaint with the Napa County Design Manual requirements.

6. The proposed structure, access roads and other site improvements are sited and designed to minimize adverse effects on views from designated public roads;

Analysis: The proposed single-family residence is a reconstruction of a home lost during the 2017 LNU Complex Fires. Although it replaces a previously existing structure, the proposed home is larger in size and therefore does not qualify for administrative review under Napa County's Disaster Recovery Viewshed Protection Program (Section 8.80.090). The original home, constructed prior to adoption of the County's Viewshed Protection Program, was prominently visible from two designated viewshed roads: Silverado Trail and State Highway 29. Additionally, the property was previously surrounded by dense oak woodland, which was largely destroyed during the 2017 fire.

To minimize visual impacts, the applicant has incorporated a comprehensive landscape plan prepared by Wendt Landscape Architecture, which includes vegetative screening designed to obscure more than 51% of the proposed structure from public view within five years. The project has been designed in accordance with the Napa County Design Manual and the Viewshed Protection Program. Proposed exterior colors are earthtone, consistent with viewshed guidelines and have been reviewed and found to be in conformance by Planning staff. Colors consist of brown and dark grey, as identified on the associated plans. The combination of site design, appropriate materials and colors, and the proposed landscape plan ensures that the development will reduce potential visual impacts from designated public roadways.

7. The proposed structure, access road and other site improvements, including earthmoving or grading, and benches or shelves minimize the removal of vegetation;

Analysis: The proposed structure and associated road improvements do not involve the removal of vegetation. Grading associated with the homesite or required roadwork have been evaluated by Napa County Fire and Engineering divisions. The proposed home will utilize the existing building pad, and the site will be accessed by an existing driveway. Furthermore, Engineering and Fire have recommended approval of this project and have evaluated the proposed roadway improvements, which do not trigger the need for a Conservation

Regulations exception or a road and streets standards exception.

8. The siting and design of site improvements and access roads minimize grading and alteration of natural landforms and topography;

Analysis: The site improvements have been carefully planned to preserve the natural terrain—no significant grading or alteration of existing landforms is required. By reusing the foundation of the original structure, the project minimizes earthwork across the site. While certain road enhancements—such as turnout installations and targeted roadway widening—are necessary, the design relies on an existing, previously approved driveway that once served the prior single-family home, which was destroyed in the 2017 LNU Complex Fires.

9. A landscape and/or vegetation retention plan in conformance with the Design Manual has been submitted and approved for the site that would provide maximum screening from designated public roads through preservation of existing vegetation and the planting of new vegetation and provide for defensible space in conformance with state law;

Analysis: A landscape plan prepared by Wendt Landscape Architecture has been submitted and reviewed by the appropriate County divisions. The plan complies with Napa County Fire Safe Regulations and demonstrates that 51% of the proposed structure will be screened from viewshed roads Silverado Trail and State Highway 29 within five years. As shown on Sheet L1 of the project plan set, the proposed landscaping includes species such as Coast Live Oak, Chinese Pistache, Butterfly Bush, Mush Anemone, Compact Escallonia, Eve Case Coffeeberry, Rockspray Cotoneaster, Pink Lady Hawthorn, California Fuchsia, and White Icicle. Project renderings provided by James Jefferey Architects further illustrate compliance with the 51% screening requirement.

10. The proposed structure and associated improvements substantially conform with the Design Manual in order to reduce their visual impact on the views of major and minor ridgelines as viewed from any designated public road and unique topographic features as viewed from any county road. The following landforms will be considered to be unique topographic geologic features for the purposes of this subsection: Mt. St. Helena, Stag's Leap, Calistoga Palisades, Round Hill, Mt. George and Mt. St. John;

Analysis: The proposed structure is compliant with the requirements of NCC 18.106.050. The applicant has designed the project to minimize visual impacts of views of unique topographic features as viewed from any county road. The exterior of home has been designed with earthtone colors and elements such as window treatments will conform with the Napa County Design Manual to reduce glare. Any and all exterior lighting will be downward angled, complaint with the Napa County Design Manual requirements.

“B”

Recommended Conditions of Approval

1270 Loma Vista Drive Viewshed Protection Program
Application #P24-00054
Zoning Administrator Hearing Date August 27, 2025

ZONING ADMINISTRATOR HEARING – AUGUST 27, 2025
RECOMMENDED CONDITIONS OF APPROVAL

1270 LOMA VISTA DRIVE VIEWSHED PROTECTION PROGRAM APPLICATION
P24-00054-VIEW
1270 LOMA VISTA DR, NAPA 94558
APN: 039-670-014

This Permit encompasses and shall be limited to the project commonly known as the **1270 Loma Vista Drive Viewshed Protection Program Application**, located at **1270 Loma Vista Drive, Napa, CA 94558**. Part I encompasses the Project Scope and general conditions pertaining to statutory and local code references, project monitoring and the process for any future changes or activities. Part II encompasses the ongoing conditions relevant to the operation of the project. Part III encompasses the conditions relevant to construction and the prerequisites for a Final Certificate of Occupancy. It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and the general public to ensure compliance is achieved.

Where conditions are not applicable or relevant to this project, they shall be noted as “Reserved” and, therefore, have been removed.

When modifying a legally established entitlement related to this project, these conditions are not intended to be retroactive or to have any effect on existing vested rights except where specifically indicated.

PART I

1.0 PROJECT SCOPE

This Permit encompasses and shall be limited to:

1.1 Approval of a Viewshed Protection Program Application to allow the following:

- a) Reconstruction of a single-family home totaling approximately 3,129 square feet.
- b) Installation of new landscaping to screen the project in compliance with the Napa County Viewshed Protection Program.
- c) Installation of a new 2,500 gallon fire suppression water storage tank.
- d) Roadway improvements, including the installation of turnouts and select areas of road widening.

The residence shall be designed in substantial conformance with the submitted site plan, elevation drawings, and other submittal materials and shall comply with all requirements of the Napa County Code (the County Code). It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and the general public to ensure compliance is achieved. Any expansion of or change in use or alternative locations for fire suppression or other types of water tanks shall be approved in accordance with the County Code and may be subject to the permit modification process.

2.0 STATUTORY AND CODE SECTION REFERENCES

All references to statutes and code sections shall refer to their successor as those sections or statutes may be subsequently amended from time to time.

3.0 MONITORING COSTS

All Staff costs associated with monitoring compliance with these conditions, previous permit conditions, and project revisions shall be borne by the permittee and/or property owner. Costs associated with conditions of approval and mitigation measures that require monitoring, including investigation of complaints, other than those costs related to investigation of complaints of non-compliance that are determined to be unfounded, shall be charged to the property owner or permittee. Costs shall be as established by resolution of the Board of Supervisors in accordance with the hourly consulting rate established at the time of the monitoring and shall include maintenance of a \$500 deposit for construction compliance monitoring that shall be retained until issuance of a Final Certificate of Occupancy. Violations of conditions of approval or mitigation measures caused by the permittee's contractors, employees, and/or guests are the responsibility of the permittee.

The Planning Commission may implement an audit program if compliance deficiencies are noted. If evidence of a compliance deficiency is found to exist by the Planning Commission at some time in the future, the Planning Commission may institute the program at the permittee's expense (including requiring a deposit of funds in an amount determined by the Commission) as needed until compliance assurance is achieved. The Planning Commission may also use the data, if so warranted, to commence revocation proceedings in accordance with the County Code.

PART II

4.0 OPERATIONAL CHARACTERISTICS OF THE PROJECT

Permittee shall comply with the following during operation of the project:

- 4.1 GROUND WATER MANAGEMENT – WELLS **[RESERVED]**
- 4.2 AMPLIFIED MUSIC **[RESERVED]**
- 4.3 TRAFFIC **[RESERVED]**
- 4.4 PARKING **[RESERVED]**
- 4.5 BUILDING DIVISION – USE OR OCCUPANCY CHANGES **[RESERVED]**
- 4.6 FIRE DEPARTMENT – TEMPORARY STRUCTURES **[RESERVED]**
- 4.7 NAPA COUNTY MOSQUITO ABATEMENT PROGRAM **[RESERVED]**
- 4.8 GENERAL PROPERTY MAINTENANCE – LIGHTING, LANDSCAPING, PAINTING, OUTDOOR EQUIPMENT STORAGE, MECHANICAL EQUIPMENT, AND TRASH ENCLOSURE AREAS

- a. All lighting shall be permanently maintained in accordance with the lighting and building plans approved by the County.
- b. All landscaping shall be permanently maintained in accordance with the landscaping approved by the County.
- c. **[RESERVED]**
- d. The colors used for the roof, exterior walls and built landscaping features of the project shall be limited to earth tones that will blend the facility into the colors of the surrounding site specific vegetation. The permittee shall obtain the written approval of the Planning Division prior to any change in paint color that differs from the approved building permit. Highly reflective surfaces are prohibited.
- e. **[RESERVED]**

4.9 NO TEMPORARY SIGNS **[RESERVED]**

4.10 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES - OPERATIONAL CONDITIONS

The attached project conditions of approval include all of the following County Divisions, Departments and Agencies' requirements. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:

- a. Engineering Services Division operational conditions as stated in their Memorandum dated January 23, 2025.
- b. Fire Department operational conditions as stated in their Inter-Office Memo dated January 24, 2025.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify this permit.

4.11 OPERATIONAL MITIGATION MEASURES **[RESERVED]**

4.12 OTHER CONDITIONS APPLICABLE TO THE OPERATIONAL ASPECTS OF THE PROJECT **[RESERVED]**

4.13 PREVIOUS CONDITIONS **[RESERVED]**

PART III

5.0 PREREQUISITE FOR ISSUANCE OF PERMITS

Recommended Conditions of Approval
1270 Loma Vista Dr – Viewshed Protection Program
P24-00054-VIEW

Page 3 of 9

5.1 PAYMENT OF FEES

No building, grading or sewage disposal permits shall be issued or other permits authorized until all accrued planning permit processing fees have been paid in full. This includes all fees associated with plan check and building inspections, associated development impact fees established by County Ordinance or Resolution, and the Napa County Affordable Housing Mitigation Fee in accordance with County Code.

6.0 GRADING/DEMOLITION/ENVIRONMENTAL/BUILDING PERMIT/OTHER PERMIT PREREQUISITES

Permittee shall comply with the following with the submittal of a grading, demolition environmental, building and/or other applicable permit applications:

6.1 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES - PLAN REVIEW, CONSTRUCTION AND PREOCCUPANCY CONDITIONS

The attached project conditions of approval include all of the following County Divisions, Departments and Agencies' requirements. The permittee shall comply with all applicable building codes, zoning standards, and requirements of County Divisions, Departments and Agencies at the time of submittal and may be subject to change. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:

- a. Engineering Services Division plan review/construction/preoccupancy conditions as stated in their Memorandum dated January 23, 2025.
- b. Fire Department plan review/construction/preoccupancy conditions as stated in their Inter-Office Memo dated January 24, 2025.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify the permit.

6.2 BUILDING DIVISION – GENERAL CONDITIONS

Please contact the Building Division with any questions regarding the following:

- a. A building permit shall be obtained for all construction occurring on the site not otherwise exempt by the CBC or any State or local amendment adopted thereto
- b. If there are any existing structures and/or buildings on the property that will need to be removed to accommodate construction activities, a separate demolition permit shall be required from the Building Division prior to removal. The permittee shall provide a "J" number from the Bay Area Air Quality Management District (BAAQMD) at the time the permittee applies for a demolition permit if applicable.

c. **[RESERVED]**

6.3 LIGHTING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed lighting plan showing the location and specifications for all lighting fixtures to be installed on the property shall be submitted for Planning Division review and approval. All lighting shall comply with the CBC.
- b. All exterior lighting, including landscape lighting, shall be shielded and directed downward; located as low to the ground as possible; the minimum necessary for security, safety, or operations; on timers; and shall incorporate the use of motion detection sensors to the greatest extent practical. All lighting shall be shielded or placed such that it does not shine directly on adjacent properties or impact vehicles on adjacent streets. No flood-lighting or sodium lighting of the building is permitted, including architectural highlighting and spotting. Low-level lighting shall be utilized in parking areas as opposed to elevated high-intensity light standards.

6.4 LANDSCAPING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed final landscaping and irrigation plan, including parking details, shall be submitted with the building permit application package for the Planning Division's review and approval prior to the issuance of any building permit associated with this permit. The plan shall be prepared pursuant to the Water Efficient Landscape Ordinance (Chapter 18.118 of the County Code) requirements in effect at the time of building permit application submittal, as applicable, and shall indicate the names and locations of all plant materials to be used along with their method of maintenance.
- b. Plant materials shall be purchased locally when practical, and, to the greatest extent possible, the plant materials shall be the same native plants found in Napa County. The Agricultural Commissioner's office shall be notified of all impending deliveries of live plants with points of origin outside of Napa County.
- c. No trees greater than 6" diameter at breast height shall be removed, except for those identified on the submitted site plan. Any Oak trees removed as a result of the project shall be replaced at a 2:1 ratio and shown on the landscaping plans for the Planning Division's review and approval. Trees to be retained shall be protected during construction by fencing securely installed at the outer most dripline of the tree or trees. Such fencing shall be maintained throughout the duration of the work undertaken in connection with project development/construction. In no case shall construction material, debris or vehicles be stored in the fenced tree protection area.
- d. Evergreen screening shall be installed between the industrial portions of the operation (e.g., tanks, crushing area, parking area, etc.) and any off-site residence from which these areas can be viewed.

e. **[RESERVED]**

6.5 **COLORS**

The colors used for the roof, exterior walls and built landscaping features of the project shall be limited to earth tones that will blend the facility into the colors of the surrounding site specific vegetation. The permittee shall obtain the written approval of the Planning Division in conjunction with building permit review and/or prior to painting the building. Highly reflective surfaces are prohibited.

6.6 **OUTDOOR STORAGE/SCREENING/UTILITIES [RESERVED]**

6.7 **MECHANICAL EQUIPMENT [RESERVED]**

6.8 **TRASH ENCLOSURES [RESERVED]**

6.9 **ADDRESSING**

All project site addresses shall be determined by the PBES Director, and be reviewed and approved by the United States Post Office. The PBES Director reserves the right to issue or re-issue an appropriate situs address at the time of issuance of any building permit to ensure proper identification and sequencing of numbers. For multi-tenant or multiple structure projects, this includes building permits for later building modifications or tenant improvements.

6.10 **HISTORIC RESOURCES [RESERVED]**

6.11 **DEMOLITION ACTIVITIES [RESERVED]**

6.12 **VIEWSHED – EXECUTION OF USE RESTRICTION**

The property owner shall execute and record in the county recorder's office a use restriction, in a form approved by County Counsel, requiring that the residence, water storage tank, and associated physical road improvements shall be constructed in substantial compliance with the plans approved with this application dated February 29, 2024 to be maintained by the owner or the owner's successor so as to maintain conformance with the County Code.

6.13 **PERMIT PREREQUISITE MITIGATION MEASURES [RESERVED]**

6.14 **PARCEL CHANGE REQUIREMENTS [RESERVED]**

6.15 **FINAL MAPS [RESERVED]**

6.16 **OTHER CONDITIONS APPLICABLE TO THE PROJECT PERMITTING PROCESS [RESERVED]**

7.0 PROJECT CONSTRUCTION

Permittee shall comply with the following during project construction:

7.1 **SITE IMPROVEMENT**

Please contact Engineering Services with any questions regarding the following:

a. GRADING & SPOILS

All grading and spoils generated by construction of the project facilities shall be managed per Engineering Services direction. Alternative locations for spoils are permitted, subject to review and approval by the PBES Director, when such alternative locations do not change the overall concept, and do not conflict with any environmental mitigation measures or conditions of approval.

b. DUST CONTROL

Water and/or dust palliatives shall be applied in sufficient quantities during grading and other ground disturbing activities on-site to minimize the amount of dust produced. Outdoor construction activities shall not occur when average wind speeds exceed 20 mph.

c. AIR QUALITY

During all construction activities the permittee shall comply with the most current version of BAAQMD Basic Construction Best Management Practices including but not limited to the following, as applicable:

1. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. The BAAQMD's phone number shall also be visible.
2. Water all exposed surfaces (e.g., parking areas, staging areas, soil piles, grading areas, and unpaved access roads) two times per day.
3. Cover all haul trucks transporting soil, sand, or other loose material off-site.
4. Remove all visible mud or dirt tracked onto adjacent public roads by using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
5. All vehicle speeds on unpaved roads shall be limited to 15 mph.
6. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
7. Idling times shall be minimized either by shutting off equipment when not in use or reducing the maximum idling time to five (5) minutes (as required State Regulations). Clear signage shall be provided for construction workers at all access points.
8. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator. Any

portable engines greater than 50 horsepower or associated equipment operated within the BAAQMD's jurisdiction shall have either a California Air Resources Board (ARB) registration Portable Equipment Registration Program (PERP) or a BAAQMD permit. For general information regarding the certified visible emissions evaluator or the registration program, visit the ARB FAQ http://www.arb.ca.gov/portable/perp/perpfaq_04-16-15.pdf or the PERP website <http://www.arb.ca.gov/portable/portable.htm>.

d. STORM WATER CONTROL

The permittee shall comply with all construction and post-construction storm water pollution prevention protocols as required by the County Engineering Services Division, and the State Regional Water Quality Control Board.

7.2 ARCHEOLOGICAL FINDING

In the event that archeological artifacts or human remains are discovered during construction, work shall cease in a 50-foot radius surrounding the area of discovery. The permittee shall contact the PBES Department for further guidance, which will likely include the requirement for the permittee to hire a qualified professional to analyze the artifacts encountered and to determine if additional measures are required.

If human remains are encountered during project development, all work in the vicinity must be halted, and the Napa County Coroner informed, so that the Coroner can determine if an investigation of the cause of death is required, and if the remains are of Native American origin. If the remains are of Native American origin, the permittee shall comply with the requirements of Public Resources Code Section 5097.98.

7.3 CONSTRUCTION NOISE

Construction noise shall be minimized to the greatest extent practical and feasible under State and local safety laws, consistent with construction noise levels permitted by the General Plan Community Character Element and the County Noise Ordinance. Construction equipment muffling and hours of operation shall be in compliance with the County Code. Equipment shall be shut down when not in use. Construction equipment shall be staged, loaded, and unloaded on the project site, if at all practicable. If project terrain or access road conditions require construction equipment to be staged, loaded, or unloaded off the project site (such as on a neighboring road or at the base of a hill), such activities only shall occur daily between the hours of 8:00 AM to 5:00 PM.

7.4 CONSTRUCTION MITIGATION MEASURES **[RESERVED]**

7.5 OTHER CONSTRUCTION CONDITIONS APPLICABLE TO THE PROJECT PROPOSAL **[RESERVED]**

8.0 TEMPORARY CERTIFICATE OF OCCUPANCY – PREREQUISITES

8.1 TEMPORARY OCCUPANCY **[RESERVED]**

9.0 FINAL CERTIFICATE OF OCCUPANCY – PREREQUISITES

Permittee shall comply with the following before a Final Certificate of Occupancy is granted by the County Building Official, which upon granting, authorizes all use permit activities to commence:

9.1 FINAL OCCUPANCY

All project improvements, including compliance with applicable codes, conditions, and requirements of all Departments and Agencies with jurisdiction over the project, shall be completed.

9.2 SIGNS

Detailed plans, including elevations, materials, color, and lighting for any project identification or directional signs shall be submitted to the Department for administrative review and approval prior to installation. Administrative review and approval is not required if the signage to be installed is consistent with signage plans submitted, reviewed and approved as part of this permit approval. All signs shall meet the design standards as set forth in the County Code. Any off-site signs allowed shall be in conformance with the County Code.

9.3 GATE/ENTRY STRUCTURES

Any gate installed at the project entrance shall be reviewed by the PBES Department and the Fire Department to assure that the design allows large vehicles, such as motorhomes, to turn around if the gate is closed without backing into the public roadway, and that fire suppression access is available at all times. If the gate is part of an entry structure an additional permit shall be required pursuant to the County Code and in accordance with the Napa County Roads and Street Standards. A separate entry structure permit is not required if the entry structure is consistent with entry structure plans submitted, reviewed, and approved as part of this permit approval.

9.4 LANDSCAPING

Landscaping shall be installed in accordance with the approved landscape plan.

9.5 ROAD OR TRAFFIC IMPROVEMENT REQUIREMENTS **[RESERVED]**

9.6 DEMOLITION ACTIVITIES **[RESERVED]**

9.7 GRADING SPOILS

All spoils piles shall be removed in accordance with the approved grading permit and/or building permit.

9.8 MITIGATION MEASURES APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY **[RESERVED]**

9.9 OTHER CONDITIONS APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY **[RESERVED]**



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A Commitment to Service

Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

Brian D. Bordona
Director

MEMORANDUM

To: Curtis Sawyer, Planning	From: Jeannette Doss, Engineering <i>JD</i>
Date: January 23, 2025	Re: 1270 Loma Vista Drive Viewshed – Engineering CoA 1270 Loma Vista Drive, Napa, CA P24-00054 APN 039-670-014-000

The Engineering Division received a referral for comment on the above project. Based upon the information provided in the application, Engineering finds the application **complete** and recommends the following conditions of approval:

EXISTING CONDITIONS:

1. Existing access taken from Loma Vista Drive via an existing residential driveway.
2. The existing parcel is approximately 6.02 acres.
3. Site was previously developed with a residence. The previously existing residence was destroyed in the 2017 Napa Fires.

RECOMMENDED APPROVAL CONDITIONS:

PREREQUISITES FOR ISSUANCE OF PERMITS

1. Grading and drainage improvements shall be constructed according to the current Napa County Road and Street Standards, and Chapter 16.28 of the Napa County Code, and Appendix J of the California Building Code.
2. **Prior to issuance of a development permit** (i.e. building permit and/or grading permit) the owner shall submit the necessary documents for Erosion Control as determined by the area of disturbance of the proposed development in accordance with the Napa Countywide Stormwater Pollution Prevention Program Erosion and Sediment Control Plan Guidance document, dated December 2014.
3. **Prior to issuance of a building or grading permit** the owner shall demonstrate on the plans that all roadways, access driveways, and parking areas serving the project either currently meet the requirements and/or how they will be improved to meet the requirements as outlined in the latest edition of the Napa County Road & Street Standards for Residential development.

4. **Prior to issuance of a building or grading permit** the owner shall prepare a Stormwater Control Plan (SCP) in accordance with the latest edition of the BASMAA Post-Construction Manual for review and approval by the Engineering Division in PBES. The Stormwater Control Plan shall include the water balance analysis for the use of the existing wastewater pond to handle the additional stormwater flows.
5. **Prior to issuance of a building or grading permit** the owner shall provide proof of reservation of easement for any portions of the existing roadway or proposed roadway improvements that are not within the existing easement boundaries.

PREREQUISITES DURING PROJECT CONSTRUCTION

6. Required on-site pre-construction meeting with the Napa County PBES Engineering Division prior to start of construction.
7. All excess soil material proposed to be off hauled from the subject development shall be disposed to an approved location with the appropriate entitlements or permits which has been reviewed and approved to accept import material.

PREREQUISITES FOR FINAL CERTIFICATION OF OCCUPANCY

8. All roadway improvements shall be completed **prior to** issuance of final occupancy of new residence.
9. Site shall be completely stabilized to the satisfaction of the County Engineer prior to Final Occupancy.

Any changes in use may necessitate additional conditions for approval.

If you have any questions regarding the above items, please contact Jeannette Doss from Napa County Planning, Building, and Environmental Services Department, Engineering and Conservation Division, at (707) 259-8179 or by email at Jeannette.Doss@countyofnapa.org



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**Napa County Fire Department
Fire Marshal's Office**

951 California Blvd
Napa, CA 94559
www.countyofnapa.org
Main: (707) 299-1464

Jason W. Downs
Fire Marshal

Napa County Fire Department Conditions of Approval

TO:	Planning Department	DATE:	3/6/2025
FROM:	Jason Downs, Fire Marshal	PERMIT #	P24-00054
SUBJECT:	Loma Vista Viewshed	APN:	061-103-024-000

The Napa County Fire Marshal's Office has reviewed the submittal package for the above-proposed project. The Fire Marshal approves the project as submitted with the following conditions of approval:

1. All construction and use of the facility shall comply with all applicable standards, regulations, codes, and ordinances at the time of Building Permit issuance.
2. All buildings, facilities, and developments shall be accessible to fire department apparatus by way of approved access roadways and/or driveways. The fire access road shall comply with the requirements of the Napa County Road & Street Standards
3. Access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced to provide all-weather driving capabilities. Provide an engineered analysis of the proposed roadway noting its ability to support apparatus weighing 75,000 lbs.
4. Provide fire department access roads to within 150 feet of any exterior portion of the buildings as measured by an approved route around the exterior of the building or facility.
5. Driveways shall be a minimum of 10 feet in width with a 4-foot shoulder and 15-foot vertical clearance.
6. Turnouts shall be a minimum of 12 feet in width, 30 feet in length, and 25-foot taper on each end.
7. Turnarounds are required on driveways and dead-end roadways.



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**Napa County Fire Department
Fire Marshal's Office**

951 California Blvd
Napa, CA 94559
www.countyofnapa.org
Main: (707) 299-1464

Jason W. Downs
Fire Marshal

Napa County Fire Department Conditions of Approval

8. Grades for all roadways and driveways shall not exceed 16 percent. The roadway grade may exceed 16 percent, not to exceed 20 percent, provided the provisions outlined in the NCRSS are met.
9. Roadway radius shall not have an inside radius of less than 50 feet. An additional surface width of 4 feet shall be added to curves of 50-100 feet radius and 2 feet to curves of 100-200 feet radius.
10. Gates for driveways and/or roadways shall comply with the California Fire Code, section 503.5 and the Napa County Road & Street Standards, and CA Fire Safe Regulations for projects within SRA.
11. An automatic fire sprinkler system shall be installed by provisions outlined in the California Fire Code as amended by the County of Napa and the applicable National Fire Protection Association Standard. Automatic fire sprinkler systems shall be designed by a fire protection engineer or C-16 licensed contractor.
12. All buildings shall comply with California Fire Code, Chapter 10 Means of Egress requirements. Including but not limited to; exit signs, exit doors, exit hardware, and exit illumination.
13. Provide and maintain a 100-foot defensible space around all structures in accordance with the Napa County Defensible Space Guidelines.
14. Provide and maintain a 10-foot defensible space on both sides of all roadways leading to the facility, in accordance with the Napa County Defensible Space Guidelines.

Please note the conditions of approval noted above are based on the Fire Marshal review only. There may be additional comments or information requested from other County Departments or Divisions reviewing this application submittal package. Napa County Fire Marshal's Office Development Guidelines can be found @ www.countyofnapa.org/firemarshal. Should you have any further questions please contact me at (707) 299-1467 or email me at jason.downs@countyofnapa.org

“C”

CEQA
Exemption Memorandum



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Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

Main: (707) 253-4417
Fax: (707) 253-4336

Brian D. Bordona
Director

To:	Zoning Administrator	From:	Curtis Sawyer, Planner II
Date:	August 27, 2025	Re:	P24-00054 1270 Loma Vista Drive Viewshed Protection Program Categorical Exemption Determination 1270 Loma Vista Dr, Napa, 94558 APN: 039-670-014

Background:

On March 11, 2024, the Applicant submitted a Viewshed application to allow for the reconstruction of a fire damaged single-family home, a 2,500 gallon fire suppression water storage tank, landscaping and associated road improvements. The previous home, approximately 1,455 square-feet in size, was lost in the 2017 Napa County fires. The planned reconstructed single-family home is proposed to be approximately 3,129 square-feet and will be constructed in the same location and utilize the existing building pad as the previous home.

Existing Conditions and Environment Setting:

The proposed project is located on an approximately 6.02-acre parcel. The project is located within the Agricultural, Watershed & Open Space (AWOS) General Plan designation and the Agricultural Watershed (AW) Zoning District. The project is located at 1270 Loma Vista Drive, Napa, CA 94558. APN: 039-670-014.

Entitlement History:

Existing entitlements on the property include the building permits for the original single-family residence and a series of Erosion Control Plan(s) previously approved for established vineyards on the property.

CEQA Exemption Criteria and Analysis:

Article 19 of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA Guidelines) establishes a list of classes of projects that are categorically exempt from the provisions of CEQA. This project qualifies as an exempt activity under two sections of Article 19:

Class 3: New Construction or Conversion of Small Structures [California Code of Regulations (CCR) §15303 Consists of the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

Class 4: Minor Alterations to Land [California Code of Regulations (CCR) §15304

Consists of minor public or private alterations in the condition of land, water, and/or vegetation which do not involve removal of healthy, mature, scenic trees except for forestry and agricultural purposes.

The scope of the project is limited to the replacement and reconstruction of a fire-damaged residential structure, water storage tank, and associated roadway improvements. The previous home, approximately 1,455 square-feet in size, was lost in the 2017 LUN Complex fires. The planned reconstructed single-family home is proposed to be approximately 3,129 square-feet. The reconstructed residence will be constructed in the same location and utilize the existing building pad. Although the home will be accessed using the existing driveway, the project does propose a series of driveway improvements which include road winding and the installation of turnouts as required per the Napa County Road and Streets Standards. As a residential structure, the property will be of substantially the same purpose and capacity as the structure replaced and will be within the previously established development footprint. The proposed landscaping is designed to shield at least 51 percent of the structure from Silverado Trail and State Highway 29, both county viewshed roads. This application does not propose the removal of healthy, mature, scenic trees, and as a condition of approval the applicant will be required to submit landscaping and irrigation plans for review and approval by the Planning Division prior to the issuance of any building permits associated with this permit.

Conclusion:

The project is categorically exempt from CEQA under Section 15303 and Section 15304.

COUNTY OF NAPA
PLANNING, BUILDING, AND ENVIRONMENTAL SERVICES

VIEWSHED PROTECTION PROGRAM

APPLICATION PACKET

1. Applicant's Checklist
2. Viewshed Protection Program Application
3. Indemnification Agreement
4. Application Completeness Requirements and Checklist
5. Adjoining Property Owner's List Requirements
6. Excerpts from Viewshed Protection Program Ordinance
7. Viewshed Protection Design Manual
8. Slope Determination Methodology

NOTE:

PLEASE INCLUDE THREE COPIES OF
ALL REQUIRED APPLICATION MATERIALS SUBMITTED.

VIEWSHED PROTECTION PROGRAM

APPLICANT'S CHECKLIST

1. ☒ Completed and Signed Application and Indemnification Form*

*A signed Indemnification Form will only be required if a public hearing is conducted (i.e. if this is an item before the Zoning Administrator or Commission).

2. ☒ Vicinity Map
3. ☒ Proposed Site Plan
4. ☒ Topographic Map/Preliminary Grading Plan
5. ☒ Building/Structural Elevations
6. ☒ Landscaping and/or Vegetation Retention Plan
7. ☒ Exterior Lighting Plan
8. ☒ Visual Impact Analysis
9. ☒ Title Insurance Company Certified List of Adjoining Property Owners within 1000 feet
9. ☒ Application Fee of \$_____ (to be determined at time of Pre Application meeting) (Napa County Policy Manual, Part 3 § 80.050). Checks made payable to the County of Napa.

Note:

- 1) Items numbered 2-4 above may be combined and submitted on the same drawing.
- 2) A detailed list of all the required submittal items is provided herein under "Application Completeness Requirements and Checklist".
- 3) Many of the items required for review under the Viewshed Ordinance are the same items that would be normally be required for an Erosion Control Plan (ECP) Review. If you are concurrently applying for an ECP Review, provide us with a copy of the appropriate items. Please, do not duplicate your efforts.



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FILE # _____

NAPA COUNTY
PLANNING, BUILDING, AND ENVIRONMENTAL SERVICES
1195 THIRD STREET, SUITE 210, NAPA, CALIFORNIA, 94559 • (707) 253-4417

APPLICATION FOR VIEWSHED PROTECTION PROGRAM

FOR OFFICE USE ONLY

ZONING DISTRICT: _____
TYPE OF APPLICATION: _____
REQUEST: _____

DATE SUBMITTED: _____
DATE PUBLISHED: _____

Project Type: Structure _____ Driveway _____ Road _____ Reservoir _____ Mass Grading _____ Other _____

Other Permits Applied/Pending/Required:

ECP _____ Grading Permit _____ Use Permit _____ Variance _____

SDSDS _____ Groundwater Permit: _____

_____ # _____ # _____ # _____ # _____ # _____

Review Agencies: PBES: ☒ County Consultant: _____ Name/Contact: _____

Final Approval: PBES ☒ Date: ____/____/____ Conditions: Yes _____ No _____

TO BE COMPLETED BY APPLICANT
(Please type or print legibly)

Applicant's Name: Chad McComber and Lucia Hossfeld

Telephone #: (415) 672 - 8000 Fax #: () - E-Mail: chadmccomber5@gmail.com

Mailing Address: 1270 Loma Vista Dr Napa CA 94558
Ave No. Street City State Zip

Status of Applicant's Interest in Property: Owners

Property 1270 Loma Vista Dr Owner's Name: _____
Hossfeld Susan W Tr E Al

Telephone #: () - Fax #: () - E-Mail: Type text here

Mailing Address: 1250 Loma Vista Dr
No. Street City State Zip

Site Address/Location: 1270 Loma Vista Dr Napa CA 94558
No. Street City State Zip

Assessor's Parcel #: 039 - 670 - 014 Parcel Size: 6.02 acres Development Area Size: .5 acres

Slope Range of Development Area: 1 % to 5 %

(NOTE: Contour map/survey is required for all development areas with an estimated slope of 15% or greater and for all road/driveway projects, Contour map must include all areas within 100' of the cut and fill edges. Percent slope shall be calculated and presented as whole numbers. (Please see attached Slope Determination Methodology)

I hereby certify that all the information contained in this application, including but not limited to, this application form, the supplemental information sheets, site plan, plot plan, cross sections/elevations, is complete and accurate to the best of my knowledge. I hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for evaluation of this application and preparation of reports related thereto, including the right of access to the property involved.

Chad McComber 1 / 24 / 2024

Signature of Applicant

Date

Chad McComber

Print Name

Lucia Hossfeld 1 / 24 / 2024

Signature of Property Owner

Date

Lucia Hossfeld

Print Name

TO BE COMPLETED BY PLANNING, BUILDING, AND ENVIRONMENTAL SERVICES

Application Fee: \$ _____ Receipt. No. _____ Received by: _____ Date: _____

INDEMNIFICATION AGREEMENT

Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.

Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.

In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

Chad McComber

Applicant

Lucia Hossfeld

Property Owner (if other than Applicant)

1.24.2024

Date

1270 Loma Vista

Project Identification

VIEWSHED PROTECTION PROGRAM

APPLICATION COMPLETENESS REQUIREMENTS AND CHECKLIST

1. ☒ Completed and Signed Application and Indemnification Form.
2. ☒ Vicinity Map.
 - A. A 7" by 5 1/2" portion of a 7.5-minute (1"=2000') United States Geological Survey (USGS) topography map.
 - B. Map shall show improvements in their relationship to abutting properties/structures and major and minor ridgelines.
3. ☒ Proposed Site Plan. A proposed site plan shall be prepared to locate only the proposed site improvements and areas to be disturbed (i.e. building site, graded area). Scale of the plan shall be appropriate to the area disturbed either through grading, construction or clearing of vegetation. The area surrounding the building pad/site shall be scaled at 1" = 20' or finer and roads or driveways at 1"=100' or finer. A scaled Site Plan shall include:
 - A. Location of all existing structure(s) to be removed or remain on site; note on plan whether to remain or to be removed.
 - B. Location of all existing vegetation six inches in diameter or greater, measured in diameter at breast height (DBH), including variety, height and canopy width.
 - C. Location of all proposed impervious surfaces (i.e. driveways, motor courts, patios).
 - D. Location of all wastewater disposal systems on site.
 - E. Proposed setbacks from property lines(s) and other structures.
 - F. Location of all spoils/stock pile area for all excavated and/or imported soils.
 - G. Total floor area shown, including all floors, of all structures, regardless of use.
4. ☒ Topographic Map/Preliminary Grading Plan. Map shall note the following:
 - A. Existing and proposed contours of the building site before and after all construction is completed, drawn at 2' or 5' intervals at a scale of 1"=20' or better; driveways or access roads must show 5' intervals at a scale of 1"=100' or better.
 - B. Map shall include the following section(s) at minimum:
 - i. Disturbed areas, including proposed/existing roads;
 - ii. Building(s) height(s), measured according to the most recently County adopted California Building Code;
 - iii. Roadways/Driveways, shown at intervals as required in County Slope Determination Methodology, Conservation Regulations Exhibit A (Resolution 91-61), shorter intervals may be required in areas of changing topography;
 - iv. Retaining walls or man-made embankments and berms, illustrating location and height (scale of 1/4" = 1').
 - C. Preliminary drainage plans for the site, showing the pattern and direction of flow, as well as any on site natural or man-made drainage/waterways.
 - D. Highest point of the proposed structure(s) measured vertically to top of nearest ridgeline.
5. ☒ Building/Structure Elevations.
 - A. Elevations shall scaled and include type of building material, color treatment and sample color-chip, roofing material and color.
 - B. Include information on window reflectivity and extent of window coverage.
 - C. "Building Height(s)," as defined in the most recent County adopted edition of the California Building Code, must also be shown on the elevations (See item #3 C. Determining Building Height in the Viewshed Protection Manual for measurement details).

6. ☒ Landscaping and/or Vegetation Retention Plan. Newly planted vegetation for the purpose of visual screening, must be of sufficient size to adequately screen the proposed structure(s) in two (2) to five (5) years. A complete plan shall include the following:
- A. Identify and locate all the existing vegetation to remain as visual screening for the proposed structure(s), indicate variety, height and canopy width.
 - B. Identify initial planting sizes and varieties of all materials to be installed.
 - C. Illustrate the size and canopy width of planted materials, as they would appear 10 years after installation.
 - D. Distinguish the natural and/or installed landscaping to be included in the visual impact analysis.
 - E. Installed landscaping must be compatible with existing vegetation and landscape.
 - F. Establish a comprehensive landscape maintenance program, including a protection and pruning program for existing and planted trees.
7. ☒ Exterior Lighting Plan. Identifying the location, type of fixture, focus/purpose, as well as the use of any timers or motion sensor devices
8. ☒ Visual Impact Analysis. One or more of the following may be required to determine the visual impact of the structure(s) and its associated improvements and their conformance with the Viewshed Protection Program.
- A. Story poles (the temporary placement of a mock wooden skeleton in the general shape of the building, then draping plastic orange snow fencing around the roofline to portray the visual prominence and bulk of the proposed structure).
 - B. Computer simulation.
 - C. Photomontage.
 - D. Picture or visual as viewed from designated public road at point(s) where the structure(s) is/are visible.
 - E. Appropriately scaled model.
 - F. Additional views or materials as required by staff from other vantage points.
9. ☒ Title Insurance Company Certified List of Adjoining Property Owners within 1000 feet. Identifying all property owners within 1000' of the subject parcel, specifying name, address and parcel number; included on two sets of mailing labels with accompanying Assessor's Pages used to compile the above property owner list. Please see "ADJOINING PROPERTY OWNER LIST REQUIREMENTS" for details on preparing the requested list.
10. ☒ Application Fee of \$_____ (to be determined at Pre-App meeting) plus an Initial Environmental Review Fee (if applicable) of \$_____ (to be determined at Pre-App meeting) (Napa County Policy Manual, Part 3 § 80.050). Checks made payable to the County of Napa.

JAMES JEFFERY ARCHITECTS AIA, INC

2107 JEFFERSON STREET
NAPA, CALIFORNIA 94559
PH. 707-226-7041

October 7, 2024

Curtis Sawyer,
Planner II
Planning, Building, and Environments Services
County of Napa
1195 First Street
Napa, CA 94558

Re: **Viewshed Submittal - P24-00054**
1270 Loma Vista Drive

Dear Curtis,

The following is a description of the residence proposed at the above referenced address.

The owners, Chad McComber and Lucia Hossfeld, lost their 2-bedroom, 2 bath home in the 2017 wildfires. The previous home was 1,455 SF, too small for their growing family.

The new home site is proposed in the same location as the previous home, utilizing the existing building pad and access roads to a proposed 3,129 SF 3-bedroom home with 2-car garage that will fit the need of their family now and into the future. The existing access road will require minor improvements to create turnouts and to meet current Road & Street Standards.

The building is a contemporary style with low sloped roofs with a maximum ridge height of less than 20'. The proposed exterior materials shall be a dark palette from County approved colors, which will blend with the surrounding environment.

The final planting adjacent to the home shall be deer resistant, drought tolerant trees and vegetation that will shield the home from the Viewshed corridor over 51% within 5-year period. Water storage tank shall be a dark color, approximately 6' high, screened from neighbors with planting.

Please contact us with any questions regarding the design of this project.

Thank you,

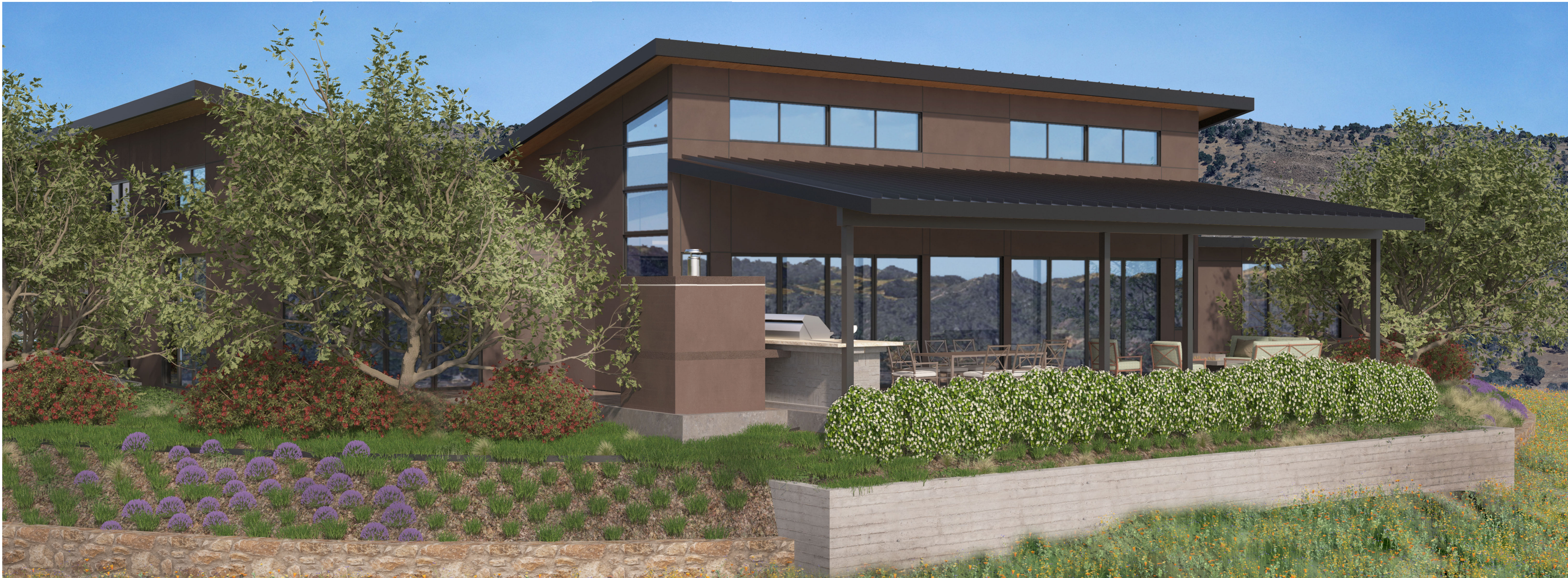
James Jeffery

“E”

Viewshed Plans

HOSSFELD MCCOMBER RESIDENCE

1270 LOMA VISTA DRIVE, NAPA, CA 94558



BUILDING DATA

CODE SYNOPSIS
TYPE: PRIVATE RESIDENCE
NAPA, CALIFORNIA
USE: SINGLE FAMILY DWELLING
OCCUPANCY: R-3; U-1
CONSTRUCTION TYPE: V-B
ZONING: AW/AP

BUILDING AREA	
PROPOSED MAIN HOUSE	3,129 SF
PROPOSED GARAGE (UNCONDITIONED)	532 SF
COVERED PATIO (UNCONDITIONED)	628 SF
TOTAL LOT AREA:	217,800 SF
BUILDING COVERAGE:	4,648 SF
LOT COVERAGE:	0.21%

CONTACT INFORMATION

OWNER
CHAD MCCOMBER AND LUCIA HOSSFELD PH: (707) 492-5465
1270 LOMA VISTA DRIVE
NAPA, CA 94558
CONTACT: CHAD MCCOMBER

ARCHITECT
J2A AIA, INC. PH: (707) 226-7041
2107 JEFFERSON ST. EMAIL: JAMES@J2ARCH.COM
NAPA, CA 94559
CONTACT: JAMES JEFFERY

CIVIL ENGINEER
CMP ENGINEERING PHONE (707) 266-2559
1607 CAPELL VALLEY ROAD EMAIL: CAMERON@CMPENGINEERING.COM
NAPA, CA 94558
CONTACT: CAMERON PRIDMORE

VICINITY MAP



A0.0 VICINITY MAP/ DRAWING INDEX/BUILDING DATA/CONTACT INFORMATION

C1 TITLE SHEET
C2 GRADING AND DRAINAGE PLAN
C3 GRADING CROSS-SECTION
C4 STORMWATER & EROSION CONTROL
C5 NOTES & DETAILS
C6 CAL FIRE SITE PLAN

L1 VIEWSHED SCREENING

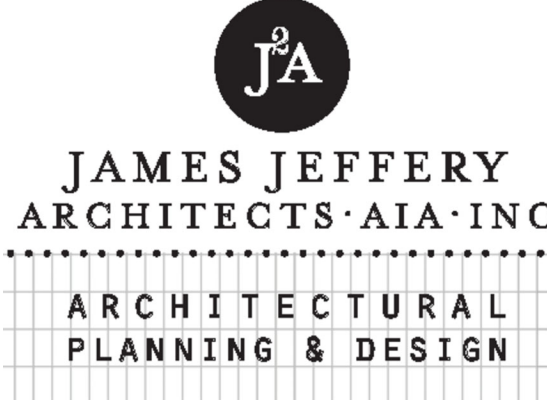
A1.0 OVERALL SITE PLAN
A1.1 SITE PLAN
A2.1 FIRST FLOOR PLAN
A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 BUILDING SECTIONS

R1 PHOTO REALISTIC RENDERING
R2 RENDERED VIEW FROM SILVERADO TRAIL

WF.1 SCREENED WALL FACE CALCULATIONS
WF.2 SCREENED WALL FACE CALCULATIONS

CP COLOR PALETTE

E2.0 EXTERIOR LIGHTING PLAN - FIRST FLOOR



2107 JEFFERSON STREET
NAPA, CALIFORNIA 94559
P (707) 226-7041



THIS DOCUMENT AND THE IDEAS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF ARCHITECT JAMES JEFFERY, AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF ARCHITECT JAMES JEFFERY.

CONSULTANTS

CIVIL ENGINEER
CMP CIVIL ENGINEERING & LAND SURVEYING
1607 CAPELL VALLEY RD
NAPA, CA 94559 P: (707) 262-3301

ISSUE DATE

PLANNING DEPARTMENT 2-29-2024

1 RESPONSE TO COMMENTS 7-5-2024

2 RESPONSE TO COMMENTS 10-7-2024

PROJECT

HOSSFELD
MCCOMBER
RESIDENCE

1270 LOMA VISTA DRIVE
NAPA, CA 94558

SHEET CONTENTS

VICINITY MAP/DRAWING
INDEX/BUILDING DATA

DRAWN BY MIN_MS

CHECKED BY JBJ

JOB NO. 23-005

SHEET NO.

A0.0

APN 039 670 014

GRADING NOTES:

1. SITE SHALL BE VISUALLY INSPECTED BY THE CONTRACTOR TO DETERMINE THE EXTENT OF CLEARING, GRUBBING AND GRADING WORK TO BE DONE PRIOR TO BEGINNING CONSTRUCTION.
2. THE ELEVATIONS GIVEN ON THIS PLAN ARE APPROXIMATE ONLY, AND ARE FOR THE ROUGH LAYOUT OF GRADING AND DRAINAGE IMPROVEMENTS. SOIL REQUIREMENTS PERTAINING TO COMPACTION, CONSOLIDATION, CONSTRUCTION, AND STABILITY ARE PER SOILS ENGINEERS RECOMMENDATIONS. DISCREPANCIES BETWEEN THE SOILS ENGINEERS RECOMMENDATIONS AND THESE PLANS SHOULD BE BROUGHT TO THE ATTENTIONS OF THE PROJECT ENGINEER FOR CLARIFICATION IMMEDIATELY. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL TOPS AND TOES OF SLOPES AND RETAINING WALLS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. IT MAY BE NECESSARY TO INSTALL RETAINING WALLS TO CATCH EXISTING SLOPES AND AVOID EXCESS GRADING DURING THE COURSE OF CONSTRUCTION. RETAINING WALLS ARE TO BE DESIGNED BY OTHERS AND APPROVED BY THE NAPA COUNTY BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
3. THIS DRAWING DOES NOT REPRESENT A PROPERTY SURVEY. PROPERTY LINES HAVE BEEN PLOTTED FOR INFORMATIONAL PURPOSES ONLY AND ARE APPROXIMATE.
4. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF THERE IS A CONFLICT, NOTIFY THE ENGINEER AND OBTAIN A CLARIFICATION. NO DEVIATIONS OR SUBSTITUTIONS SHALL BE ALLOWED WITHOUT OBTAINING WRITTEN APPROVAL FROM THE ENGINEER.
5. SHOULD ANY CONTRACTOR OR SUBCONTRACTOR FIND ANY DEFICIENCIES, ERRORS, CONFLICTS OR OMISSIONS IN THESE PLANS AND SPECIFICATIONS OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING OR INTENT, HE SHALL NOTIFY THE ENGINEER FOR A WRITTEN CLARIFICATION. ADDENDUM, ETC. SHOULD HE FAIL TO DO SO BEFORE SUBMITTING A PROPOSAL, HE CANNOT CLAIM ADDITIONAL COMPENSATION FROM OWNER FOR WORK REQUIRED TO COMPLETE THE WORK.
6. CONTRACTOR WILL LEAVE THE CONSTRUCTION AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY.
7. ALL WORK WILL BE CONDUCTED IN CONFORMANCE WITH CAL-OSHA REQUIREMENTS.
8. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT 800-642-2444 PRIOR TO START OF ANY CONSTRUCTION.
9. ALL MATERIAL WILL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT AND DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE COUNTY INSPECTOR, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
11. THE EARTH WORK DESIGNATED ON THESE PLANS IS FOR THE CONSTRUCTION OF A BURN REPLACEMENT MAIN RESIDENCE . ALL EXCAVATED SOILS ARE TO BE PROTECTED FROM EROSION AS SHOWN ON PLANS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PLACEMENT OF ALL SPOILS IN A MANNER CONFORMING TO OWNER, ENGINEER, LOCAL, STATE & FEDERAL REQUIREMENTS.
12. ALL EROSION CONTROL MEASURES WILL BE PROVIDED BY OTHERS.

DESIGN EROSION CONTROL NOTES:

1. GRADING ON THE SITE WILL BE LIMITED TO THE EXCAVATION SHOWN ON THE PLAN.
2. SILT FENCE OR STRAW BALE SEDIMENT BARRIERS WILL BE INSTALLED PRIOR TO ANY GRADING ON THE SITE AND WILL BE OPERABLE DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 1ST, UNTIL VEGETATION IS FULLY RESTORED.
3. ALL MOVEMENT OF EARTH SHALL COMPLY WITH NAPA COUNTY SPECIFICATIONS, AND THE EROSION CONTROL PLAN SHALL BE STRICTLY ADHERED TO.
4. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN TO MEET FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF THE COUNTY INSPECTOR AND THE CIVIL ENGINEER.
5. BETWEEN OCTOBER 15TH AND APRIL 1ST, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.
6. THE CONTRACTOR WILL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.
7. THE SOIL TYPES ARE FORWARD-KIDD & HAMBRIGHT ROCK COMPLEX.
8. CONTOUR INTERVAL: MAJOR - 5 FT., MINOR - 1 FT (SEE HORZ. & VERT. DATUM NOTE THIS SHEET)
9. ALL SITE INSPECTIONS SHALL BE MADE WITH 48 HOURS NOTICE. THE CONTACT PERSON FOR SITE INSPECTIONS SHALL BE CAMERON PRIDMORE AT (707) 266-2559.
10. THE "YOUNTVILLE" QUADRANGLE, LOCATED IN TOWNSHIP 6 NORTH, RANGE 4 WEST, WAS USED FOR THIS PROJECT.
11. THE NEAREST BLUE LINE STREAM IS LOCATED APPROXIMATELY 1200' NORTH EASTERLY FROM THE PROJECT SITE AND IS SODA CREEK.

STANDARD EROSION CONTROL NOTES:

1. THE PROPERTY OWNER OR HIS/HER DESIGNEE MUST UNDERSTAND ALL PARTS OF THESE CONDITIONS AND MUST MAINTAIN THE CONSTRUCTION SITE IN COMPLIANCE DURING ALL PHASES OF CONSTRUCTION.
2. PREVENTATIVE STORMWATER POLLUTION/EROSION CONTROL MEASURES MUST BE IN PLACE AND EFFECTIVE PRIOR TO PREDICTED RAINFALL STORMWATER CONVEYANCE WAYS FROM ANY ILLICIT DISCHARGE RESULTING FROM ACTIVITIES RELATED TO THE ABOVE NAMED PERMIT. GRADING ON SLOPES GREATER THAN 5% BETWEEN OCTOBER 15 AND APRIL 1 REQUIRES AN EXTENSION.
3. IMPLEMENT EFFECTIVE EROSION CONTROL MEASURES, AS APPROPRIATE, TO PROTECT EXPOSED SOILS FROM BEING DETACHED BY RAINFALL, FLOWING WATER, OR WIND. EROSION CONTROL MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO: STRAW MULCH, FIBER MAT BLANKETS, BONDED FIBER MATRIX, SOIL COMPACTION, AND TEMPORARY AND PERMANENT VEGETATION.
4. IMPLEMENT SEDIMENT CONTROL MEASURES, AS APPROPRIATE, TO TRAP SOIL PARTICLES AFTER THEY HAVE BEEN DETACHED AND MOVED BY RAIN, FLOWING WATER, OR WIND. EXAMPLES OF SEDIMENT CONTROL MEASURES THAT MAY BE USED INCLUDE, BUT ARE NOT LIMITED TO: FIBER ROLLS, SILT FENCE, CHECK DAMS, AND STORM DRAIN INLET PROTECTION.
5. MAINTAIN A DESIGNATED WASHOUT AREA TO REMOVE SEDIMENT AND CHEMICAL POLLUTANTS THAT MAY BE PRODUCED FROM CLEANING TOOLS AND MACHINERY. A WASHOUT AREA IS A TEMPORARY WASH BASIN SUFFICIENT IN SIZE TO ALLOW WASH WATER TO POND AND ALLOW THE SEDIMENTATION AND DISPOSAL OF PARTICLES THAT HAVE BEEN RINSED OFF OF PROJECT EQUIPMENT. POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: PAINT, CEMENT, STUCCO, ETC.
6. PROPERLY MAINTAIN ALL LITTER, DUMPS, OR STOCKPILES IN SUCH A MANNER THAT THEY WILL NOT RESULT IN A CONTAMINATED DISCHARGE. ALL ENTRANCES/EXITS OF A PROJECT SITE SHALL BE PROTECTED BY A SURFACE THAT WILL ENSURE ANY VEHICLES LEAVING THE CONSTRUCTION SITE WILL NOT TRACK SEDIMENT ONTO ANY PUBLICLY MAINTAINED ROADWAYS.
7. THE PROPERTY OWNER SHALL INFORM ALL INDIVIDUALS, WHO WILL TAKE PART IN THE CONSTRUCTION PROCESS, OF THESE REQUIREMENTS.
9. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) OR STORMWATER QUALITY MANAGEMENT PLAN (SQMP) HAS BEEN OR WILL BE PREPARED FOR THIS PROJECT AND SHALL BE KEPT ON SITE DURING CONSTRUCTION WITH THE ONSITE SUPERVISOR. ALL STORMWATER EVENTS SHALL BE TRACKED USING THE STORMWATER INSPECTION FORM INCLUDED IN THE SQMP. ALL LABOR SHALL BE PROPERLY TRAINED IN ALL STORMWATER MANAGEMENT TOPICS APPLICABLE TO THEIR TRADE, AND THE ONSITE SUPERVISOR SHALL UPDATE THE STORMWATER EMPLOYEE/CONTRACTOR TRAINING FORM ON A DAILY BASIS. PLEASE CONTACT NAPA COUNTY PUBLIC WORKS DEPARTMENT FOR IMPLEMENTATION ASSISTANCE.
10. PLEASE NOTIFY NAPA COUNTY'S STORMWATER TECHNICIAN AT (707-253-4351) 48 HOURS PRIOR TO BEGINNING ANY EARTHMOVING ACTIVITIES RELATED TO THE ABOVE NAMED PERMIT.

SEEDING SPECIFICATIONS & SCHEDULES:

1. ALL GRADED OR DISTURBED AREAS SHALL BE SEEDED AS FOLLOWS:

INTERIM MEASURES: SPREAD STRAW MULCH OVER ALL EXPOSED EARTH SURFACES WHEN CHANCE OF RAIN IS OVER 50%, AS DETERMINED BY NOAA, PER APPLICATION SCHEDULE.

WINTERIZING MEASURES: PLACE EROSION CONTROL MEASURES AS SHOWN ON THE SQMP OR SWPPP PRIOR TO RAINS AND NO LATER THAN OCT. 15. COVER NEWLY SEEDED AREAS WITH STRAW MULCH. CALL FOR INSPECTION TO CONFIRM WINTERIZING OF SITE. INSTALL VELOCITY CHECK DAMS AND WATER BARS PRIOR TO OCT. 7th. FINISH WORK AT COMPLETION OF PROJECT.

2. THE SEED, FERTILIZER AND MULCH MIXTURE WILL BE APPLIED HYDRAULICALLY OR BY HAND AT THE RATES SPECIFIED BELOW:

MATERIAL:	POUNDS PER ACRE:
NAPA VALLEY AG SUPPLY	
NAPA EROSION MIX (OR EQUAL)	75
FERTILIZER (16-20-0)	250
STRAW MULCH	3000-4000

SEED SHALL NOT REMAIN IN THE SLURRY LONGER THAN 30 MINUTES. FERTILIZERS SHALL NOT REMAIN IN THE SLURRY LONGER THAN 2 HRS. AREAS TO BE HYDROSEEDED SHALL BE SCARIFIED TO A DEPTH OF 4" TO 8" AND DRESSED TO PROVIDE A REASONABLY SMOOTH FIRM SURFACE. THE SLURRY SHALL BE APPLIED IN A UNIFORM MANNER AT A RATE THAT IS NON-EROSIVE AND MINIMIZES RUNOFF.

IT MAY BE NECESSARY TO AMEND EARTH SPOILS WITH MULCH & NUTRIENTS TO ENHANCE PLANT GROWTH FOR EROSION PROTECTION. CONTRACTOR TO CONFIRM SUITABILITY OF EARTH SPOILS FOR COVER CROP (GRASS) PRIOR TO FINAL PLACEMENT OF MATERIALS.

UNAUTHORIZED CHANGES & USES:

THE ENGINEER/SURVEYOR PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND APPROVED BY THE DESIGNER OF THESE PLANS.

PROPERTY LINES:

THE PROPERTY LINES SHOWN HEREON ARE BASED ON PRELIMINARY SURVEY DATA, AND ARE FOR REFERENCE ONLY. THIS IS NOT A BOUNDARY SURVEY MAP AND SHOULD NOT BE USED AS SUCH.

SURVEY STATEMENT:

THIS MAP IS BASED ON FIELD SURVEY INFORMATION PERFORMED BY CMP CIVIL ENGINEERING & LAND SURVEYING IN JULY OF 2018 AND FEBRUARY OF 2023. THIS MAPS VERTICAL AND HORIZONTAL DATUM IS ASSUMED. EXISTING FIELD SURVEY CONTOURS ARE SHOWN AS FOLLOWS: MAJOR =5', MINOR =1'.

OWNER
LUCIA HOSSFELD
1270 LOMA VISTA DRIVE
NAPA, CA 94558

CIVIL ENGINEER
CMP CIVIL ENGINEERING & LAND SURVEYING
CAMERON PRIDMORE PE, PLS
1607 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 266-2559
CAMERON@CMPENGINEERING.COM

PROJECT GRADING SUMMARY

(T) AREA DISTURBED	= 0.33 ACR
(T) EXCAVATION	= 200.3 CY
(T) EMBANKMENT	= 200.3 CY
(T) NET	= 0.0 CY

THESE QUANTITIES SHALL NOT BE USED FOR BIDDING PURPOSES. THEY DO NOT INCLUDE ANY STRIPPING, OVER EXCAVATION, UNSUITABLE MATERIAL REMOVAL, VOLUME CHANGES DO TO COMPACTION OR ANY OTHER VARIANCES THAT MAY BE ENCOUNTERED. THE EARTHWORKS CONTRACTOR SHALL MAKE AN INDEPENDENT TAKEOFF CALCULATION.

OVERALL SITE PLAN

FOR THE

HOSSFELD RESIDENCE

LOCATED AT
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

(E) APPROXIMATE PROPERTY LINE

(P) SEPTIC TANK(S)
SEE SEPARATE WW PLAN
FOR DETAILS

(P) RESIDENCE

(P) LEACH FIELD & RESERVE AREA
SEE SEPARATE WW PLAN
FOR DETAILS

(P) GRAVEL
AUTOCOURT

APPROXIMATE ABANDONED LEACH
FIELD LOCATION PER NCR.
SEPTIC TANK REMOVED
AFTER 2017 WILDFIRE.

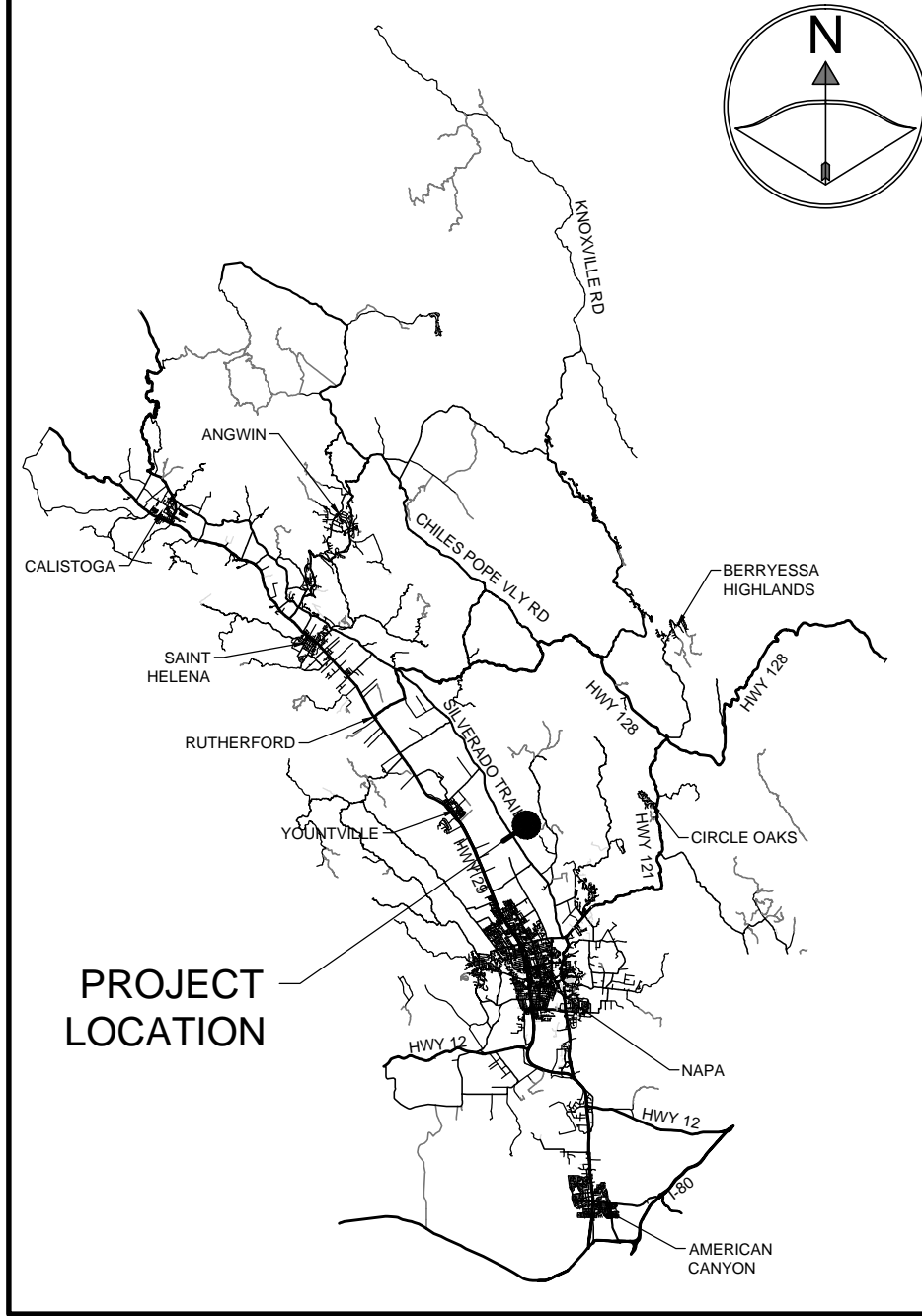
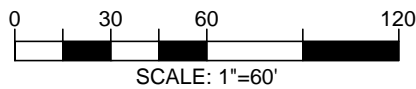
(P) 2,500 GAL
WATER TANK

(E) DRIVEWAY

(E) APPROXIMATE WATER LINE SERVING
PROPERTY. WATER IS SUPPLIED BY AN
OFF-SITE WELL LOCATED ON APN: 039-670-013

OVERALL SITE PLAN

SCALE 1" = 60'



SHEET INDEX

SHT. #	DESCRIPTION
C1	SITE PLAN
C2	GRADING & DRAINAGE PLAN
C3	CROSS SECTIONS
C4	EROSION SEDIMENT & STORMWATER CONTROL PLAN
C5	NOTES & DETAILS
C6	CAL FIRE SITE PLAN

ABBREVIATIONS

AB	AGGREGATE BASE	ESMT	EASEMENT	R	RADIUS
AC	ASPHALT/CONCRETE	ETW	EDGE-OF-TRAVELED WAY	ROP	REINFORCED CONCRETE PIPE
ACR	ACRES	EVC	END VERTICAL CURVE	RD	RELATIVE DENSITY
AD	AREA DRAIN	FC	FACE OF CURB	REQ	REQUIRED / REQUIREMENT(S)
AP	ANGLE POINT	FF	FINISHED FLOOR	RMI	RMI ELEVATION
APR	APPROVED	FG	FINISHED GRADE	RT	RIGHT
ARV	AIR RELIEF VALVE	FH	FIRE HYDRANT	ROW	RIGHT OF WAY
BC	BEGIN CURVE	FI	FIELD INLET	S	SLOPE
BOR	BEGIN CURB RETURN	FL	FLOW LINE	SD	STORM DRAIN
BM	BENCHMARK	GB	GRADE BREAK	SDE	STORM DRAIN EASEMENT
BO	BLOW-OFF VALVE	GR	GRATE ELEVATION	SDMH	STORM DRAIN MANHOLE
BP	BEGINNING POINT	HP	HIGH POINT	SDU	SECOND DWELLING UNIT
BVC	BEGIN VERTICAL CURVE	INV	INVERT ELEVATION	SE	SIDEWALK EASEMENT
BW	BOTTOM OF WALL	IRR	IRRIGATION	SF	SQUARE FEET
BOW	BACK OF WALK	JP	UTILITY JUNCTION POLE	SPEC	SPECIFICATIONS
CL	CENTER LINE	JOP	JOINT TRENCH	SS	SANITARY SEWER
CLR	CLEAR	LAT	LATERAL	SSE	SANITARY SEWER EASEMENT
CB	CATCH BASIN	LF	LINEAL FEET	SSLAT	SANITARY SEWER LATERAL
CMP	CORRUGATED METAL PIPE	LOP	LP OF GUTTER	SSMH	SANITARY SEWER MANHOLE
CO	CLEAN OUT	LP	LOW POINT	STA	STATION
CONC	CONCRETE	LT	LEFT	STD	STANDARD
CP	CONTROL POINT	MAX	MAXIMUM	STLT	STREET LIGHT
CR	CURB RETURN	MH	MANHOLE	T	TANGENT
DI	DRAIN INLET	MIN	MINIMUM	(T)	TOTAL
DIP	DUCTILE IRON PIPE	NCR	NAPA COUNTY RECORDS	TB	TREE BOX
DWY	DRIVEWAY	ORN	ORNAMENTAL TREE	TC	TOP OF CURB
(E)	EXISTING	OHW	OVERHEAD UTILITY WIRE	TEMP	TEMPORARY
EA	EACH	(P)	PROPOSED	TG	TOP OF GRATE
EC	END CURVE	PI	POINT OF INTERSECTION	TOC	TOP OF CONCRETE
EOR	END CURB RETURN	PL	PROPERTY LINE	TW	TOP OF WALL
EGR	EDGE OF GRAVEL	PSDE	PRIVATE STORM DRAIN ESMT	TYP	TYPICAL
EL	ELEVATION	PUE	PUBLIC UTILITY EASEMENT	UE	UNDER GROUND ELECTRICAL
ENGR	ENGINEER	PVC	POLYVINYL CHLORIDE	VC	VERTICAL CURVE
EP	EDGE OF PAVEMENT	PVI	VERTICAL CURVE INTERSECTION	W	WATER
EO	EQUAL	PAV	PAVEMENT	WLAT	WATER SERVICE LATERAL
				WM	WATER METER

LINE LEGEND

EXISTING	PROPOSED	PROPERTY LINE
---	---	CENTERLINE
---	---	SANITARY SEWER PIPE
---	---	STORM DRAIN PIPE
---	---	WATER PIPE
---	---	BURIED ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	GAS LINE
---	---	CONTOURS
---	---	LIMITS OF GRADING
---	---	TREE DRIP LINE
---	---	FENCE LINE

SYMBOL LEGEND

- EXISTING TREE
- TREE TO BE REMOVED
- TREE TO BE SAVED WITH TREE WELL



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CMP CIVIL ENGINEERING &
LAND SURVEYING INC.
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NAPA, CA 94558
(707) 266-2559
CAMERON@CMPENGINEERING.COM
PROJECT #: 0047 DATE: 2/13/24

REV. #	DATE	DESCRIPTION
1	6/20/24	COUNTY COMMENTS DATED 4/22/2024
2	10/3/24	COUNTY COMMENTS DATED 9/10/2024
3		
4		
5		
6		

HOSSFELD RESIDENCE
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

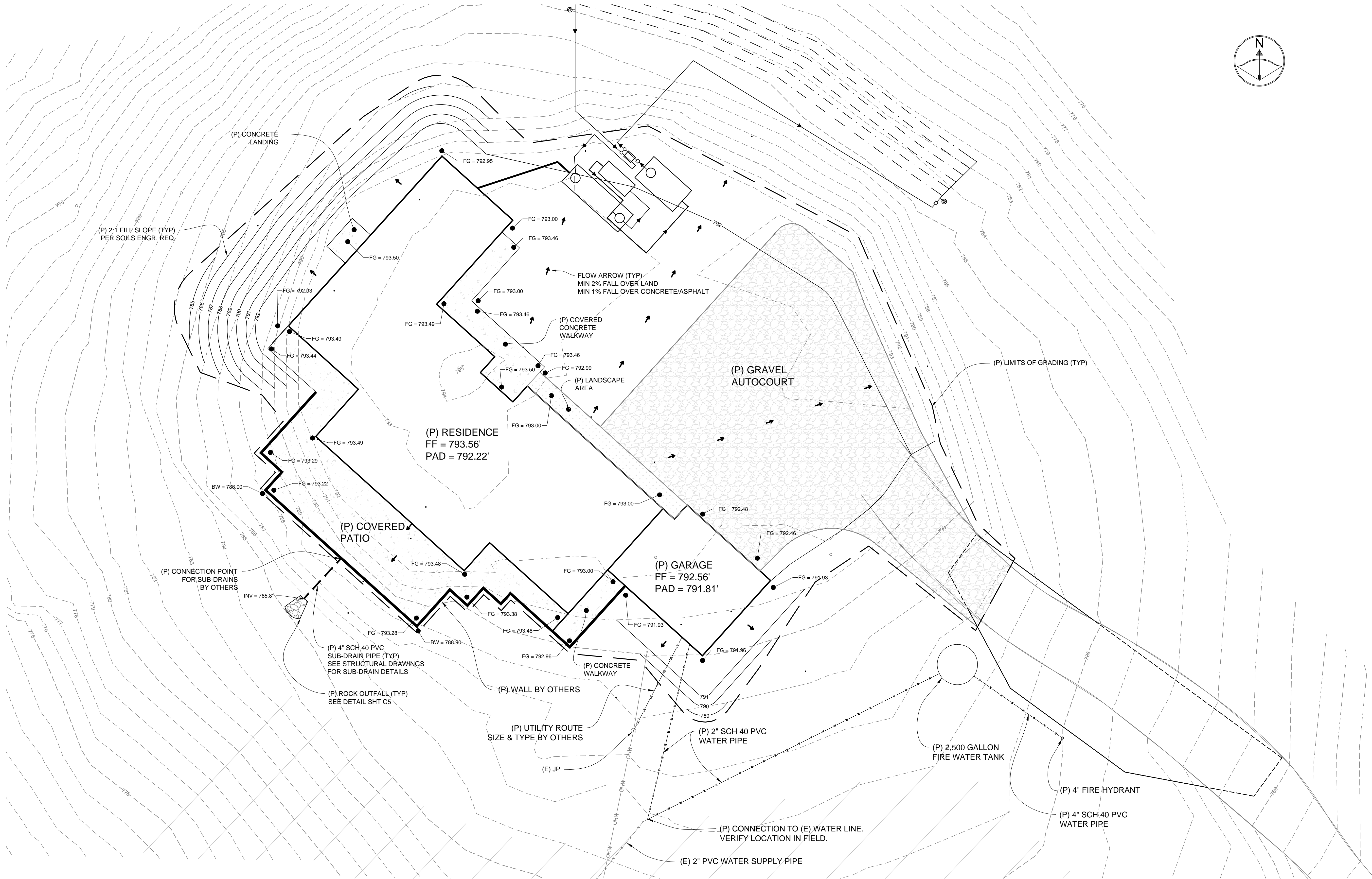
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SITE PLAN

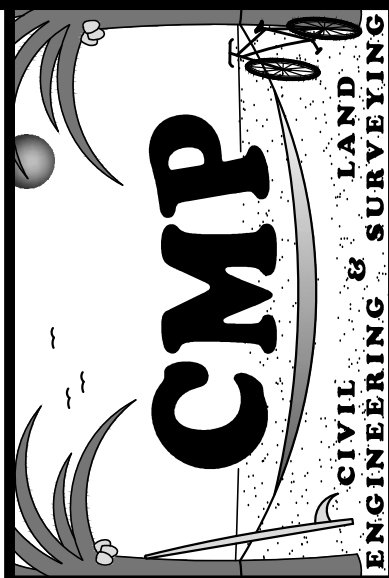
SHEET NAME:

SHEET:

C1



- NOTES:
- 1) HOUSE PAD ELEVATION BASED ON 12" THICK MAT SLAB UNDERLAIN WITH 4" OF CRUSHED ROCK.
 - 2) GARAGE PAD ELEVATION BASED ON 5" THICK SLAB UNDERLAIN WITH 4" OF CRUSHED ROCK.
 - 3) PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUT LOCATIONS.
 - 4) DRAINAGE UNDER COVERED PATIOS, WALKWAYS, PORCHES, ETC TO BE DESIGNED AND PROVIDED BY OTHERS.



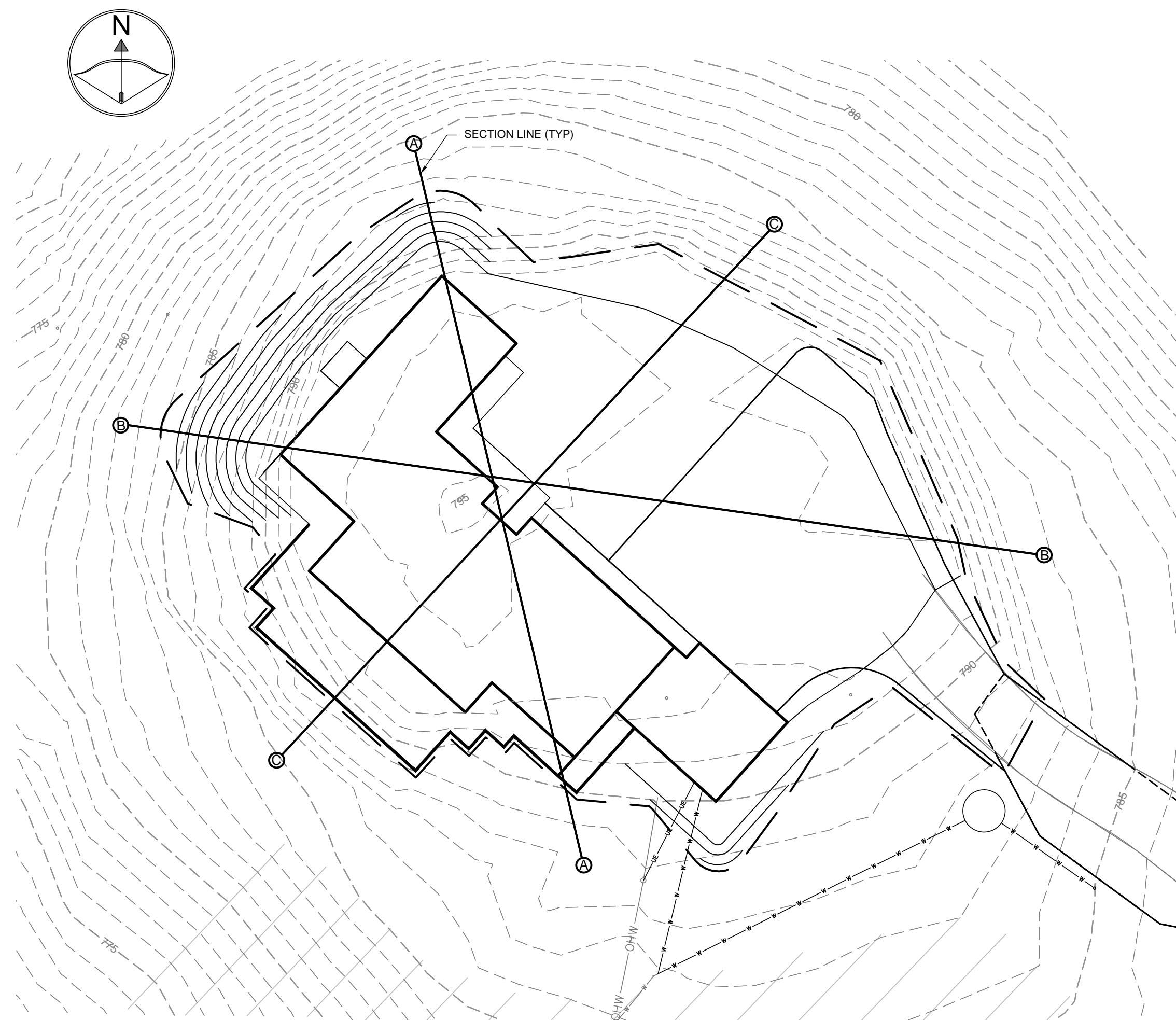
PREPARED BY:
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(707) 266-2559
CAMERON@CMPENGINEERING.COM
PROJECT # 0047 DATE: 2/13/24

REV. #	DESCRIPTION	DATE
1/A	COUNTY COMMENTS DATED 4/22/2024	6/20/24
2/A	COUNTY COMMENTS DATED 9/10/2024	10/9/24

PROJECT INFO:
HOSSFELD RESIDENCE
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

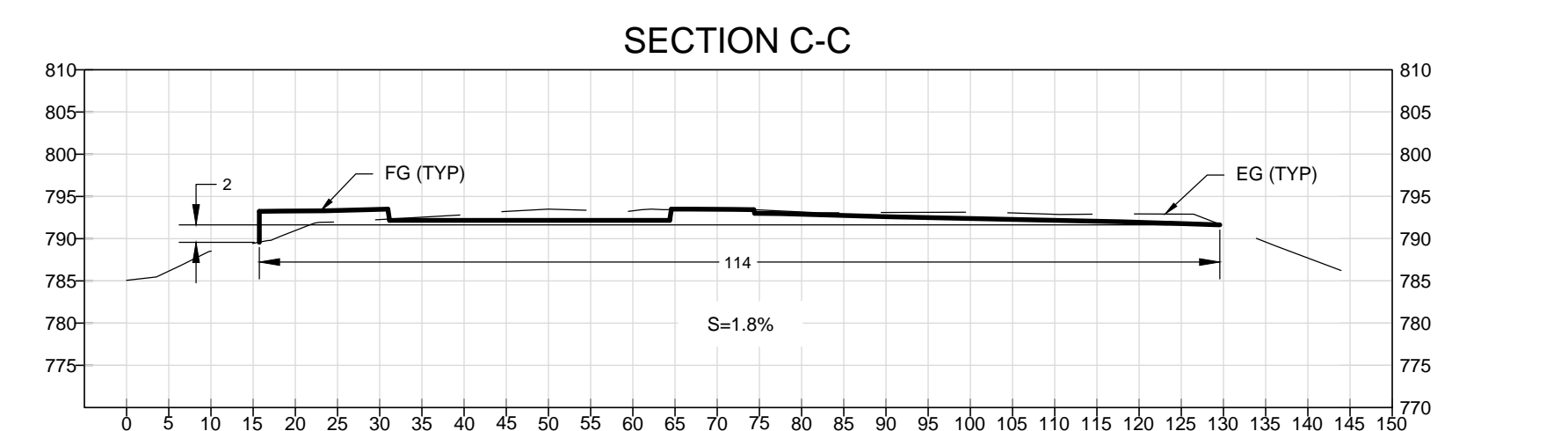
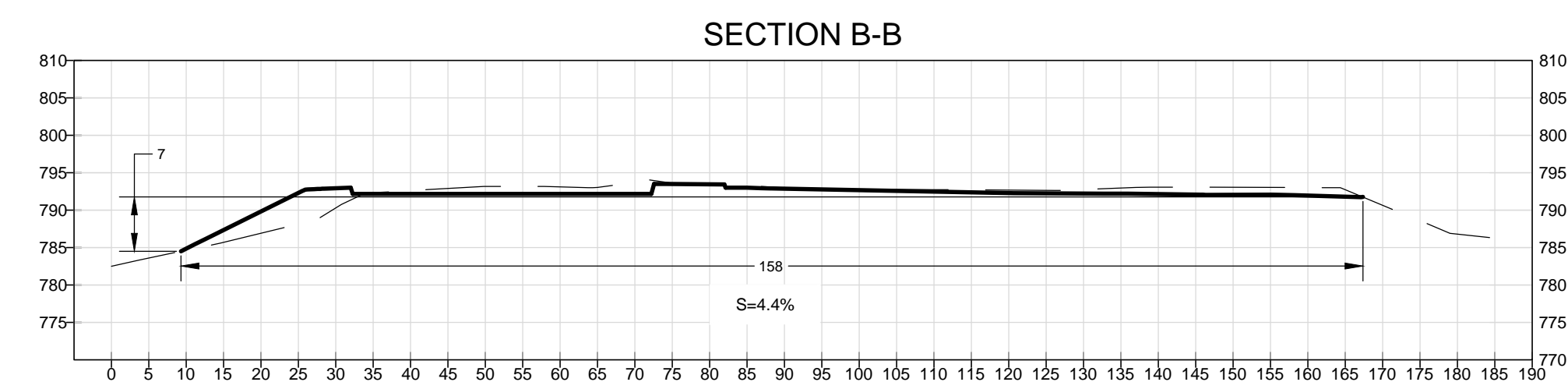
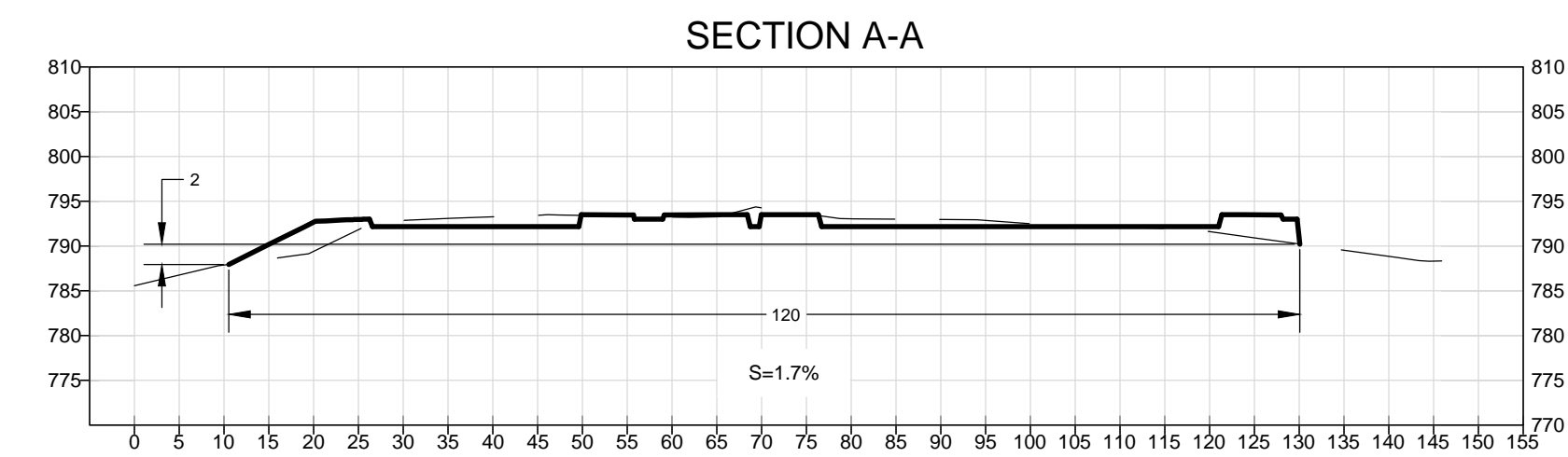
SHEET NAME:
**GRADING &
DRAINAGE PLAN**

SHEET:
C2



CROSS SECTION PLAN

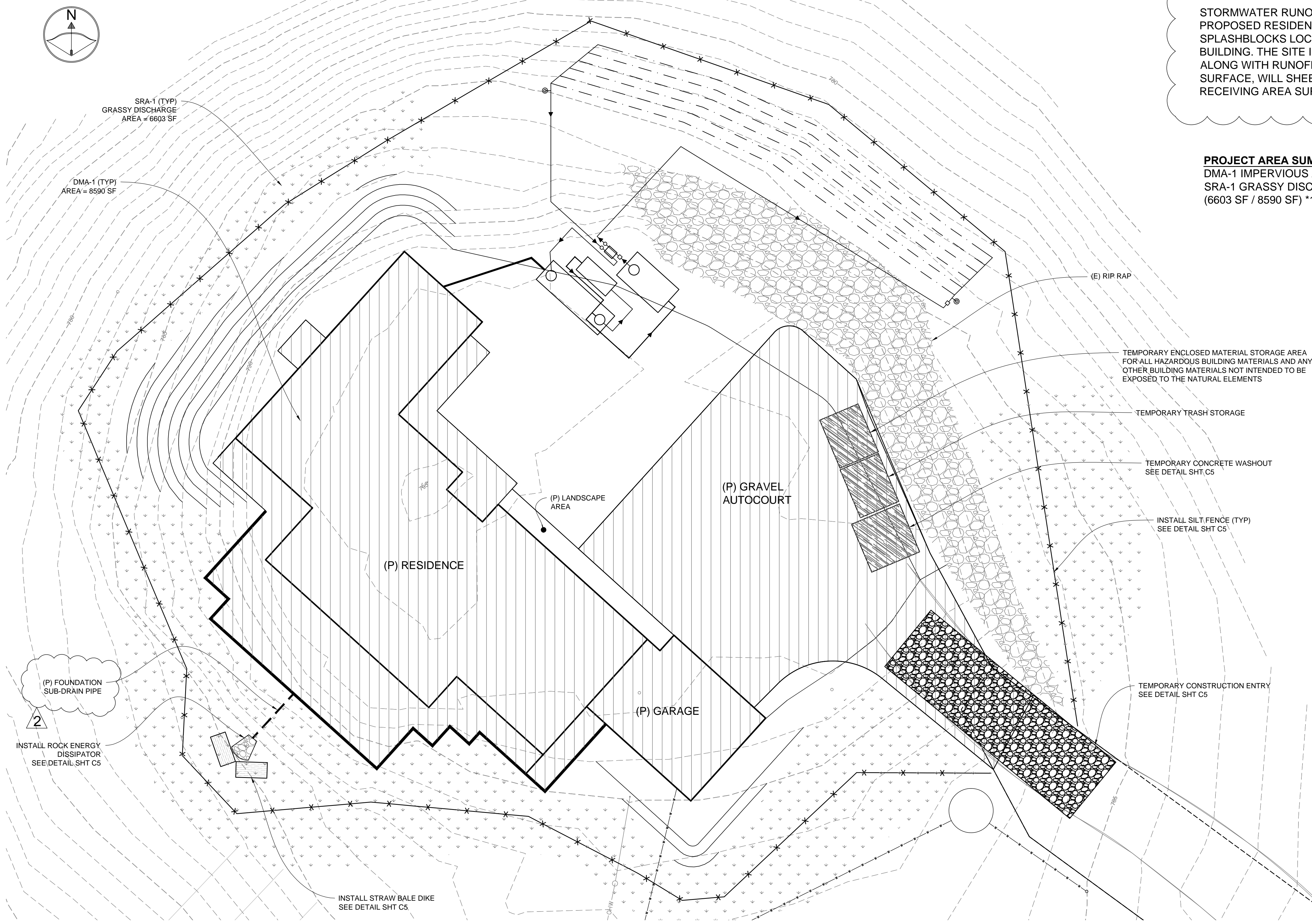
SCALE 1" = 20'



CROSS SECTIONS

SCALE 1" = 20'



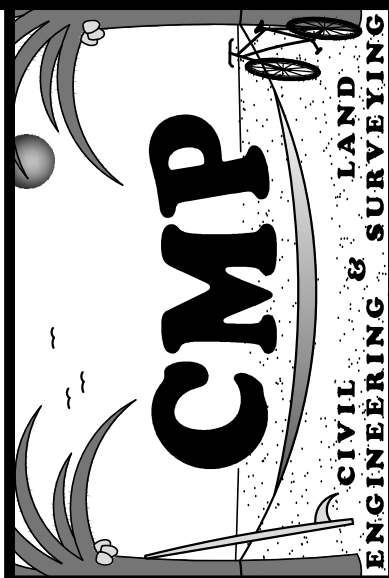


STORMWATER CONVEYANCE NOTES:

STORMWATER RUNOFF FROM THE ROOF OF THE PROPOSED RESIDENCE WILL DRAIN VIA DOWNSPOUTS TO SPLASHBLOCKS LOCATED AROUND THE PERIMETER OF THE BUILDING. THE SITE IS GRADED SUCH THAT THIS RUNOFF, ALONG WITH RUNOFF GENERATED FROM THE AUTOCOURT SURFACE, WILL SHEETFLOW TO THE VEGETATED RECEIVING AREA SURROUNDING THE SITE.

PROJECT AREA SUMMARY
DMA-1 IMPERVIOUS AREA = 8590 SF
SRA-1 GRASSY DISCHARGE AREA = 6603 SF
(6603 SF / 8590 SF) *100 = 77% (ONLY 50% REQ.)

2



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REV. #	DESCRIPTION	DATE
1/A	COUNTY COMMENTS DATED 4/22/2024	6/20/24
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PROJECT INFO:
HOSSFELD RESIDENCE
1270 LOMA VISTA DRIVE
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APN: 039-670-014

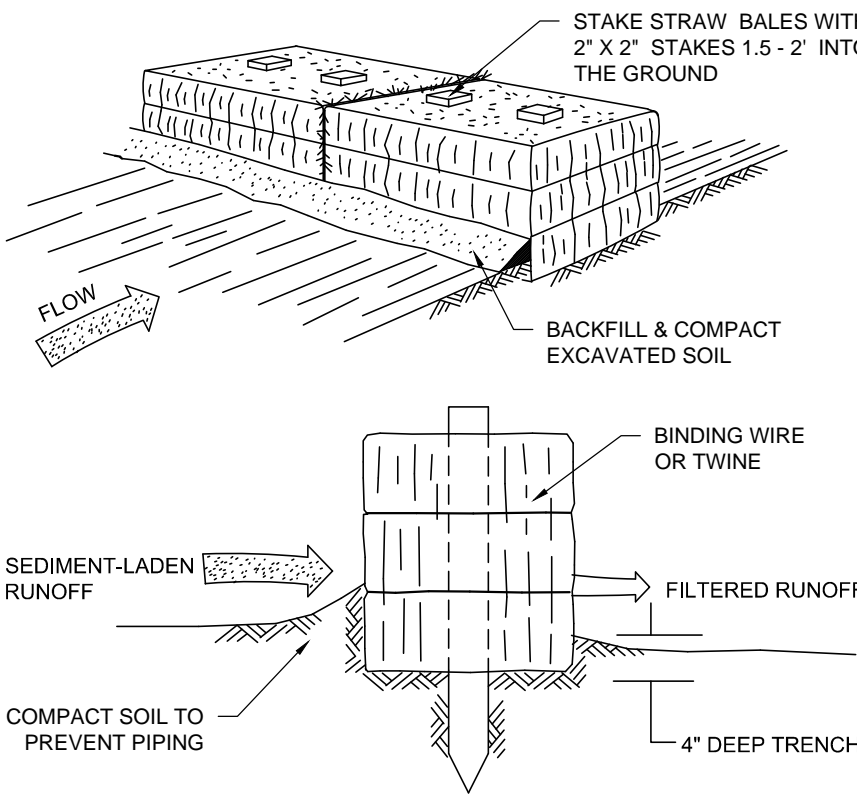
SHEET NAME:
EROSION SEDIMENT & STORMWATER CONTROL PLAN

SHEET:
C4
OF 6



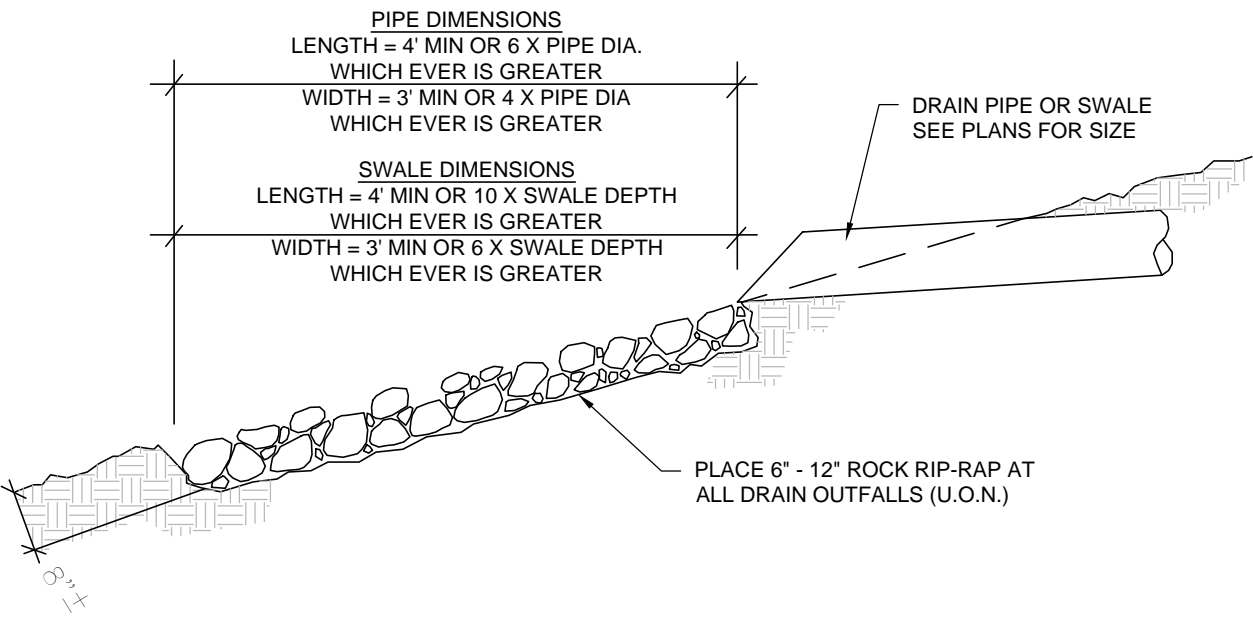
GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES, PRIOR TO STARTING CONSTRUCTION. THESE PLANS ARE BASED UPON THE BEST INFORMATION AVAILABLE, BUT CAN ONLY BE TAKEN AS APPROXIMATE.
- ANY UTILITIES THAT MAY HAVE TO BE RELOCATED SHALL BE DONE AT THE OWNERS EXPENSE.
- PRIOR TO EXCAVATING NEAR ANY P.G. & E., PAC BELL, CITY, COUNTY, OR PRIVATE FACILITIES IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT U.S.A. AT LEAST 2 WORKING DAYS IN ADVANCE AT (800) 642-2444.
- DAMAGE TO ANY AND ALL UTILITIES BY CONTRACTOR WILL BE REPLACED IN KIND AT OWNERS EXPENSE, AS WELL AS ANY EXISTING PRIVATE OR PUBLIC IMPROVEMENTS OR NATURAL LANDSCAPES SPECIFICALLY DESIGNATED BY OWNER.
- CONTRACTOR WILL MAINTAIN SAFE CONDITIONS IN THE CONSTRUCTION AREA FOR WORKMEN AND TRAVELING PUBLIC.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL SECURE CONSTRUCTION PERMITS FROM THE NAPA COUNTY PUBLIC WORKS DEPARTMENT, THE NAPA COUNTY CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT, AND ANY OTHER JURISDICTIONAL AGENCY AS REQUIRED. OWNER SHALL PAY FOR ALL FEES INCLUDING INSPECTION FEES THEREFORE.
- ALL STATIONS (ON PLAN) ARE TAKEN ALONG CENTERLINE UNLESS OTHERWISE NOTED ON PLAN AND SHOW MEASUREMENTS IN A HORIZONTAL PLANE.
- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTING OF FILL SHALL BE DONE ACCORDING TO THESE PLANS, AND NAPA COUNTY REQUIREMENTS.
- SLOPE PLANTING SHALL BE SPECIFIED BY THE BY OTHER AND IS NOT A PART OF THESE PLANS.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR MORE GENTLE, UNLESS OTHERWISE NOTED
- ALL ABANDONED UNDERGROUND PIPELINES EXPOSED DURING GRADING SHALL BE REMOVED OR ADEQUATELY PLUGGED.
- ROUND CUT AND FILL SLOPES TO BLEND IN WITH THE NATURAL GROUND CONTOURS.
- EROSION CONTROL MEASURES SHALL BE EMPLOYED DURING THE RAINY SEASON AS REQUIRED AND AS SHOWN ON THE APPROVED STORMWATER QUALITY MANAGEMENT PLANS. A PRE-GRADING MEETING MAY BE SCHEDULED AT THE CONTRACTORS REQUEST AT THE SITE 48 (FORTY-EIGHT) HOURS PRIOR TO THE START OF GRADING. THE FOLLOWING PEOPLE SHOULD BE PRESENT: OWNER, GRADING CONTRACTORS, ENGINEER, AND THE COUNTY REPRESENTATIVE.
- CHANGES TO THIS PLAN DUE TO FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF THE ENGINEER AND THE NAPA COUNTY CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT.
- ADJACENT PROPERTIES SHALL BE PROTECTED FROM STORM WATERS, MUD, SILT, ETC.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE ENGINEER AND THE GOVERNING COUNTY AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT OF ALL FILLS ACCORDING TO THE PLAN, AND THE PREPARATION OF GROUND TO RECEIVE FILLS, TESTING FOR REQUIRED COMPACTION, STABILITY OF ALL FINISH SLOPES, SOIL EROSION, AND REQUIRED CUT SLOPE SURFACES.



STRAW BALE DIKE DETAIL

N.T.S.



ROCK OUTFALL DETAIL

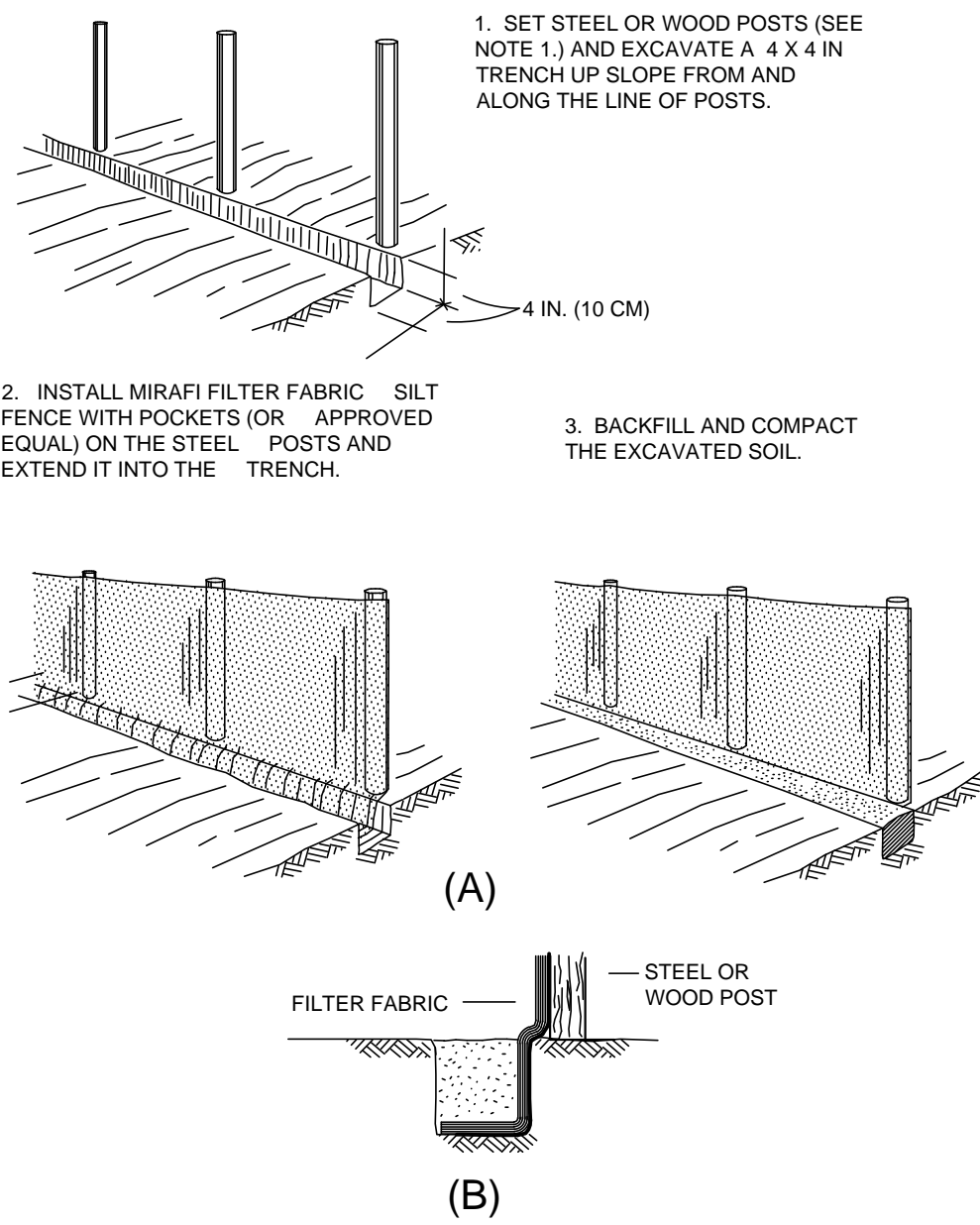
N.T.S.

MAINTENANCE & LIMITATIONS

- THE IMPROVEMENTS SHOWN ON THIS PLAN MUST BE MAINTAINED PROPERLY IN ORDER FOR THEM TO FUNCTION PROPERLY. SUCH MAINTENANCE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MAINTAIN ALL BMP'S TO AVOID EXCESS EROSION, MAINTAIN VEGETATIVE COVERAGE ON ALL DISTURBED AREAS, KEEP ALL STORM DRAIN STRUCTURES FREE OF DEBRIS & SEDIMENT.
- THE EFFECTS OF NORMAL EROSION SUCH AS THOSE DUE TO ENVIRONMENTAL, WEATHER, AND GEOLOGIC CONDITIONS, WILL CONTINUE TO EXIST THROUGHOUT THE PROJECT SITE. THE STABILITY OF EARTH SLOPES AND METHODS OF CONTROLLING THE EFFECTS OF NORMAL EROSION ARE NOT A PART OF THIS PLAN. CONSULT A SOILS ENGINEER FOR THE STABILITY OF EARTH SLOPES AND THE EFFECTS OF NORMAL EROSION.
- UPON COMPLETION OF ALL PROPOSED IMPROVEMENTS AND EROSION CONTROL MEASURES THE OWNER SHOULD PROVIDE FOR A DETAILED INSPECTION BY THE ENGINEER. THE INSPECTION SHOULD BE PERFORMED BOTH PRIOR TO AND DURING THE FIRST RAIN, TO CHECK THE FUNCTIONALITY OF ALL THE PROPOSED MEASURES & IMPROVEMENTS. IT MAY BE NECESSARY TO MAKE SOME MODIFICATIONS AND/OR REPAIRS TO THESE IMPROVEMENTS IN ORDER TO MAINTAIN A PROPER AND EFFICIENT WORKING SYSTEM.
- THE PROPERTY OWNER, AND ANY SUBSEQUENT HOMEOWNER MUST CLEARLY UNDERSTAND THAT THEY HAVE CHOSEN TO LIVE IN A RESIDENCE ON HILLSIDE PROPERTY WITH A REMOTE AND LENGTHY DRIVEWAY FOR ACCESS. THE OWNER NEEDS TO VIGILANTLY REPAIR THE EROSION AND ADVERSE EFFECTS OF HEAVY RAINFALL TO THE PROJECT SITE AND THE IMPROVEMENTS SHOWN ON THESE PROJECT PLANS.
- SIGNIFICANT MAINTENANCE AND UPKEEP COSTS MAY BE ASSOCIATED WITH THIS PROJECT AND SHOULD BE PLANNED FOR BY THE OWNER. SEVERE STORMS CAN MOBILIZE SEDIMENTS WHICH CAN IMPAIR THE FUNCTIONALITY OF STORM DRAINAGE DEVICES. IF DRAINAGE DITCHES AND CULVERTS ARE NOT KEPT CLEAR OF SEDIMENTS, EROSION & FLOOD DAMAGE TO STRUCTURES AND DRIVEWAY IMPROVEMENTS MAY RESULT.
- THE DESIGN OF FACILITIES ON THESE PLANS ARE BASED UPON STANDARD ENGINEERING PRACTICES, AND NAPA COUNTY REQUIREMENTS. CHANGES IN TRADITIONAL WEATHER PATTERNS AND RAINFALL INTENSITIES HAVE NOT BEEN PLANNED FOR AND COULD IMPACT THE INTEGRITY OF THE DRIVEWAY AND APPURTENANCES. IT IS SUGGESTED THAT EMERGENCY MEASURES BE PLANNED FOR, AS WELL AS THE COSTS FOR GENERAL MAINTENANCE OF ALL OF THE IMPROVEMENTS SHOWN ON THESE PLANS.

INSTALLATION OF SILT FENCE

- LAY OUT A SUITABLE FENCE LINE AND SET POSTS ALONG IT. ON SLOPES, ALIGN THE FENCE ALONG THE CONTOUR AS CLOSELY AS POSSIBLE (U.O.N.). IN SMALL SWALES, CURVE THE FENCE LINE UPSTREAM AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE. THE SIDES SHOULD BE HIGHER THAN THE CENTER. SPACE POSTS ON 6' CENTERS AND DRIVE THEM A MINIMUM OF 12 IN INTO THE GROUND. POSTS FOR SILT FENCES CAN BE EITHER 1-1/2" MIN. DIA. HARD WOOD OR 1.33 LB/FT STEEL WITH A MINIMUM LENGTH OF 5 FT. STEEL POSTS MUST HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- FASTEN THE FILTER FABRIC TO THE UPHILL SIDE OF THE FENCE POSTS, AND EXTEND TO 6 TO 8 IN INTO THE TRENCH. THE HEIGHT OF THE FENCE SHOULD NOT EXCEED 36 IN. DO NOT STAPLE FABRIC ONTO TREES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, SPLICE THE FILTER CLOTH AT A SUPPORT POST, WITH A MINIMUM 6 IN OVERLAP, AND SECURELY FASTEN BOTH ENDS TO THE POST.
- BACKFILL THE TRENCH OVER THE TOE OF THE FABRIC AND COMPACT THE SOIL.
- PREFABRICATED SILT FENCE WITH POSTS IS ENCOURAGED AND MAY BE USED AS AN ALTERNATE TO SETTING STEEL OR WOOD POSTS.



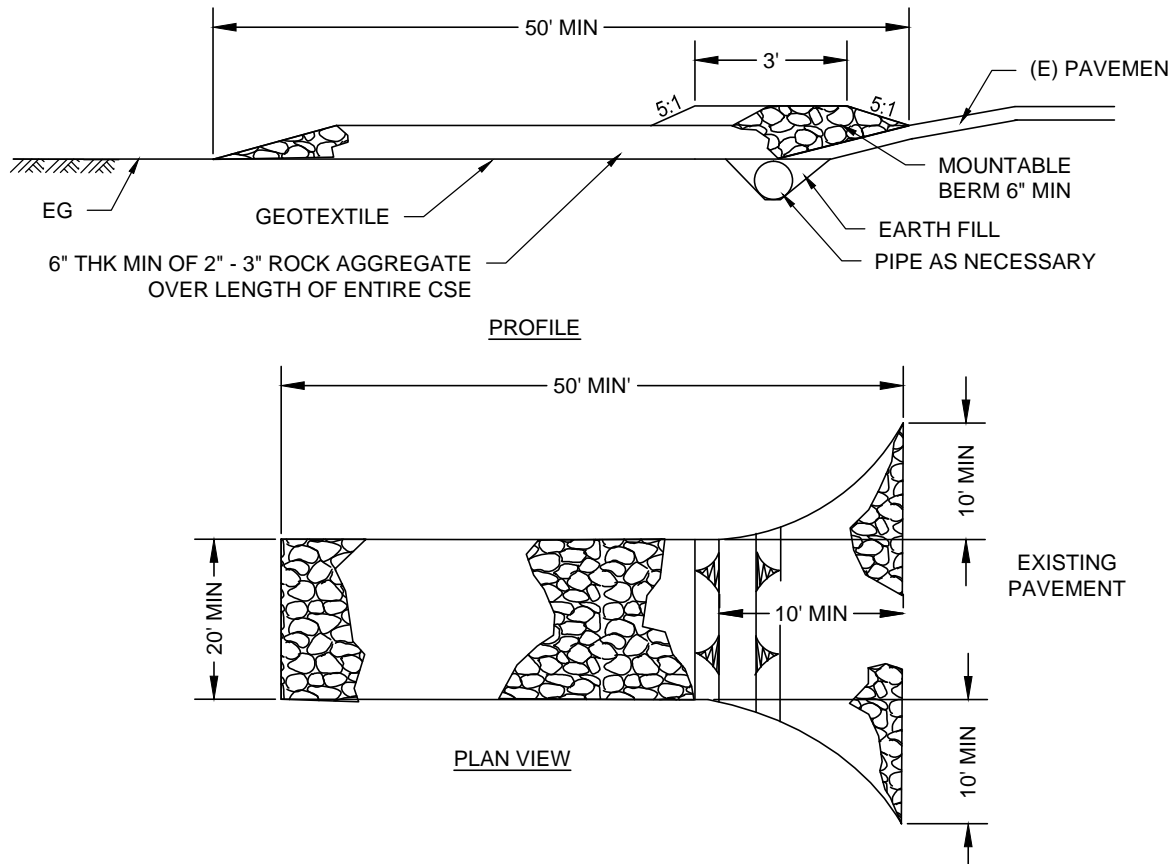
(A) INSTALLATION CONSTRUCTION OF A SILT FENCE. SEQUENCE. (B) EXTENSION OF FABRIC INTO THE TRENCH.

NOTE:
SILT FENCE SEDIMENT BARRIER MAY BE USED AS AN ALTERNATE TO THE STRAW BALE SEDIMENT BARRIER.

SILT FENCE DETAIL

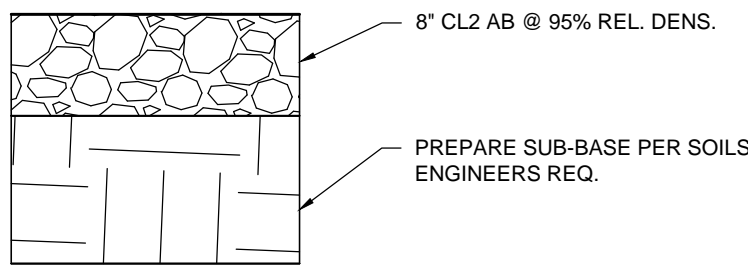
N.T.S.

- CONSTRUCTION SPECIFICATION
- LENGTH = MINIMUM OF 50'.
 - WIDTH = 20' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE.
 - STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE Piped THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
 - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.



STABILIZED CONSTRUCTION ENTRY

N.T.S.

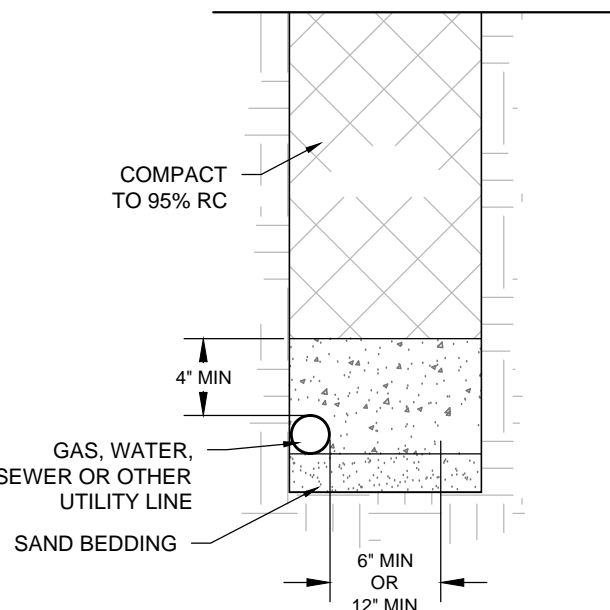


NOTE:
SUBGRADE SHALL BE DRIVEN PRIOR TO COMPLETION TO INSURE THAT NO DRAGGING OCCURS AT GRADE TRANSITIONS.

TYPICAL AUTOCOURT SECTION

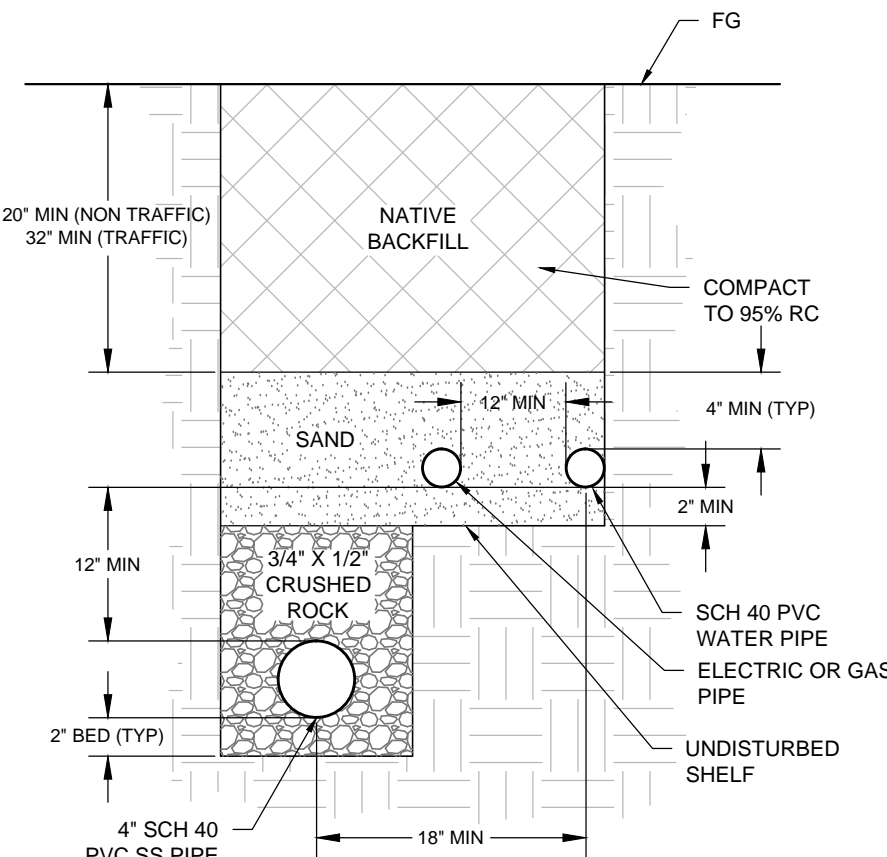
N.T.S.

NOTE:
MAINTAIN 6" MIN OF SEPERATION BETWEEN GAS & ELEC LINES. MAINTAIN 12" MIN BETWEEN GAS/ELEC LINES AND ALL OTHER UTILITIES



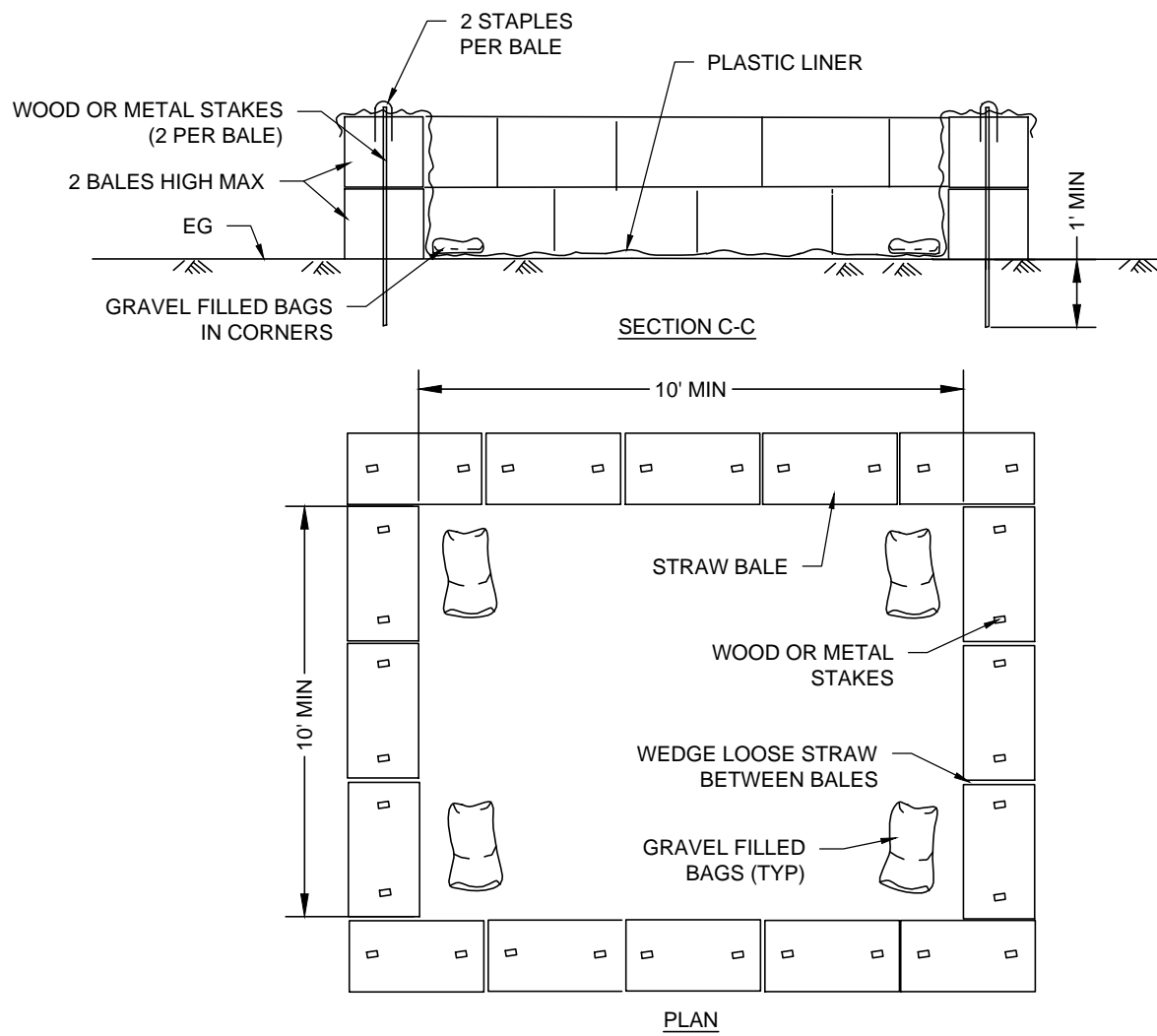
ONSITE GAS & ELECTRIC TRENCH DETAIL

NTS



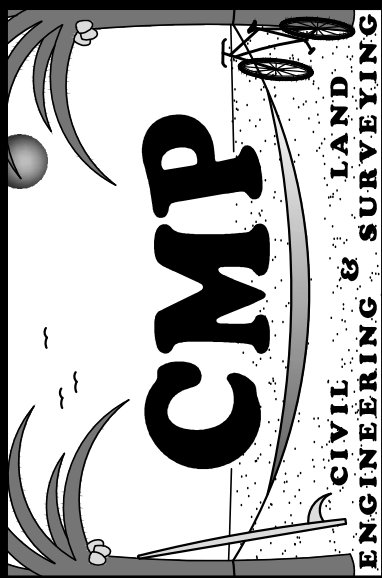
JOINT TRENCH DETAIL

NTS



CONCRETE WASHOUT DETAIL

N.T.S.



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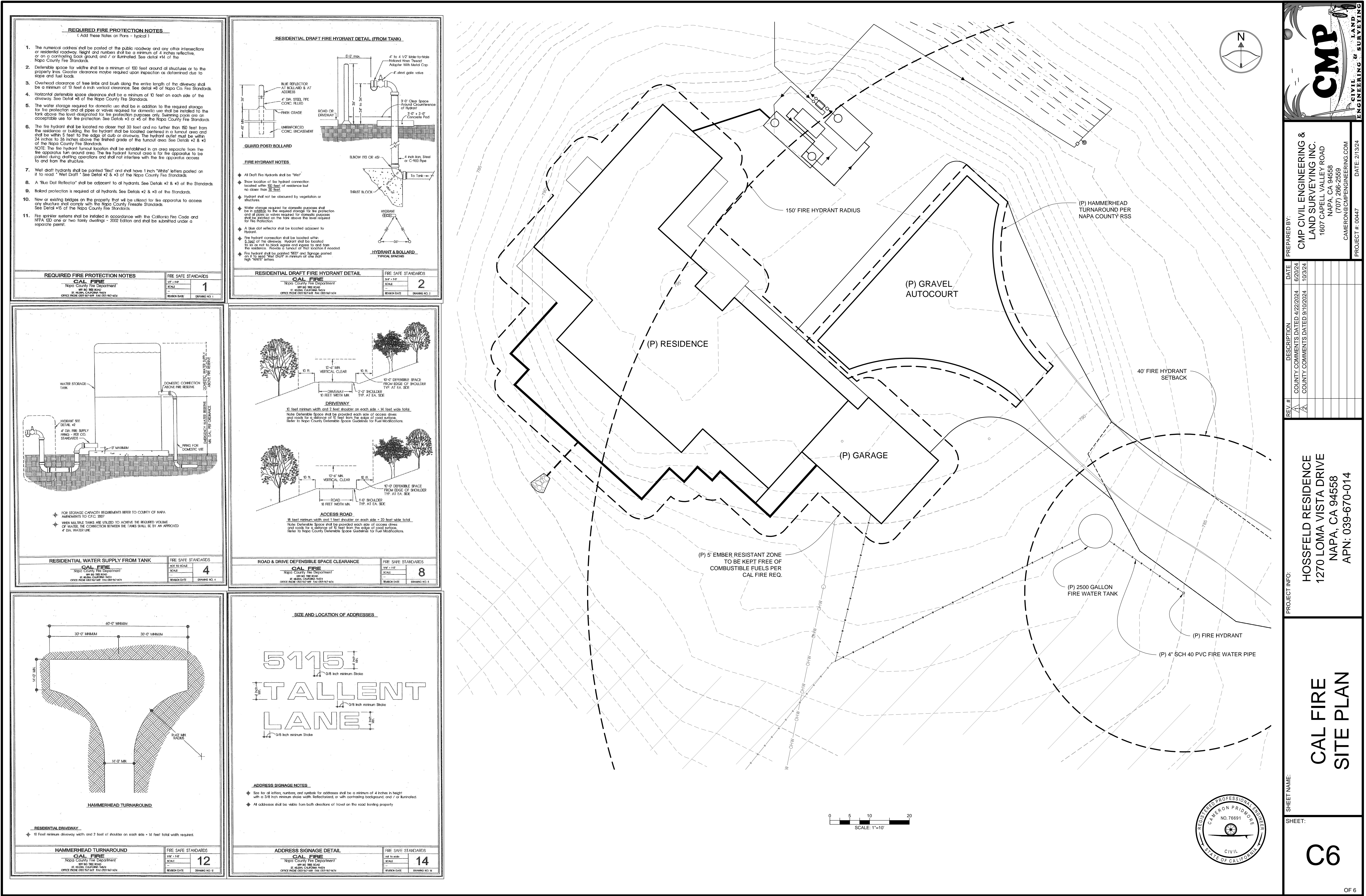
REV. #	DESCRIPTION	DATE
1	COUNTY COMMENTS DATED 4/22/2024	6/20/24
2	COUNTY COMMENTS DATED 9/10/2024	10/2/24

PROJECT INFO:
HOSSFELD RESIDENCE
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

NOTES & DETAILS

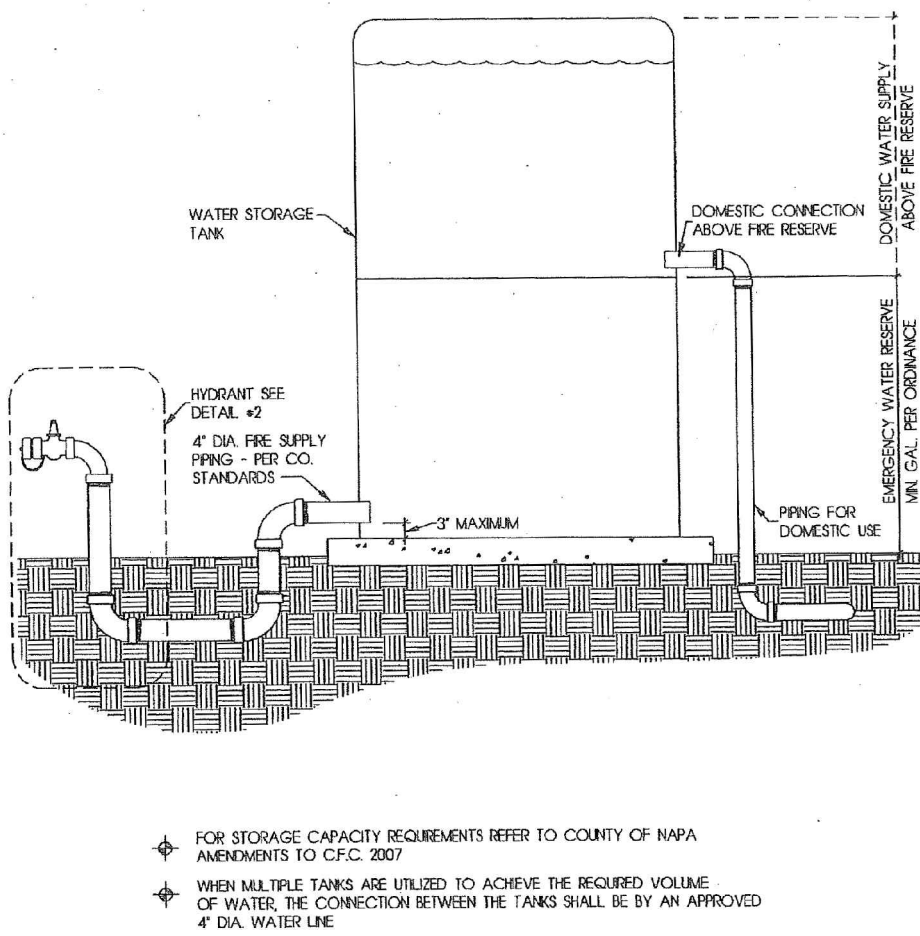
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C5

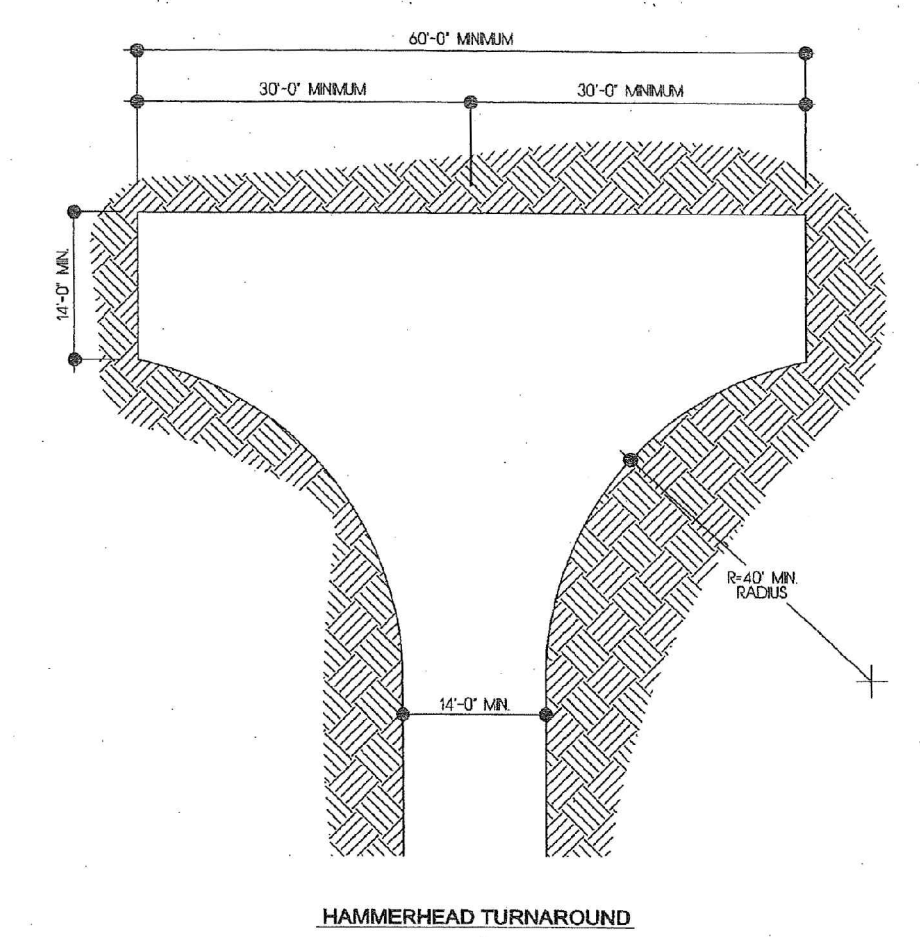


- REQUIRED FIRE PROTECTION NOTES**
(Add these Notes on Plans - Typical)
- The numerical address shall be posted at the public roadway and any other intersections or residential roadway. Height and numbers shall be a minimum of 4 inches reflective, or on a contrasting background, and / or illuminated. See detail #14 of the Napa County Fire Standards.
 - Defensible space for wildfire shall be a minimum of 100 feet around of structures or to the property line. Greater clearance may be required upon inspection as determined due to slope and fuel loads.
 - Overhead clearance of free limbs and bush along the entire length of the driveway shall be a minimum of 13 feet 4 inch vertical clearance. See detail #6 of Napa Co. Fire Standards.
 - Horizontal defensible space clearance shall be a minimum of 10 feet on each side of the driveway. See Detail #6 of the Napa County Fire Standards.
 - The water storage required for domestic use shall be in addition to the required storage for fire protection and all pipes or valves required for domestic use shall be installed to the tank above the level designated for fire protection purposes only. Swimming pools are an acceptable use for fire protection. See Details #3 or #5 of the Napa County Fire Standards.
 - The fire hydrant shall be located no closer than 30 feet and no further than 150 feet from the residence or building. The fire hydrant shall be located centered in a turnout area and shall be within 5 feet to the edge of curb or driveway. The hydrant outlet must be within 24 inches to 36 inches above the finished grade of the turnout area. See Details #2 & #3 of the Napa County Fire Standards.
NOTE: The fire hydrant turnout location shall be established in an area separate from the fire apparatus turn around area. The fire hydrant turnout area is for fire apparatus to be parked during drafting operations and shall not interfere with the fire apparatus access to and from the structure.
 - Well draft hydrants shall be painted "Red" and shall have 1 inch "White" letters posted on it to read "Well Draft". See Detail #3 & #4 of the Napa County Fire Standards.
 - A "Blue Dot Reflector" shall be adjacent to all hydrants. See Details #2 & #3 of the Standards.
 - Barrel protection is required of all hydrants. See Details #2 & #3 of the Standards.
 - New or existing bridges on the property that will be utilized for fire apparatus to access any structure shall comply with the Napa County Fire Standards. See Detail #15 of the Napa County Fire Standards.
 - Fire sprinkler systems shall be installed in accordance with the California Fire Code and NFPA 13D and two family dwellings - 2012 Edition and shall be submitted under a separate permit.

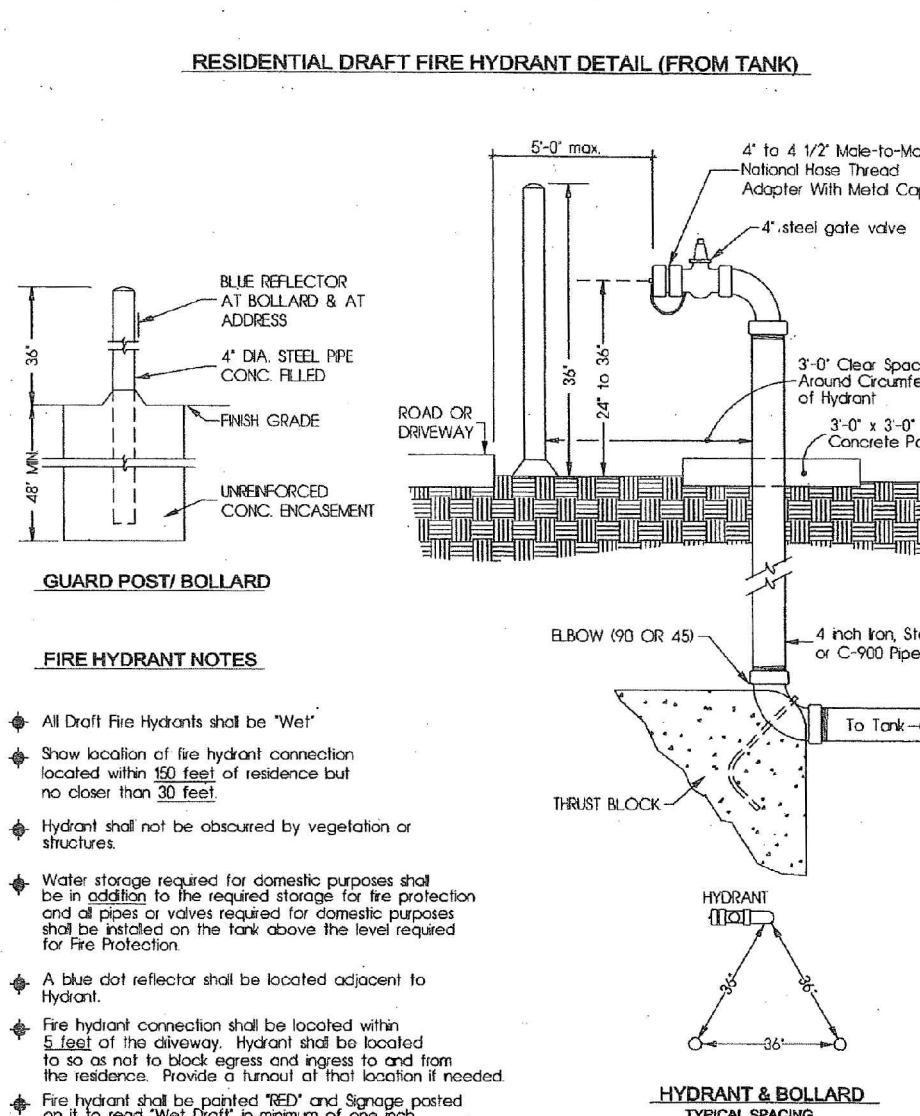
REQUIRED FIRE PROTECTION NOTES	FIRE SAFE STANDARDS
CAL FIRE Napa County Fire Department 1111 1st St. Napa, CA 94558 OFFICE PHONE (707) 266-1111 FAX (707) 266-1112	NOT TO SCALE SCALE REVISION DATE DRAWING NO. 1



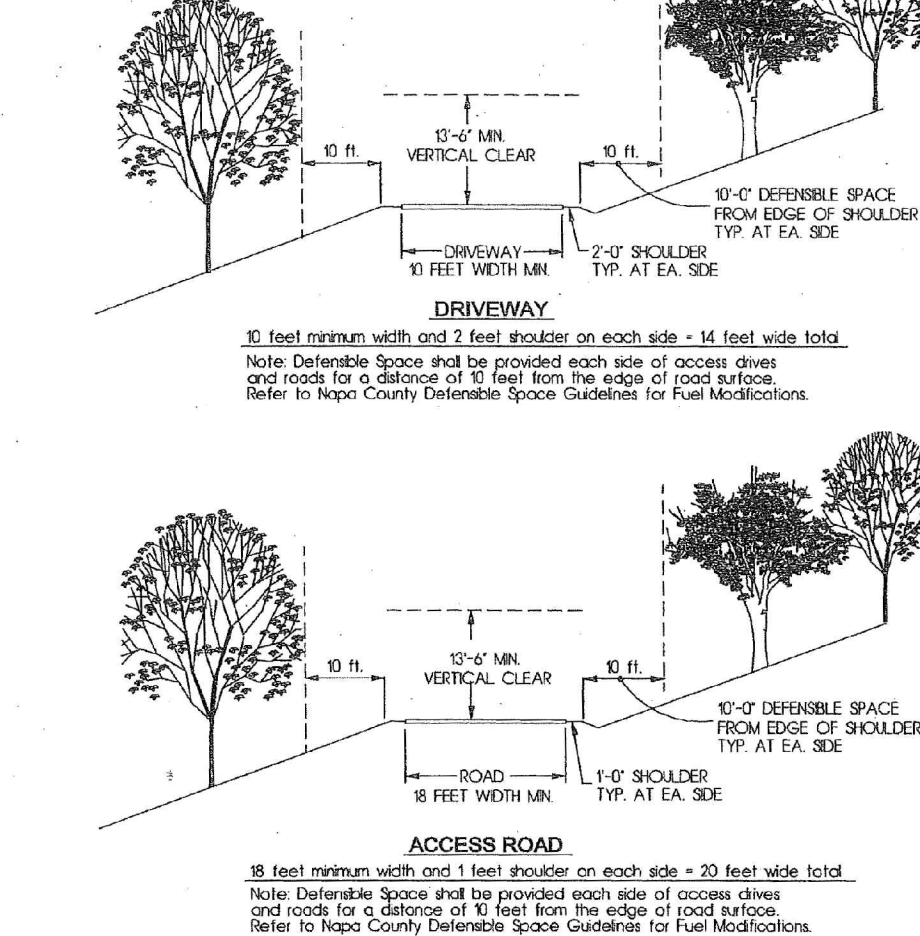
RESIDENTIAL WATER SUPPLY FROM TANK	FIRE SAFE STANDARDS
CAL FIRE Napa County Fire Department 1111 1st St. Napa, CA 94558 OFFICE PHONE (707) 266-1111 FAX (707) 266-1112	NOT TO SCALE SCALE REVISION DATE DRAWING NO. 4



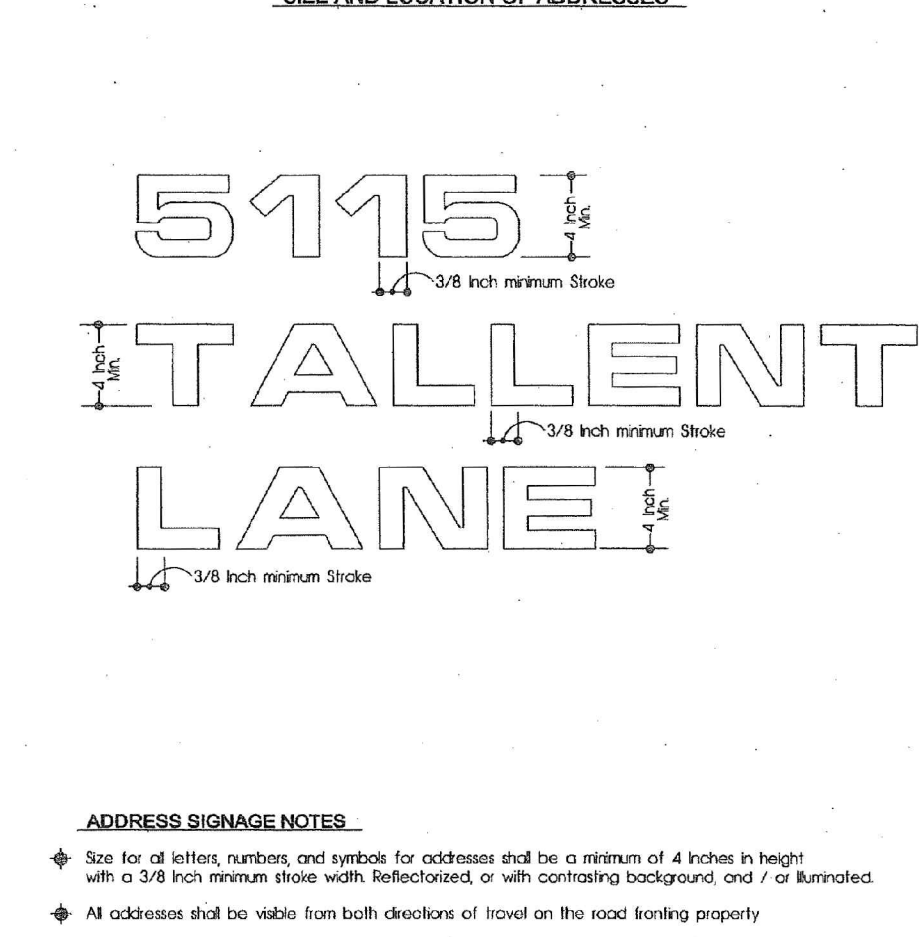
RESIDENTIAL DRIVEWAY	FIRE SAFE STANDARDS
CAL FIRE Napa County Fire Department 1111 1st St. Napa, CA 94558 OFFICE PHONE (707) 266-1111 FAX (707) 266-1112	NOT TO SCALE SCALE REVISION DATE DRAWING NO. 12



RESIDENTIAL DRAFT FIRE HYDRANT DETAIL	FIRE SAFE STANDARDS
CAL FIRE Napa County Fire Department 1111 1st St. Napa, CA 94558 OFFICE PHONE (707) 266-1111 FAX (707) 266-1112	NOT TO SCALE SCALE REVISION DATE DRAWING NO. 2



ROAD & DRIVE DEFENSIBLE SPACE CLEARANCE	FIRE SAFE STANDARDS
CAL FIRE Napa County Fire Department 1111 1st St. Napa, CA 94558 OFFICE PHONE (707) 266-1111 FAX (707) 266-1112	NOT TO SCALE SCALE REVISION DATE DRAWING NO. 8



ADDRESS SIGNAGE DETAIL	FIRE SAFE STANDARDS
CAL FIRE Napa County Fire Department 1111 1st St. Napa, CA 94558 OFFICE PHONE (707) 266-1111 FAX (707) 266-1112	NOT TO SCALE SCALE REVISION DATE DRAWING NO. 14

CMP
CIVIL ENGINEERING & SURVEYING INC.
1607 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 266-2559
CAMERON@CMPENGINEERING.COM
DATE: 2/13/24

PREPARED BY:
CMP CIVIL ENGINEERING & LAND SURVEYING INC.
1607 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 266-2559
CAMERON@CMPENGINEERING.COM
PROJECT #: 0047

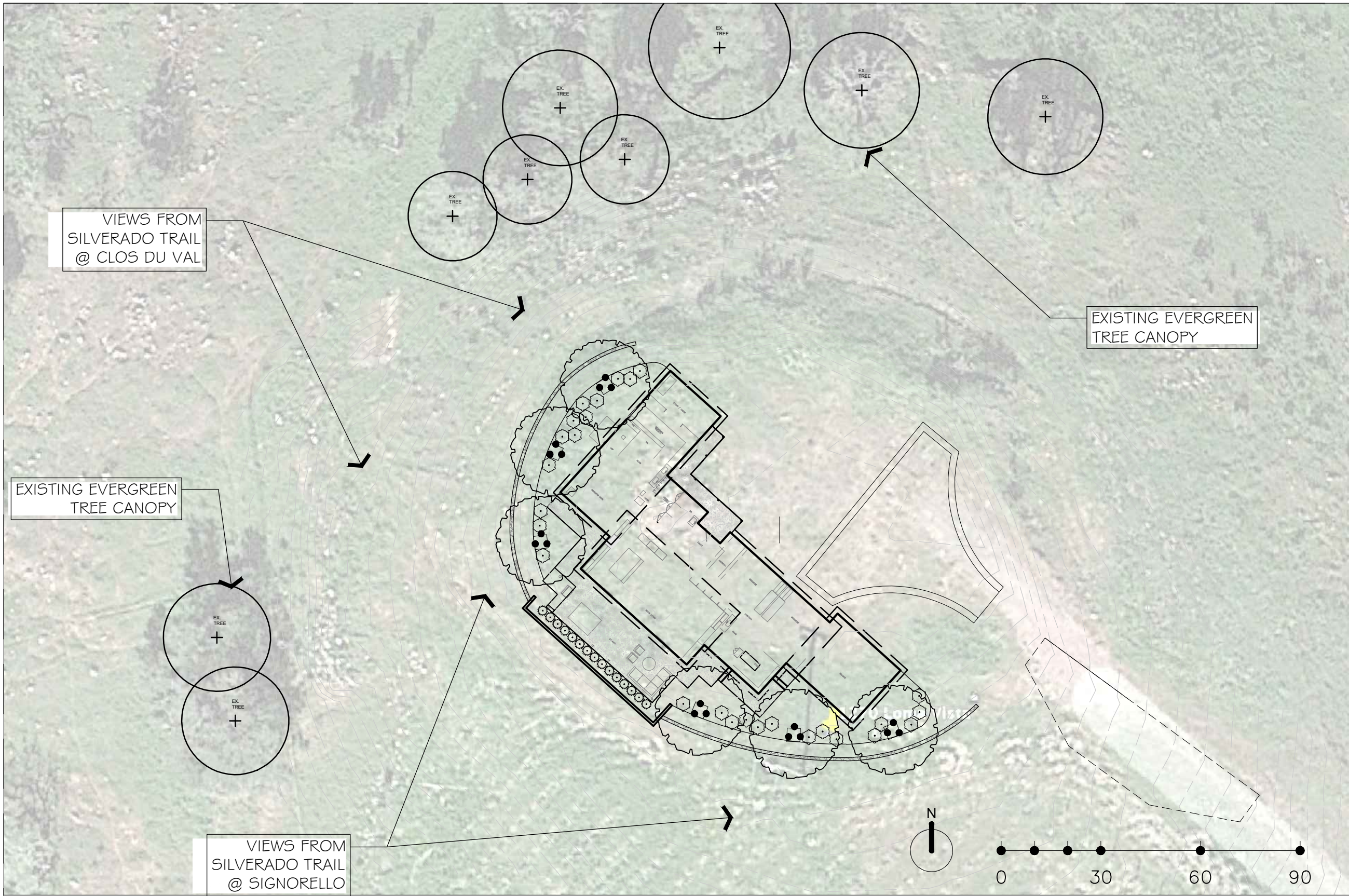
PROJECT INFO:

REV. #	DESCRIPTION	DATE
1	COUNTY COMMENTS DATED 4/22/2024	6/20/24
2	COUNTY COMMENTS DATED 9/10/2024	10/9/24

SHEET NAME:
HOSSELD RESIDENCE
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

SHEET:
C6

OF 6



PLANT-SCHEDULE				
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	6	QUERCUS AGRIFOLIA / COAST LIVE OAK MULTI-TRUNK	48" BOX, 7' TALL 6' WIDE. GROWTH RATE 2' HT. & DIA. /YEAR	27' CANOPY WIDTH (GROWTH 5 YEARS AFTER INSTALLED)
	27	HETEROMELES ARBUTIFOLIA / TOYON	15 gal.	54" o.c. (GROWTH 5 YRS AFTER INSTALLED)
	15	LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET	15 gal.	36" o.c. (GROWTH 5 YRS AFTER INSALLED)

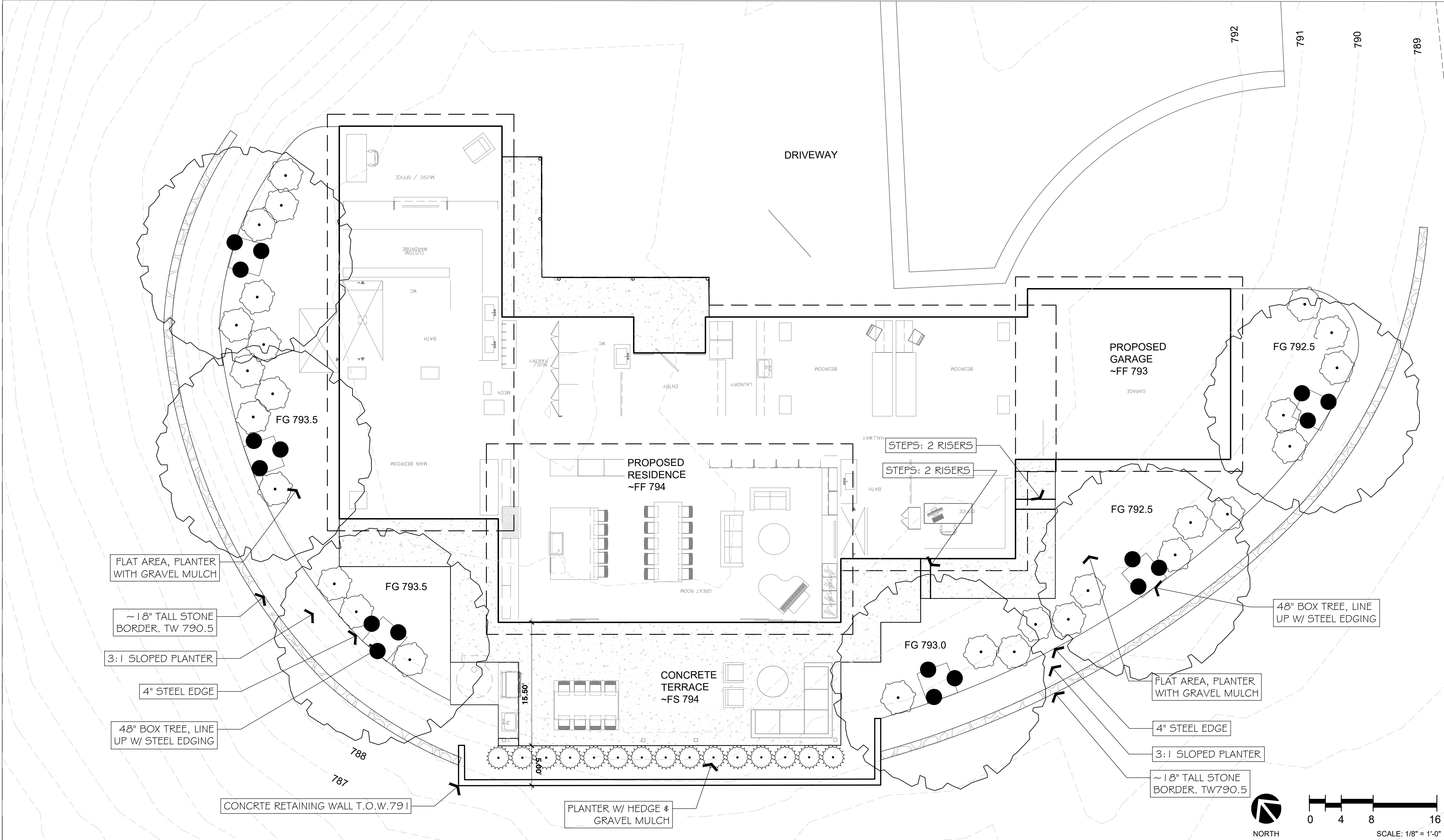


935 POPE STREET, SAINT HELENA
CALIFORNIA, 94574
PHONE: 707-210-2128
IMARIAWHITE.COM
IMW@IMARIAWHITE.COM

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CALIFORNIA, 94574
PHONE: 707-210-2128
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ISSUE NOT FOR
CONSTRUCTION

ISSUE	DATE
FOR CLIENT REVIEW	11-17-23



**HOSSFELD
MCCOMBER
RESIDENCE**

1270 LOMA VISTA DRIVE,
NAPA CA 94558

VIEWSHED
SCREENING

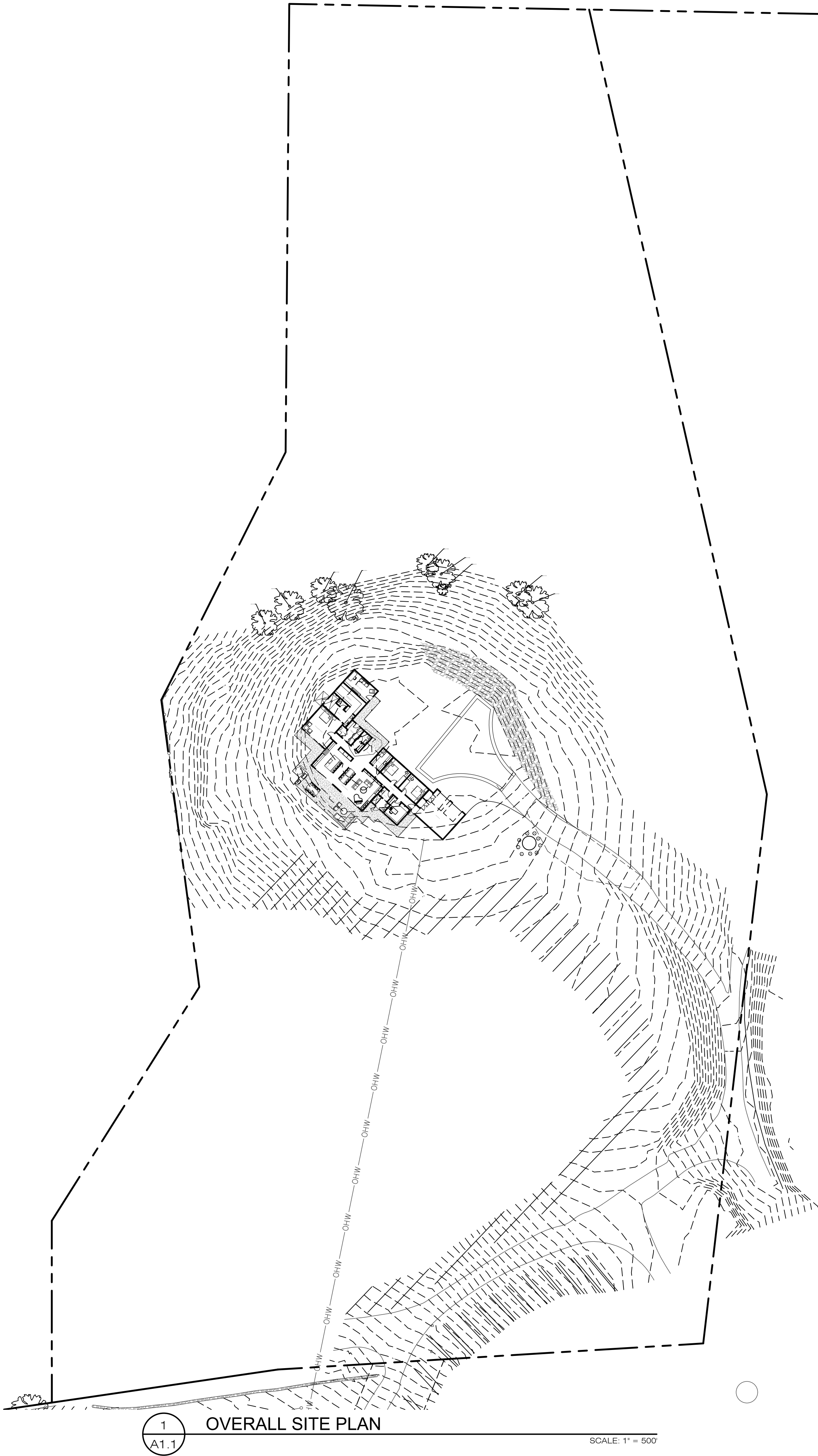
SCHEMATIC DESIGN
CHECKED:
SCALE: VARIES
DATE: NOV. 17 2023
IMW PROJECT NO: 2321

SHEET:

L-1

GENERAL SITE NOTES

1. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY SITE WORK OPERATIONS.
2. USE NECESSARY MEANS TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, NEIGHBORS, AND OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.
3. CLEAN OUT ROOTS IN BUILDING SITE AREA 1" DIAMETER AND LARGER TO A DEPTH OF AT LEAST 12" BELOW THE EXISTING GROUND SURFACE OR SUBGRADE OF NEW GRADED SURFACE, WHICHEVER IS LOWER.
4. AFTER BUILDING SITE AREA IS CLEARED OF VEGETATION, STRIP THE EXISTING TOPSOIL TO THE DEPTH NECESSARY TO PROVIDE ADEQUATE CRAWL SPACE CLEARANCE (WHERE APPLICABLE), AND STOCKPILE MATERIAL FOR AREAS SHOWN ON DRAWINGS TO BE, TURFED OR PLANTED AND TO FILL PLANTERS.
5. LOCATE ALL UNDERGROUND UTILITIES AND CLEARLY MARK THEIR LOCATION PRIOR TO EXCAVATION. COORDINATE WITH UTILITY COMPANIES AND AGENCIES AS REQUIRED
6. WHERE UTILITY PLUGGING, CUTTING, CAPPING IS REQUIRED, PERFORM SUCH WORK IN ACCORDANCE WITH REQUIREMENTS OF THE UTILITY COMPANY OR GOVERNMENTAL AGENCIES HAVING JURISDICTION.
7. WHERE APPLICABLE, PROVIDE EROSION CONTROL AS REQUIRED TO PREVENT SEDIMENT FROM ENTERING STREAMS, RIVERS, SEWER, AND STORM DRAIN SYSTEMS.
8. DOWNSPOUTS SHALL TIE-IN TO NEW UNDERGROUND DRAINAGE SYSTEM AND TERMINATE IN PLANTED AREAS.
9. FINISH GRADE SHALL SLOPE MINIMUM 5% AWAY FROM RESIDENCE U.O.N.



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CONSULTANTS

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CMP CIVIL ENGINEERING & LAND SURVEYING
1607 CAPELL VALLEY RD
NAPA, CA 94559 P: (707) 252-3301

ISSUE DATE

PLANNING DEPARTMENT 2-29-2024

1 RESPONSE TO COMMENTS 7-5-2024

2 RESPONSE TO COMMENTS 10-7-2024

PROJECT

HOSSFELD
MCCOMBER
RESIDENCE

1270 LOMA VISTA DRIVE
NAPA, CA 94558

SHEET CONTENTS

SITE PLAN

DRAWN BY MN_MS

CHECKED BY JBJ

JOB NO. 23-005

SHEET NO.

A1.0
APN 039 670 014



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MCCOMBER
RESIDENCE

1270 LOMA VISTA DRIVE
NAPA, CA 94558

SHEET CONTENTS

ENLARGED
SITE PLAN

DRAWN BY	MN_MS
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CHECKED BY	JBJ
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JOB NO.	23-005
---------	--------

SHEET NO.

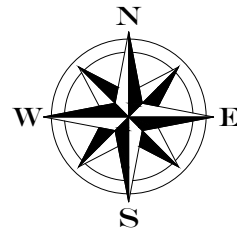
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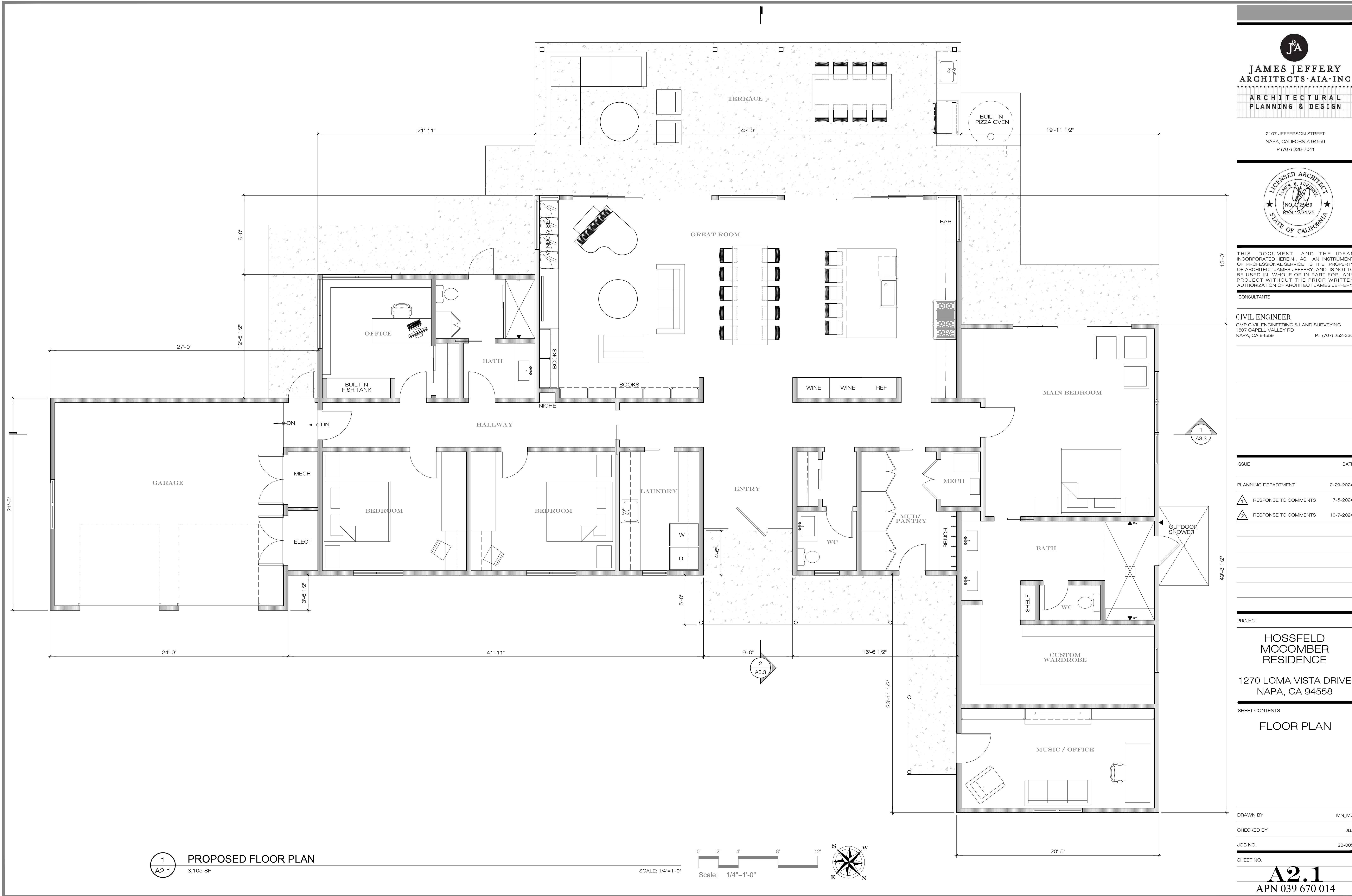
APN 039 670 014



1
A1.2 ENLARGED SITE PLAN

SCALE: 1" = 10'





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RESIDENCE

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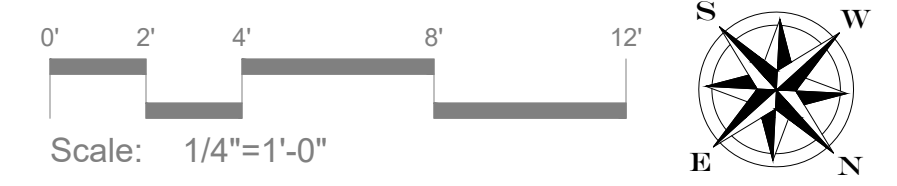
SHEET CONTENTS
FLOOR PLAN

DRAWN BY MN_MS
CHECKED BY JBJ
JOB NO. 23-005
SHEET NO.

A2.1
APN 039 670 014

1
A2.1
PROPOSED FLOOR PLAN
3,105 SF

SCALE: 1/4"=1'-0"



EXTERIOR FINISH SPECIFICATIONS

SIDING

1. EXTERIOR ACRYLIC FINISH WITH FINE SMOOTH BY LAHABRA
WITH INTEGRAL COLOR : MATCH COUNTY APPROVED COLOR
PALETTE 725a48

FASCIA

1. 1/8" STEEL FASCIA AND 2X2 STEEL OUTRIGGERS WITH MAT BLACK SPRAY PAINT FINISH TO MATCH WINDOW AND DOOR FRAMES

GUTTERS & DOWNSPOUTS

1. GUTTERS SHALL BE 5" HALF-ROUND WEATHERED COPPER GUTTERS, BRACKETS, AND 3" DIA. WEATHERED COPPER DOWNSPOUTS. ALL WORK SHALL COMPLY WITH SMACNA STANDARDS WITH GUTTER GUARDS TO PREVENT THE ACCUMULATION OF DEBRIS.
2. ALL DOWNSPOUTS SHALL BE TIED TO SUBSURFACE DRAINAGE SYSTEM, AND DAYLIGHT TO APPROVED LOCATION - REFER TO CIVIL DRAWINGS.

ROOFING

1. CLASS 'A' 1 1/2" STANDING SEAM METAL ROOF OVER 'TYVEK' PROTEC 120 WP MEMBRANE. INSTALL ROOFING AND UNDERLAYMENT PER MANUFACTURERS WRITTEN SPECIFICATIONS. COLOR: METAL SALES 'WEATHERED COPPER'

WINDOWS AND DOORS

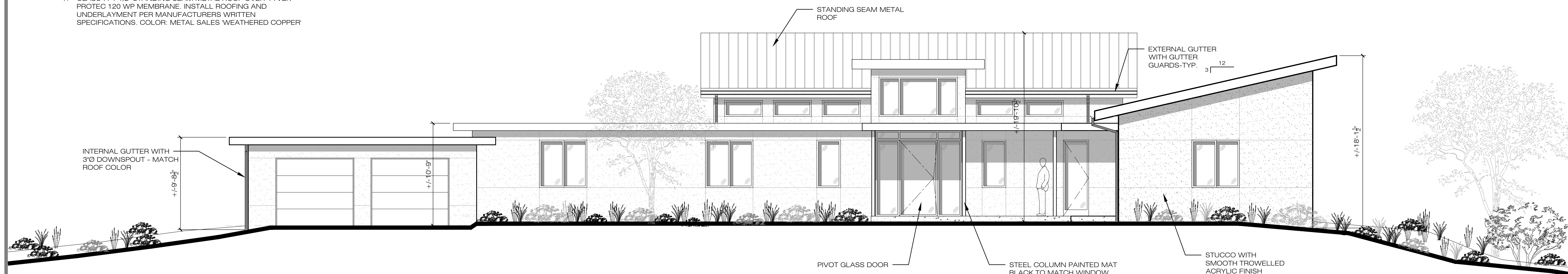
1. FLEETWOOD THERMALLY BROKEN BLACK ALUMINUM FRAMED

GLAZING

1. PPG INDUSTRIES 1" INSULATED SOLARBAN XL LOW-E NON-REFLECTIVE GLAZING WITH BLACK STAINLESS STEEL SPACERS

EXTEIRIOR NOTES

1. NEW EXTERIOR PORTLAND CEMENT FINISH SHALL COMPLY WITH CRC SECTION R703.6 REQUIREMENTS
2. ALL NEW ROOF COVERINGS SHALL BE CLASS 'A' PER NAPA COUNTY CODE.



1 NORTH ELEVATION
A3.1

SCALE: 3/16"=1'-0"



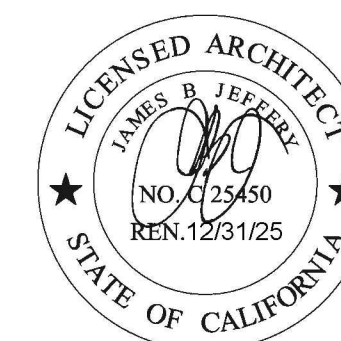
2 SOUTH ELEVATION
A3.1

SCALE: 3/16" = 1'-0"



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RESIDENCE

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SHEET CONTENTS

EXTERIOR
ELEVATION

DRAWN BY MN MS

CHECKED BY _____ J.B.

JOB NO. 23-005

SHEET NC

A3.0
APN 039 670 01



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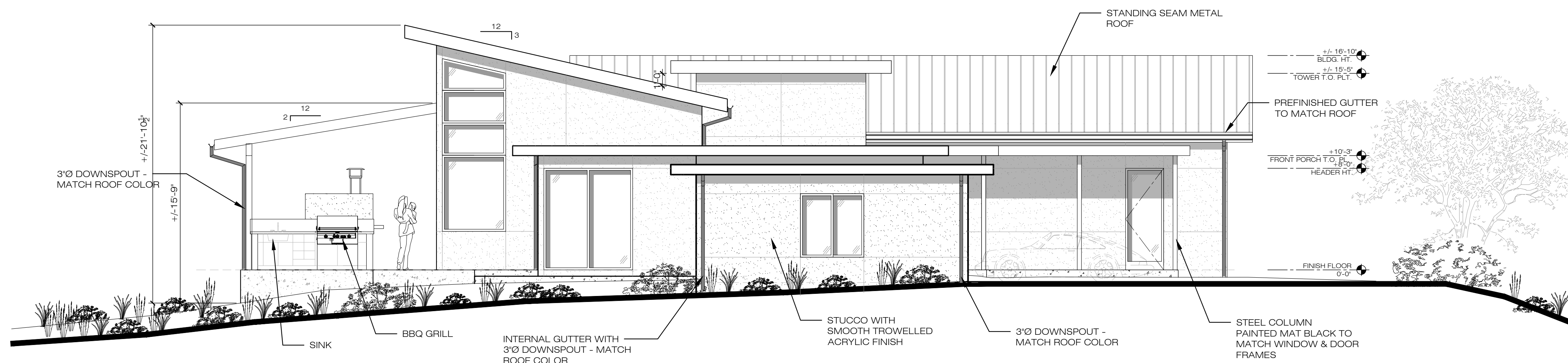
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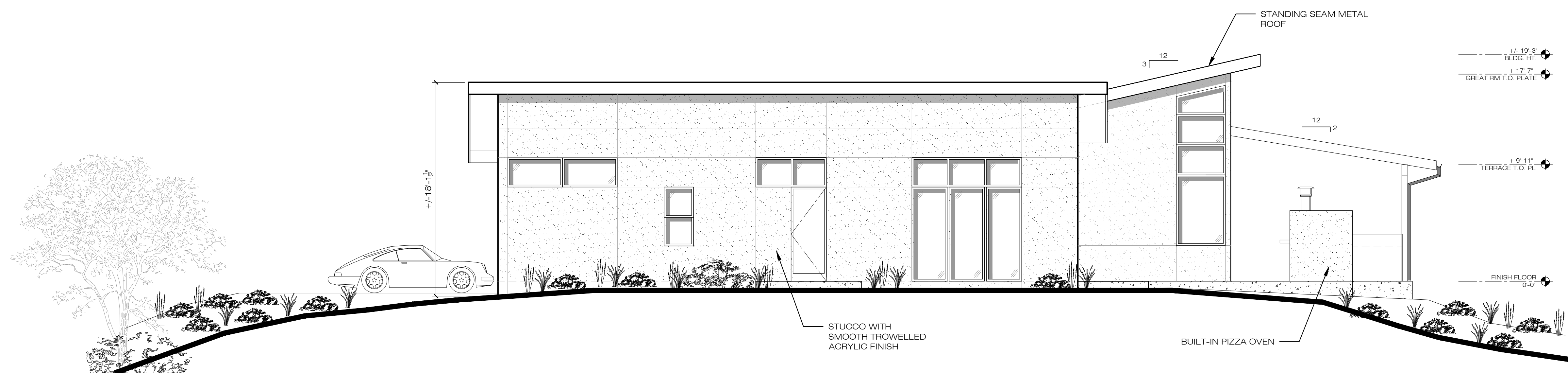
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1
A3.2
EAST ELEVATION

SCALE: 3/16"=1'-0"



2
A3.2
WEST ELEVATION

SCALE: 3/16"=1'-0"

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EXTERIOR
ELEVATION

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JOB NO. 23-005

SHEET NO.

A3.1
APN 039 670 014



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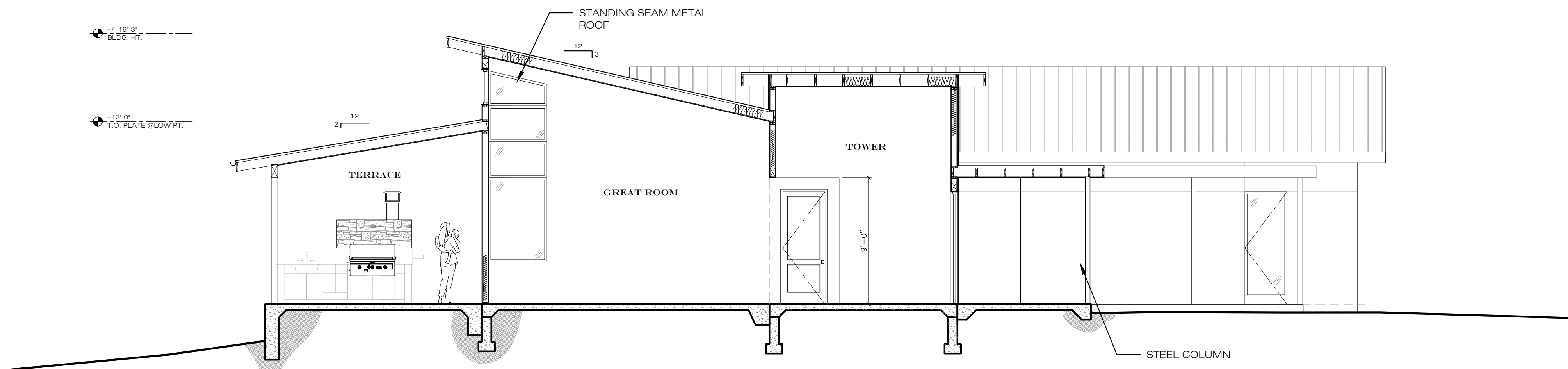
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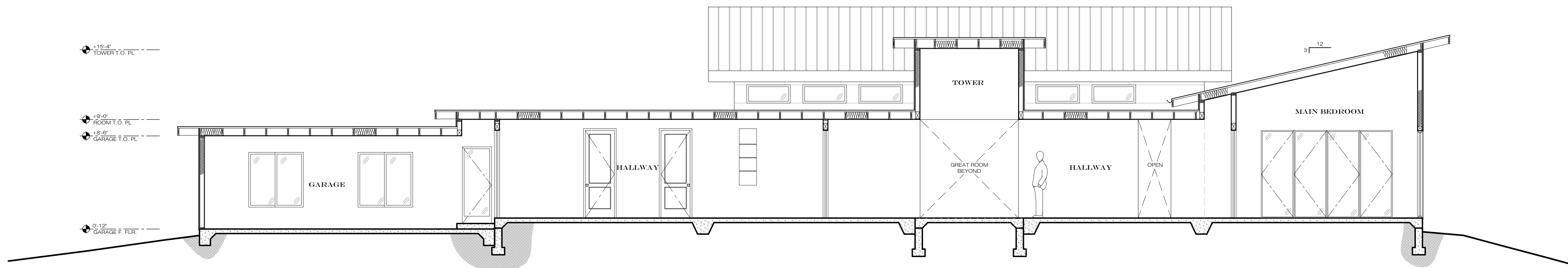
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1 CROSS SECTION
A3.3

SCALE: 3/16"=1'-0"



2 LONGITUDINAL SECTION
A3.3

SCALE: 3/16"=1'-0"

ISSUE DATE

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RESIDENCE**

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NAPA, CA 94558

SHEET CONTENTS

**BUILDING
SECTION**

DRAWN BY MN_MS

CHECKED BY JBJ

JOB NO. 23-005

SHEET NO.

A3.2
APN 039 670 014



1
RI

VIEW FROM SOUTHWEST

SCALE: NONE



2
RI

VIEW FROM NORTHWEST

SCALE: NONE

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SHEET CONTENTS

RENDERINGS

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SHEET NO.

R1
APN 039 670 014

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1
R2 VIEW FROM SIVERADO TR (CLO DU VAL WINERY)

SCALE: NONE

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RENDERING
SILVERADO TR VIEW

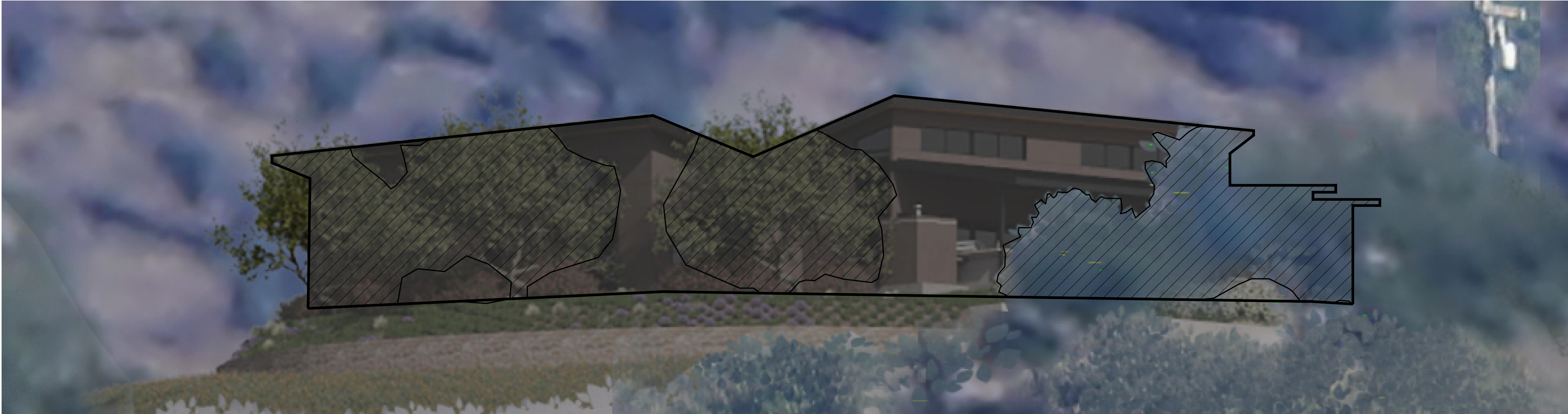
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SHEET NO.

R2
APN 039 670 014



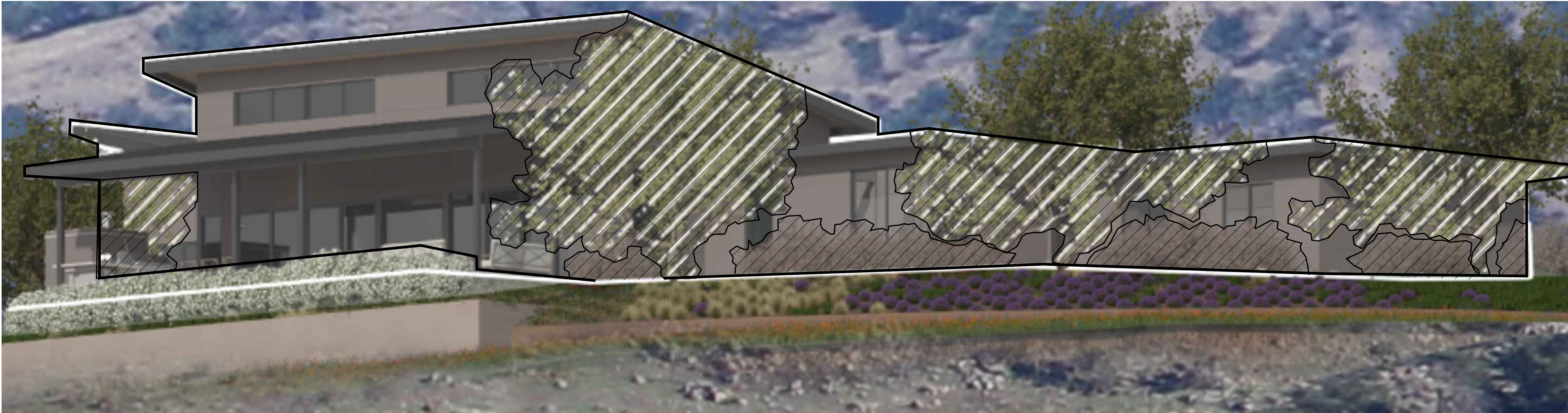
SCREENED AREA OF PROPOSED NEW RESIDENCE: 1,196 SF

VISIBLE AREA OF PROPOSED NEW RESIDENCE: 1,905 SF

SCREENED AREA = 62.7%

1 SITE VIEW LOOKING NORTH-WEST (SILVERADO TR FROM BLACK STALLION WINERY)

SCALE: 3/16" = 1'-0"



SCREENED AREA OF PROPOSED NEW RESIDENCE: 1,538 SF

VISIBLE AREA OF PROPOSED NEW RESIDENCE: 2,769 SF

SCREENED AREA = 55.5%

2 SITE VIEW LOOKING SOUTH-WEST (SILVERADO TR FROM CLOS DU VAL WINERY)

SCALE: 3/16" = 1'-0"

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SHEET NO.

1 **WF.1**
APN 039 670 014

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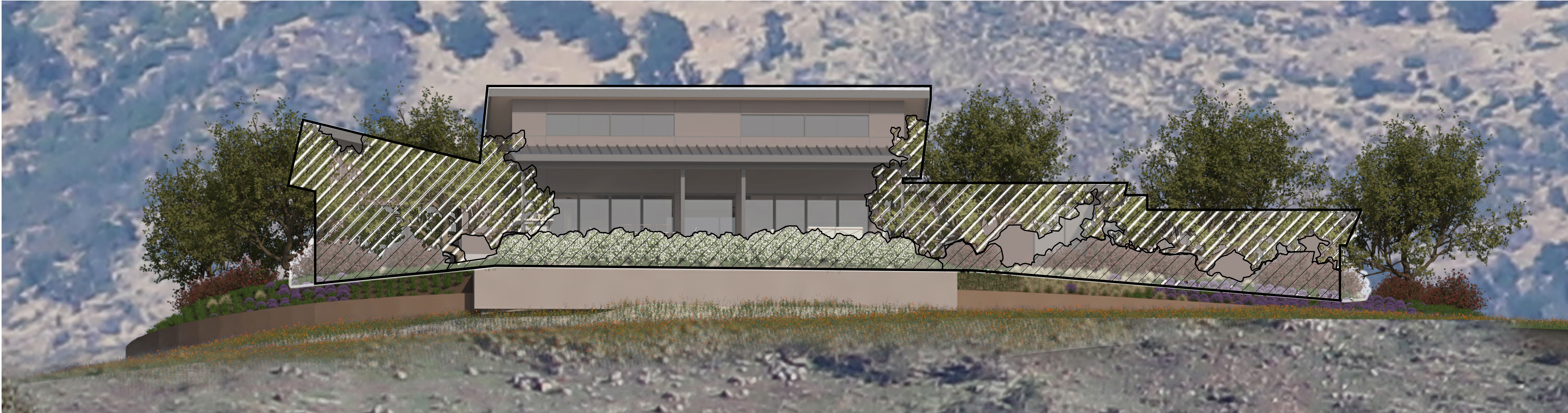
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SCREENED AREA OF PROPOSED NEW RESIDENCE:
874 SF

VISIBLE AREA OF PROPOSED NEW RESIDENCE: 1,543 SF

SCREENED AREA = 56.6%



SITE VIEW LOOKING WEST (FROM 5616 WASHINGTON ST., YOUNTVILLE - 3.6 miles)

SCALE: 3/16" = 1'-0"

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APN 039 670 014

TYPICAL EXTERIOR FINISHES:

STUCCO - BM HC-69
FASCIA - MATTE BLACK (HEX CODE 4c4c4c)

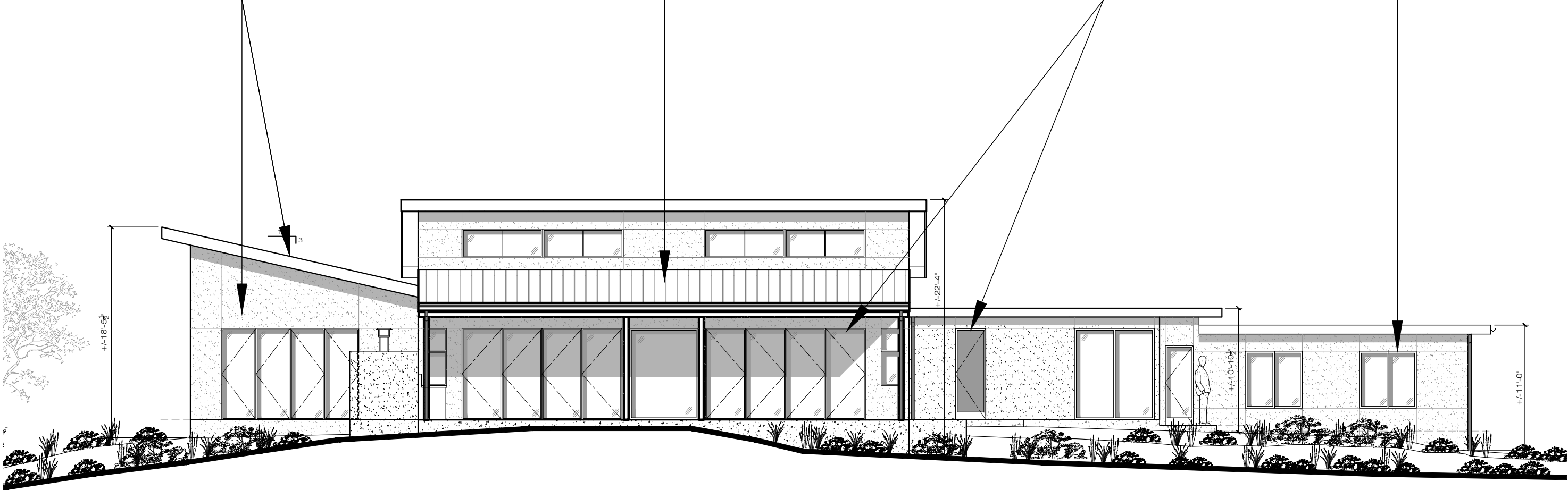


TYPICAL ROOF GUTTER AND DOWNSPOUTS:

METAL SALES - MATTE BLACK (HEX CODE 4c4c4c)



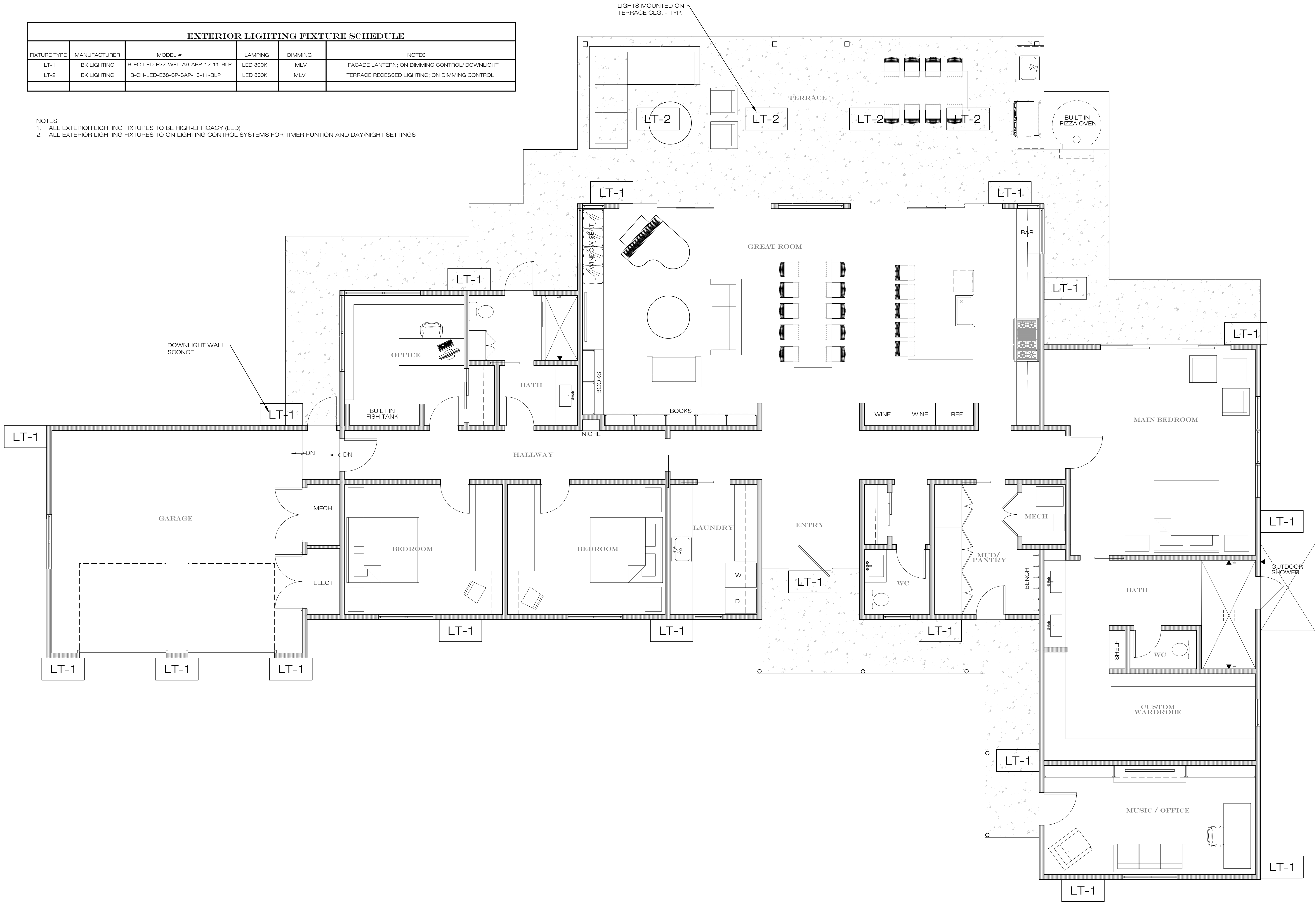
FLEETWOOD 3 SERIES BLACK ALUMINUM WINDOWS AND DOORS (HEX CODE 4c4c4c)



MCCOMBER RESIDENCE - COLOR PALETTE

EXTERIOR LIGHTING FIXTURE SCHEDULE					
FIXTURE TYPE	MANUFACTURER	MODEL #	LAMPING	DIMMING	NOTES
LT-1	BK LIGHTING	B-EC-LED-E22-WFL-A9-ABP-12-11-BLP	LED 300K	MLV	FACADE LANTERN; ON DIMMING CONTROL/DOWNLIGHT
LT-2	BK LIGHTING	B-CH-LED-E68-SP-SAP-13-11-BLP	LED 300K	MLV	TERRACE RECESSED LIGHTING; ON DIMMING CONTROL

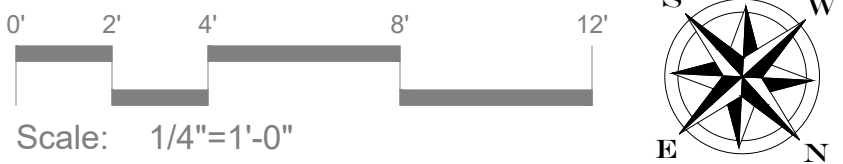
- NOTES:
- ALL EXTERIOR LIGHTING FIXTURES TO BE HIGH-EFFICACY (LED)
 - ALL EXTERIOR LIGHTING FIXTURES TO ON LIGHTING CONTROL SYSTEMS FOR TIMER FUNTION AND DAY/NIGHT SETTINGS



1
E2.0

MAIN FLOOR LIGHTING PLAN
3,105 SF

SCALE: 1/4"=1'-0"



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RESIDENCE**

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SHEET CONTENTS

**MAIN HOUSE
LIGHTING PLAN**

DRAWN BY MN_MS

CHECKED BY JBJ

JOB NO. 23-005

SHEET NO.

E2.0
APN 039 670 014

DRIVEWAY IMPROVEMENT PLAN

FOR THE

HOSSFELD RESIDENCE

LOCATED AT

1270 LOMA VISTA DRIVE

NAPA, CA 94558

APN: 039-670-014

ABBREVIATIONS					
AB	AGGREGATE BASE	ESMT	EASEMENT	R	RADIUS
AC	ASPHALT CONCRETE	ETW	EDGE OF TRAVELED WAY	RC	REINFORCED CONCRETE PIPE
AC	AIR CONDITIONING	EVC	END VERTICAL CURVE	RD	RELATIVE DENSITY
AD	AREA	FC	FACE OF CURB	RQ	REQUIRED
AP	ANGLE POINT	FF	FINISHED FLOOR	RM	RIM ELEVATION
APR	APPROVED	FG	FINISHED GRADE	RSS	ROAD & STREET STANDARDS
ARV	ARREST VALVE	FI	FIRE HYDRANT	RT	RIGHT
BC	BEGIN CURVE	FI	FIELD INLET	RT	RIGHT OF WAY
BCR	BEGIN CURVE RETURN	FL	FLOW LINE	RW	REDWOOD
BM	BENCHMARK	GB	GRADE BREAK	RW	RETAINING WALL
BOW	BOWLING WALK	GR	GRATE ELEVATION	ST	STORM DRAIN
BP	BEGINNING POINT	HP	HIGH POINT	STE	STORM DRAIN EASEMENT
BVC	BEGIN VERTICAL CURVE	INV	INVERT ELEVATION	SDMH	STORM DRAIN MANHOLE
BW	BACK OF WALK	IR	IRRIGATION	SE	SIDEWALK EASEMENT
BOW	BACK OF WALK	JP	JOINT UNION/JUNCTION POLE	SF	SQUARE FEET
CL	CENTER LINE	JT	JOINT TRENCH	SEC	SPECIFICATIONS
CLR	CLEAR	LAT	LATERAL	SEE	SANITARY SEWER
CLP	CATCH BASIN	LAT	LINEAL FEET	SSE	SANITARY SEWER EASEMENT
CM	CORRUGATED METAL PIPE	LO	UP OF GUTTER	SSLT	SANITARY SEWER LATERAL
CO	CLEAN OUT	LP	LOW POINT	SSMH	SANITARY SEWER MANHOLE
CP	CORNER PILE	LT	LEFT	STA	STATION
CP	CONTROL POINT	MAX	MAXIMUM	STD	STANDARD
CPP	CORRUGATED PLASTIC PIPE	MB	MANHOLE	STLT	STREET LIGHT
CR	CURB RETURN	MA	MAINTENANCE	TLT	TOTAL
CS	DECOMPOSED GRANITE	MIN	MINIMUM	TRE	TREE BOX
DI	DRAIN INLET	NCR	NAPA COUNTY RECORDS	TC	TOP OF CURB
DWY	DRIVEWAY	ORR	ORNAMENTAL TREE	TD	TRENCH DRAIN
EX	EXISTING	OHV	OVERHEAD UTILITY WIRE	TEMP	TEMPERATURE
EA	EACH	P	PROPOSED	TG	TOP OF GRADE
EC	END CURVE	PI	POINT OF INTERSECTION	TW	TOP OF WALL
EGR	END CURB RETURN	PL	PROPERTY LINE	TY	TYPICAL
EX	EXISTING GRADE	PSE	PRIVATE STORM DRAIN ESMT	UN	UNDER GROUND ELECTRICAL
EG	EDGE OF GRAVEL	PUE	PUBLIC UTILITY EASEMENT	UNO	UNLESS OTHERWISE NOTED
EL	ELEVATION	PVC	POLY(VINYL CHLORIDE)	W	WATER
EQ	EDGE OF PAVEMENT	PVC	VERTICAL CURVE INTERSECTION	WAT	WATER SERVICE LATERAL
EQ	EQUAL	PAV	PAVEMENT	WM	WATER METER

LINE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		CENTERLINE
		SANITARY SEWER PIPE
		STORM DRAIN PIPE
		WATER PIPE
		BURIED ELECTRIC
		OVERHEAD ELECTRIC
		GAS LINE
		CONTOURS
		LIMITS OF GRADING
		TREE DRIP LINE
		FENCE LINE

TURNOUT REQUIREMENTS

DRIVEWAY LENGTH	EXISTING UNITS SERVED	PROPOSED UNITS	MAXIMUM TURNOUT SPACING	REQUIRED TURNOUTS	TURNOUTS PROVIDED
3,364 FEET	3	1	400 FEET	9	10

UNAUTHORIZED CHANGES & USES:

THE ENGINEER/SURVEYOR PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND APPROVED BY THE DESIGNER OF THESE PLANS.

PROPERTY LINES:

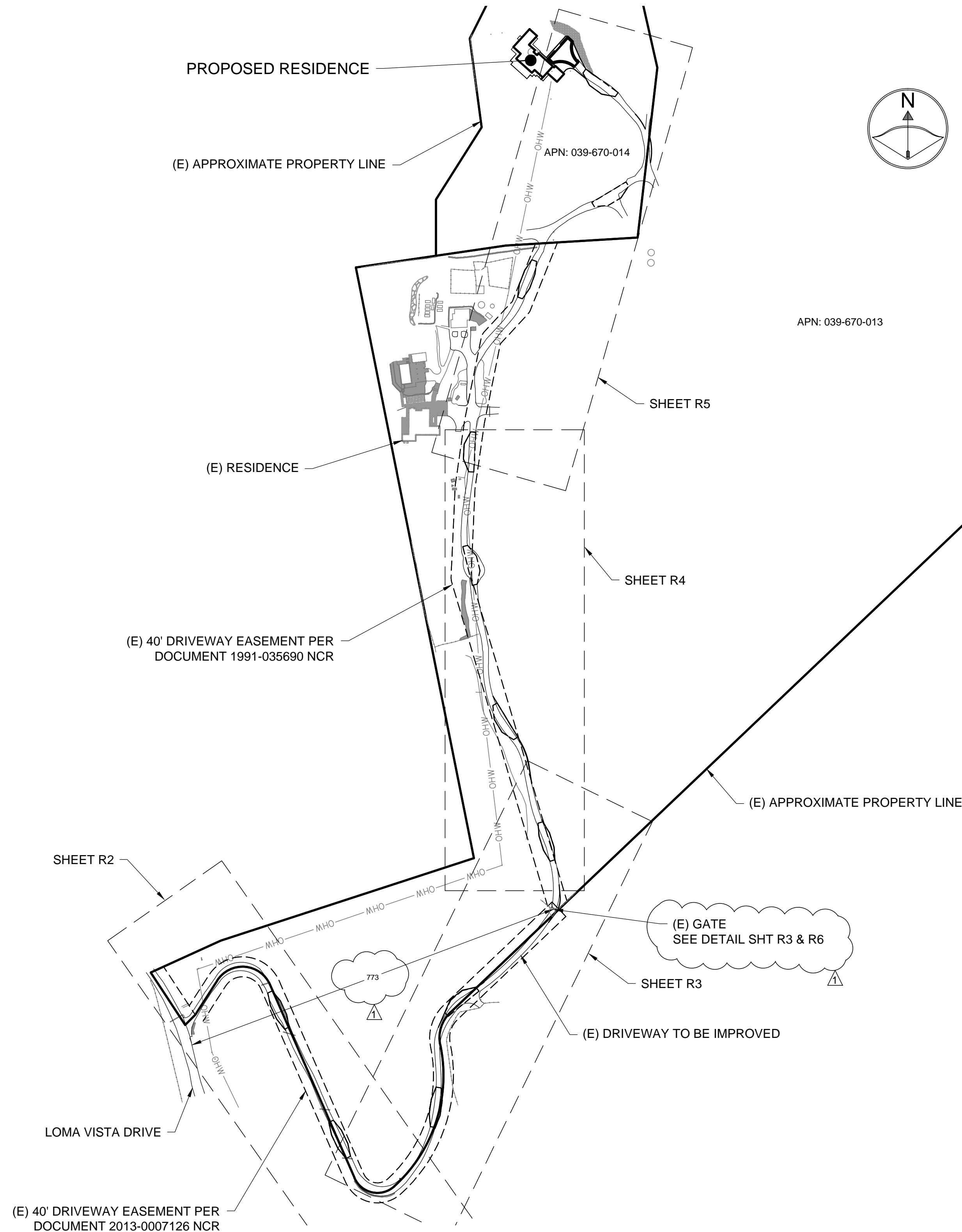
THE PROPERTY LINES SHOWN HEREON ARE BASED ON PRELIMINARY SURVEY DATA, AND ARE FOR REFERENCE ONLY. THIS IS NOT A BOUNDARY SURVEY MAP AND SHOULD NOT BE USED AS SUCH.

SURVEY STATEMENT:

THIS MAP IS BASED ON FIELD SURVEY INFORMATION PERFORMED BY CMP CIVIL ENGINEERING & LAND SURVEYING IN JULY OF 2018 AND FEBRUARY OF 2023. THIS MAPS VERTICAL AND HORIZONTAL DATUM IS ASSUMED. EXISTING FIELD SURVEY CONTOURS ARE SHOWN AS FOLLOWS: MAJOR =5', MINOR =1'.

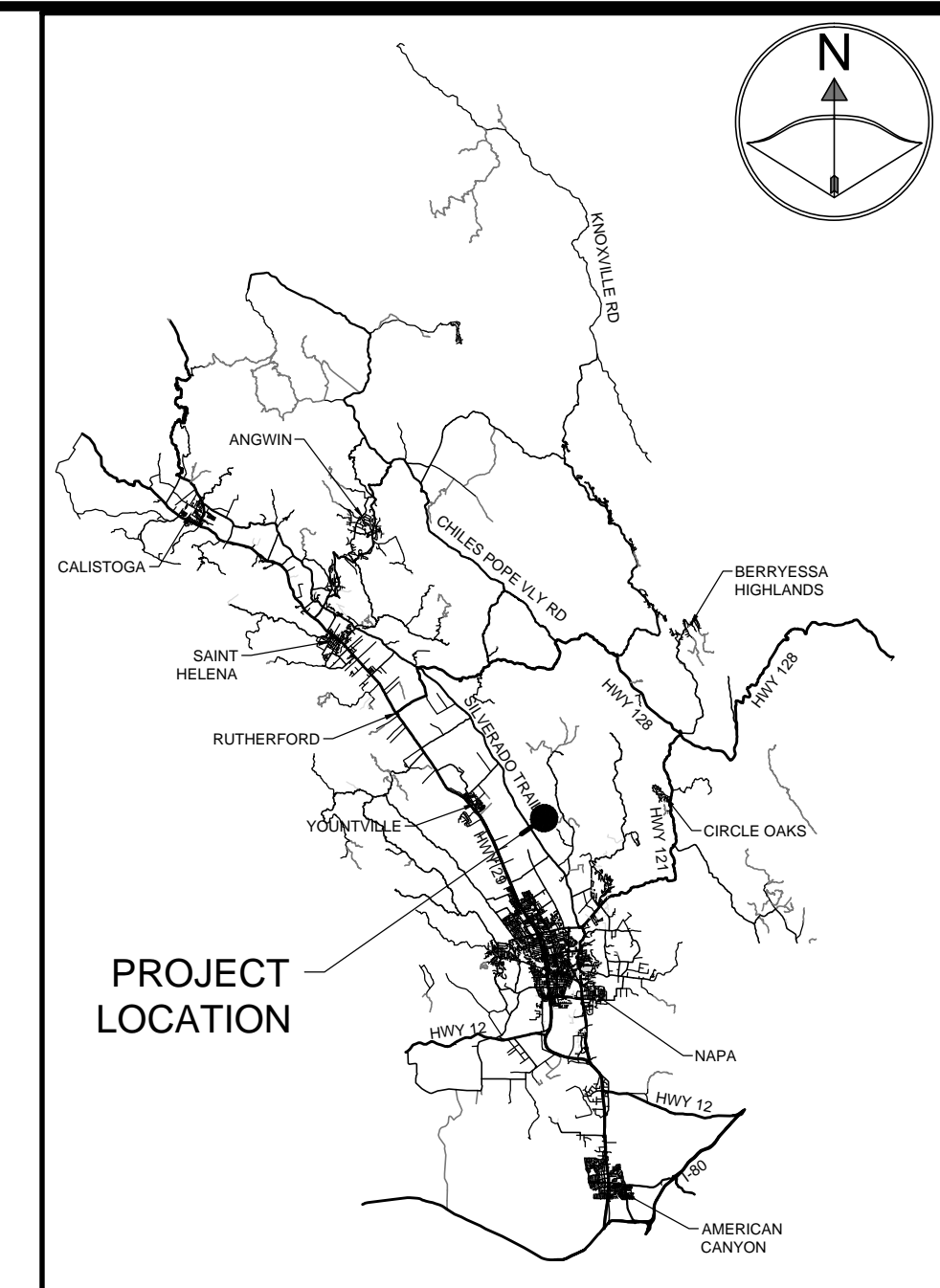
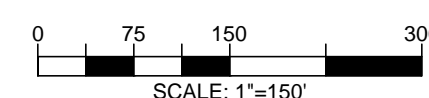
OWNER
LUCIA HOSSFELD
1270 LOMA VISTA DRIVE
NAPA, CA 94558

CIVIL ENGINEER
CMP CIVIL ENGINEERING & LAND SURVEYING
CAMERON PRIDMORE PE, PLS
1607 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 266-2559
CAMERON@CMPENGINEERING.COM



SITE PLAN

SCALE 1" = 150'



SHEET INDEX

<u>SHT</u>	<u>DESCRIPTION</u>
R1	DRIVEWAY IMPROVEMENT TITLE SHEET
R2	DRIVEWAY IMPROVEMENT PLAN 1
R3	DRIVEWAY IMPROVEMENT PLAN 2
R4	DRIVEWAY IMPROVEMENT PLAN 3
R5	DRIVEWAY IMPROVEMENT PLAN 4
R6	DETAILS

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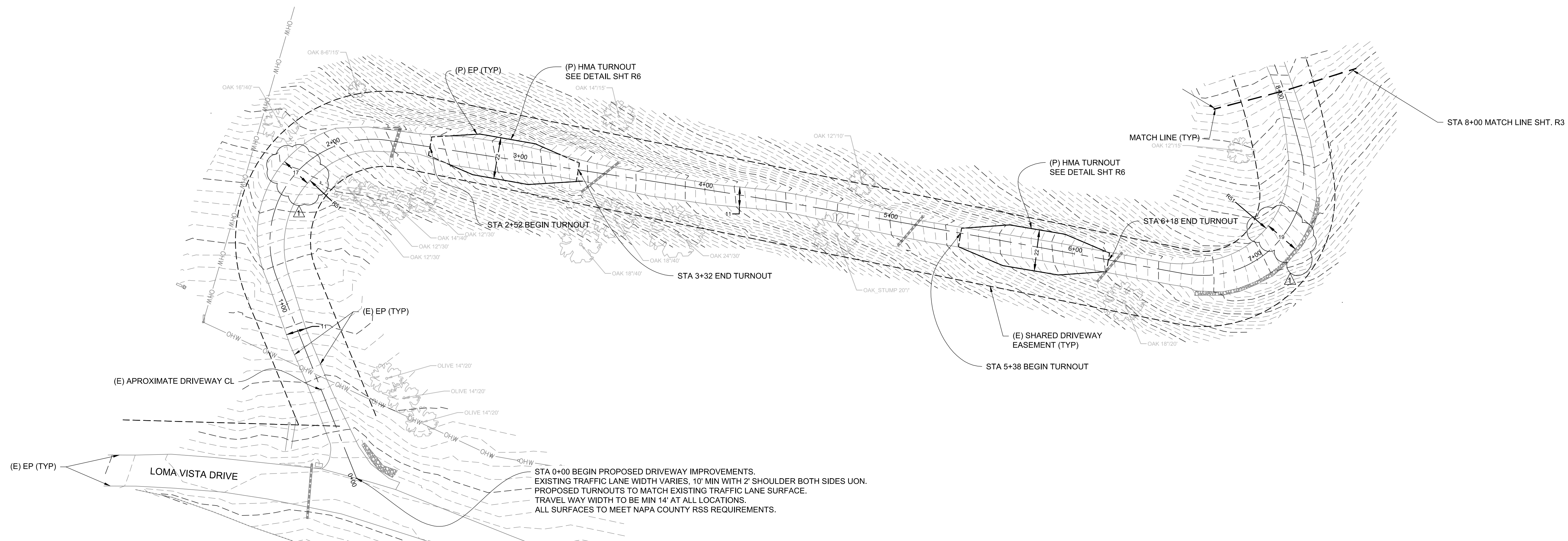
HOSSFELD RESIDENCE
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

TITLE SHEET

R1

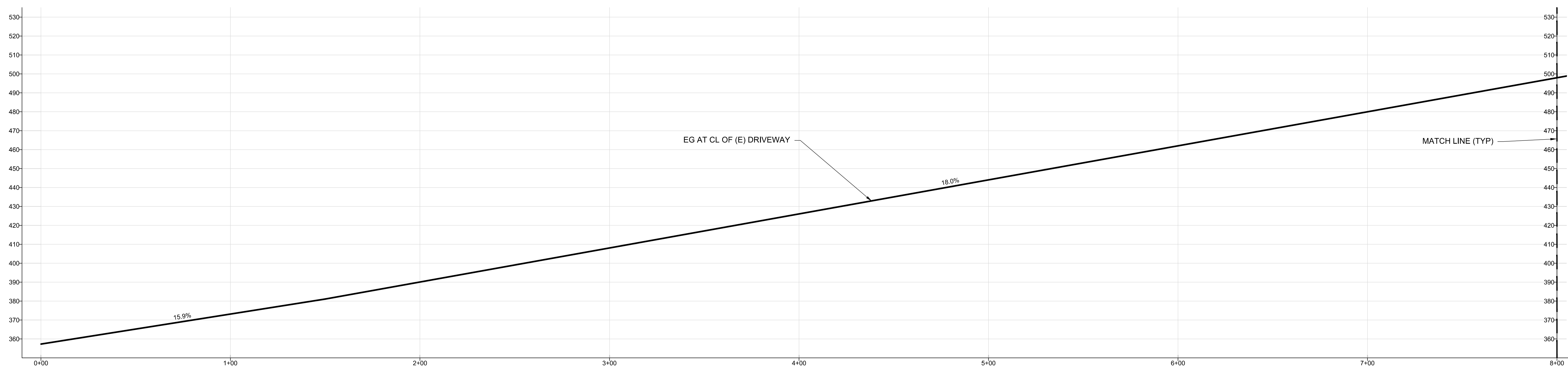


Carrie Phelan



DRIVEWAY IMPROVEMENT PLAN 1

SCALE 1" = 30'

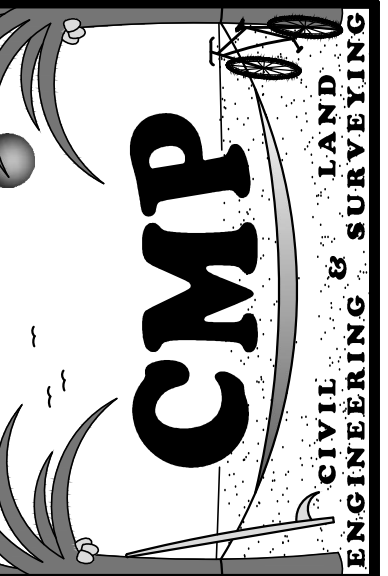
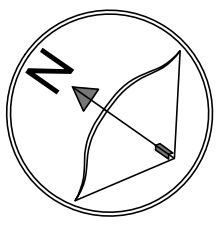


DRIVEWAY IMPROVEMENT PROFILE 1

SCALE 1" = 30'



Carrie Phelan



PREPARED BY: **CMP CIVIL ENGINEERING &
LAND SURVEYING INC.**
1607 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 266-2559
CAMERON@CMPENGINEERING.COM

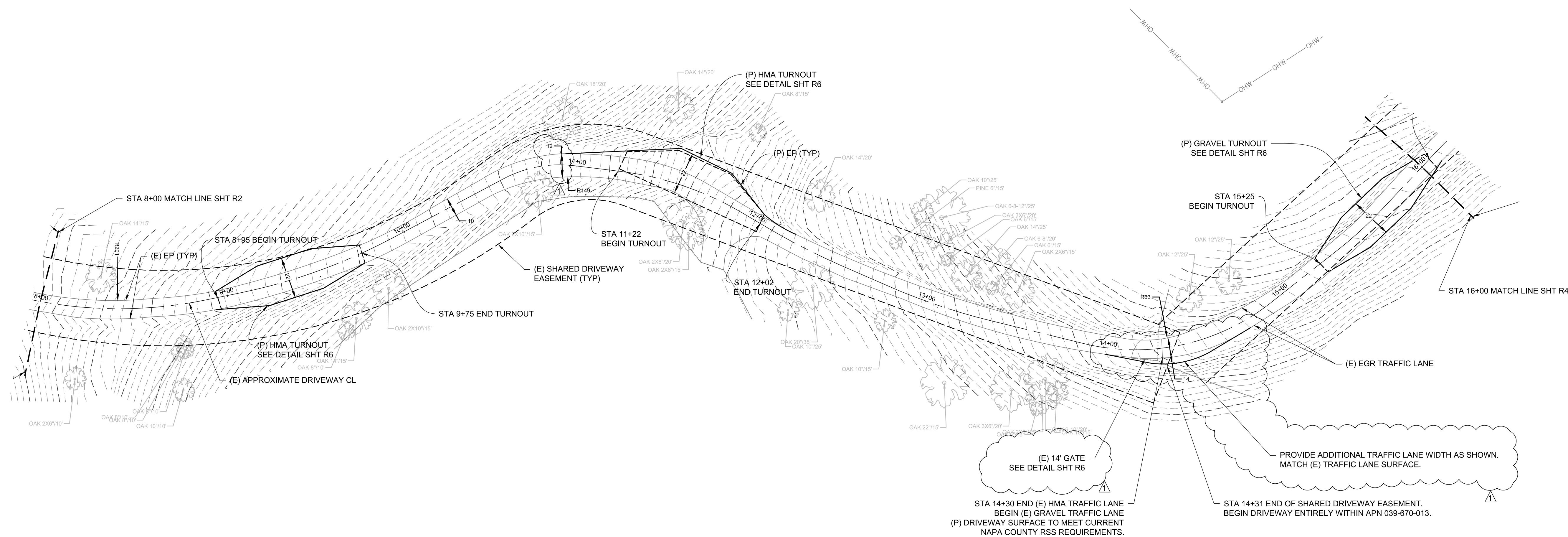
PROJECT #: 00447 DATE: 6/18/24

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NFO: HOSSFELD RESIDENCE
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

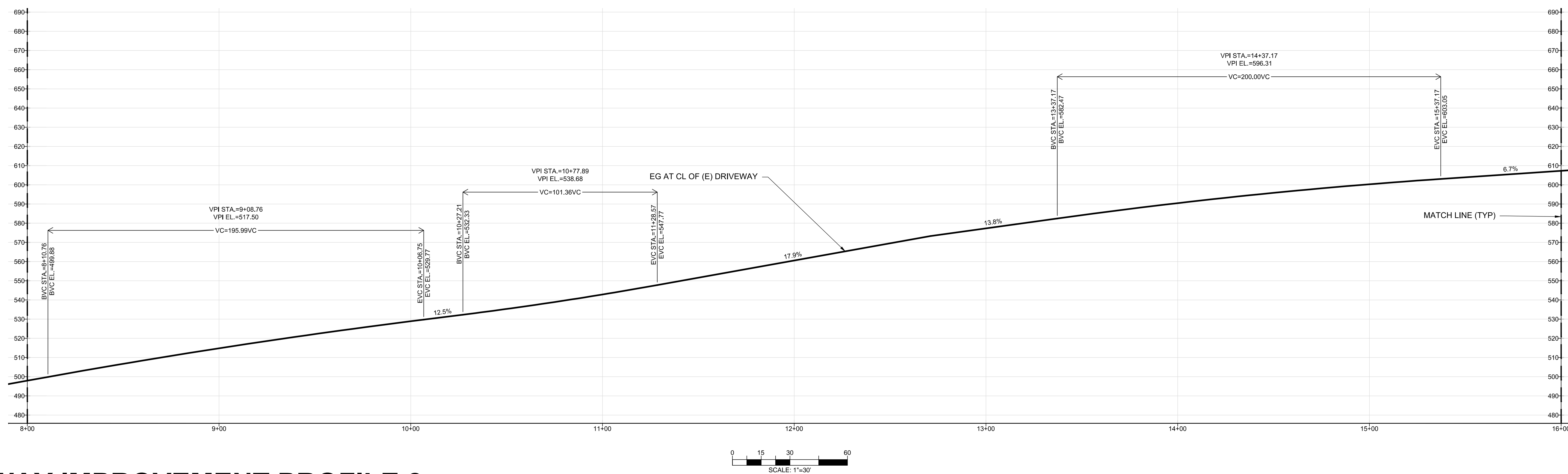
SHEET NAME: DWY IMPROVEMENT PLAN 1

R2



DRIVEWAY IMPROVEMENT PLAN 2

SCALE 1" = 30'

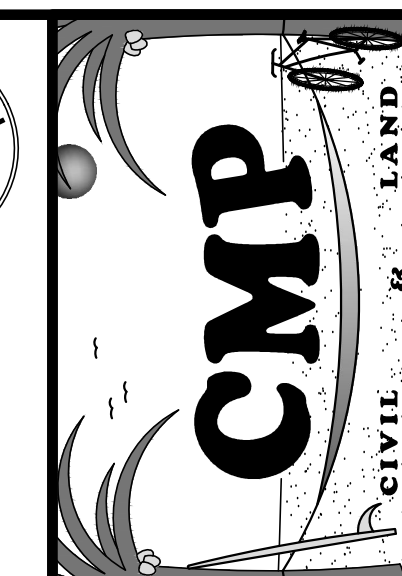
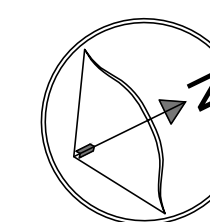


DRIVEWAY IMPROVEMENT PROFILE 2

SCALE 1" = 30'



Carrie Phelan



EPARED BY:

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LAND SURVEYING INC.**
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NAPA, CA 94558
(707) 266-2559
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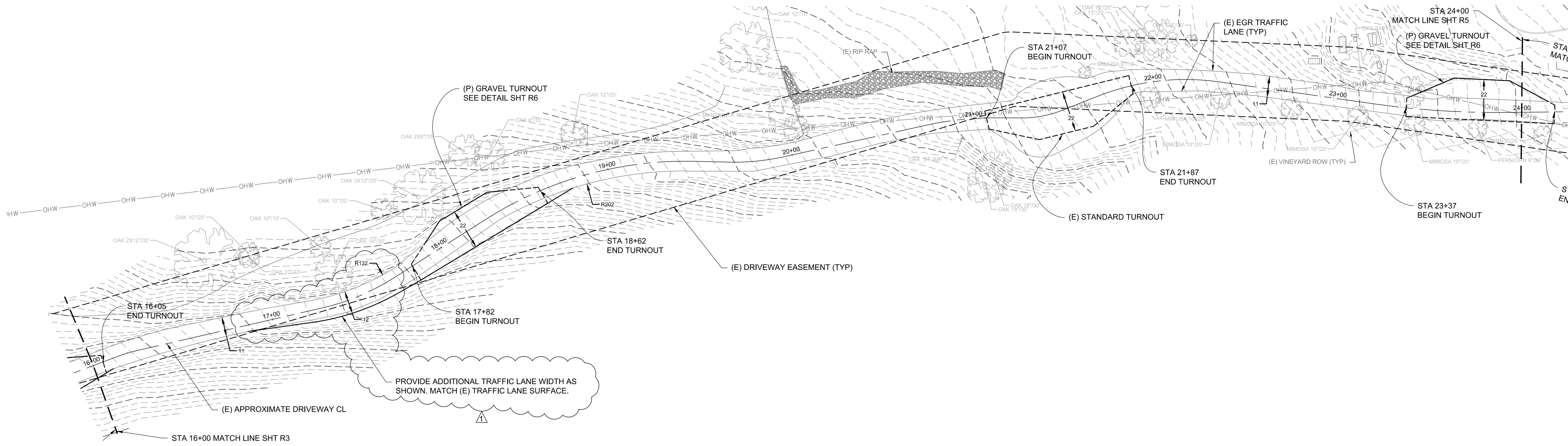
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1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

DWY IMPROVEMENT
PLAN 2

SHEET NAME:

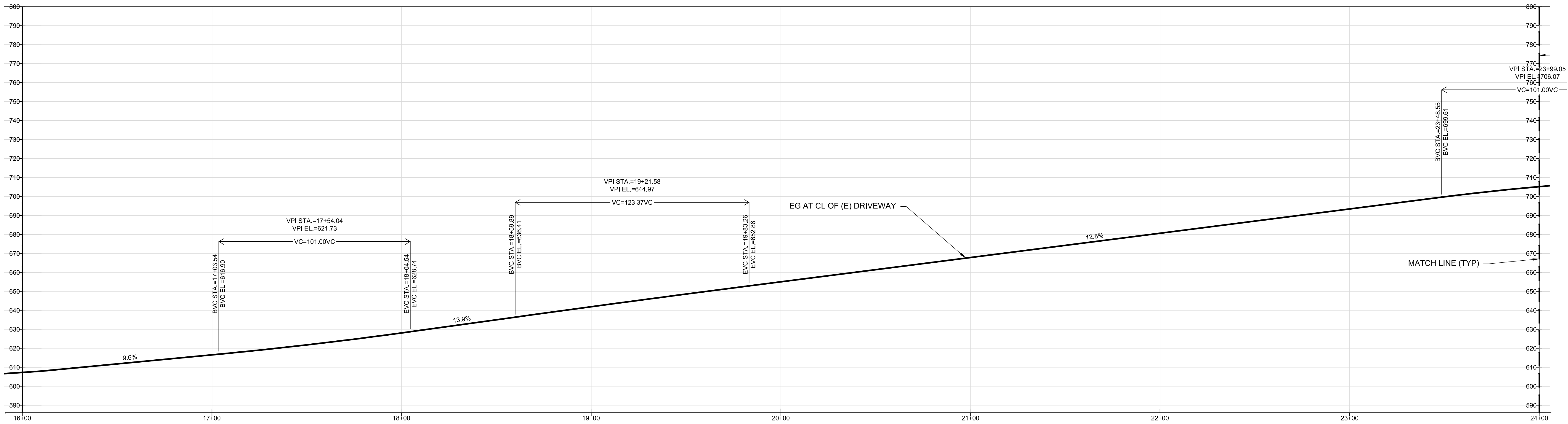
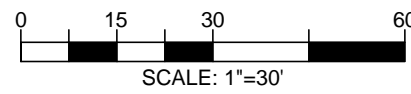
SHEET

R3



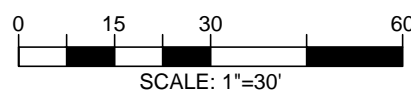
DRIVEWAY IMPROVEMENT PLAN 3

SCALE 1" = 30'



DRIVEWAY IMPROVEMENT PROFILE 3

SCALE 1" = 30'



Cameron Primore



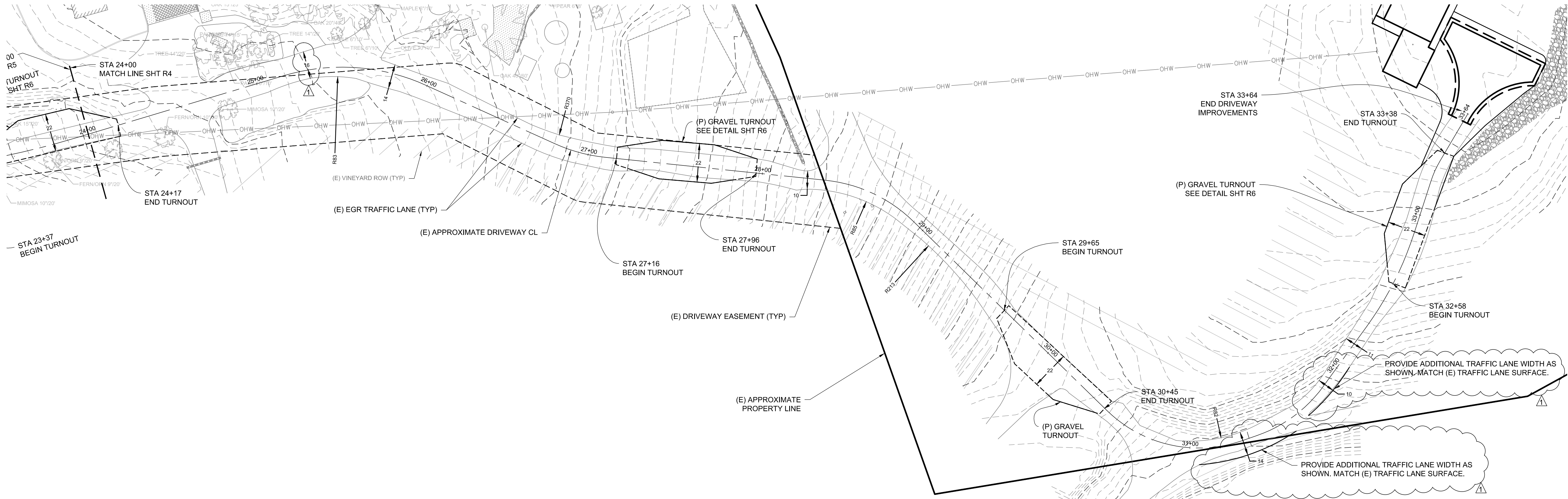
PREPARED BY:
CMP CIVIL ENGINEERING &
LAND SURVEYING INC.
1607 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 266-2559
CAMERON@CMPENGINEERING.COM
PROJECT #: 00447

REV. #	DESCRIPTION	DATE
1	COUNTY COMMENTS DATED 9/10/24	9/18/24

PROJECT INFO:
HOSSFELD RESIDENCE
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

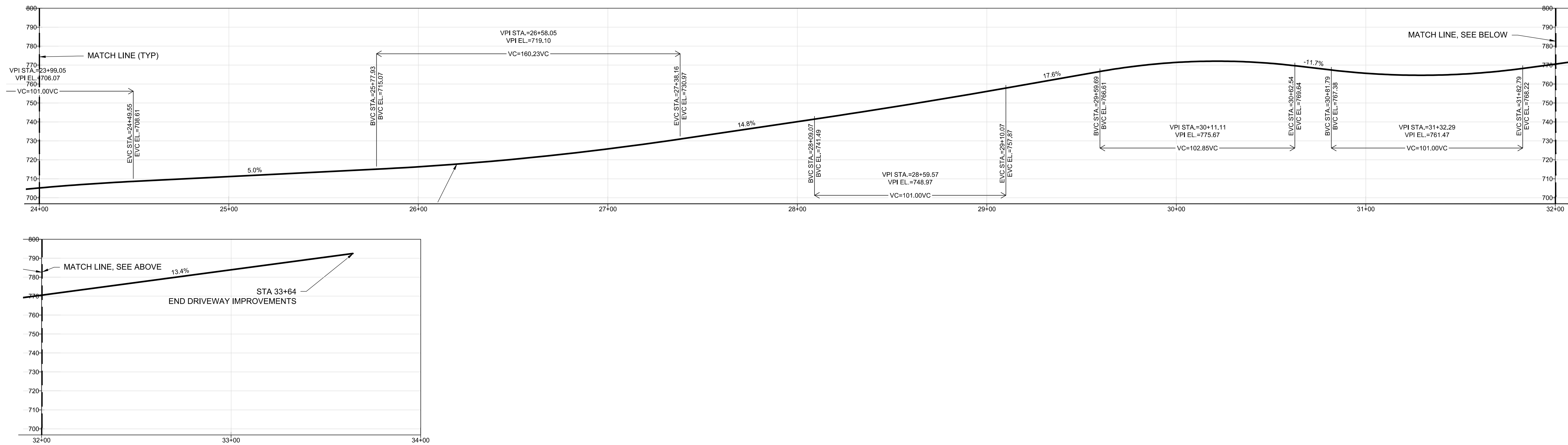
SHEET NAME:
DWY IMPROVEMENT
PLAN 3
SHEET:

R4



DRIVEWAY IMPROVEMENT PLAN 4

SCALE 1" = 30'

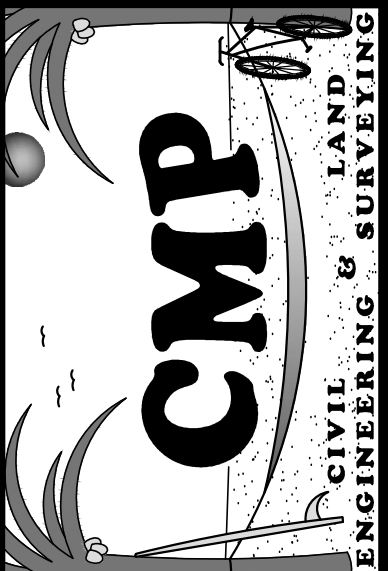


DRIVEWAY IMPROVEMENT PROFILE 4

SCALE 1" = 30'



Cameron Priore



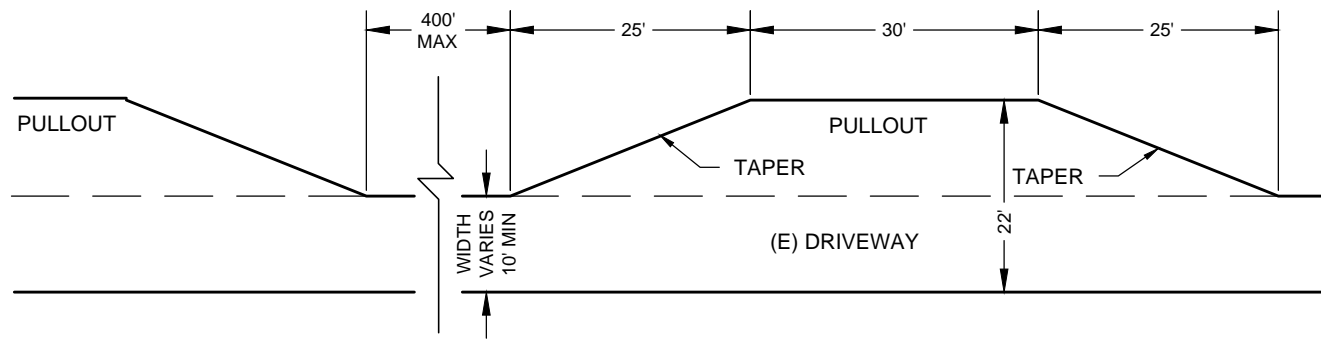
PREPARED BY:
CMP CIVIL ENGINEERING &
LAND SURVEYING INC.
1807 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 266-2559
CAMERON@CMPENGINEERING.COM
PROJECT #: 00447
DATE: 6/18/24

REV. #	DESCRIPTION	DATE
1	COUNTY COMMENTS DATED 9/10/24	9/18/24

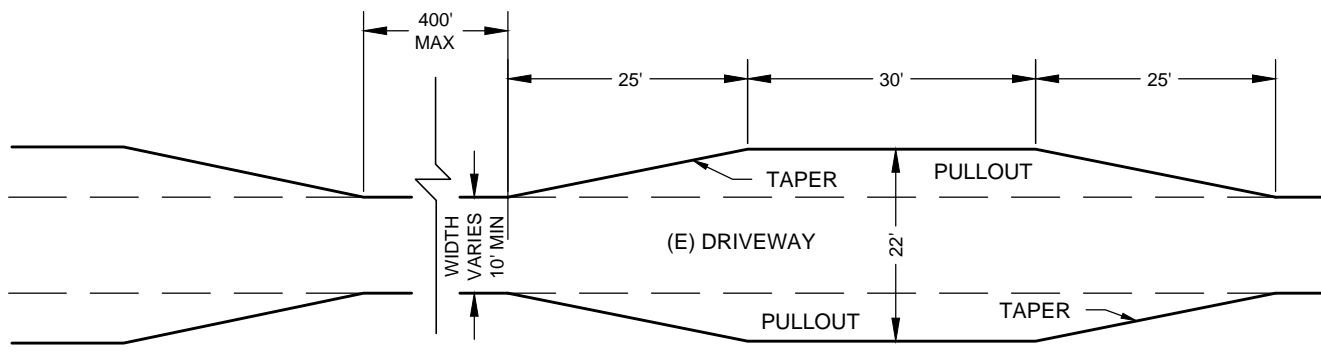
PROJECT INFO:
HOSSFELD RESIDENCE
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

DWY IMPROVEMENT
PLAN 4

SHEET NAME:
R5
SHEET:
OF 6

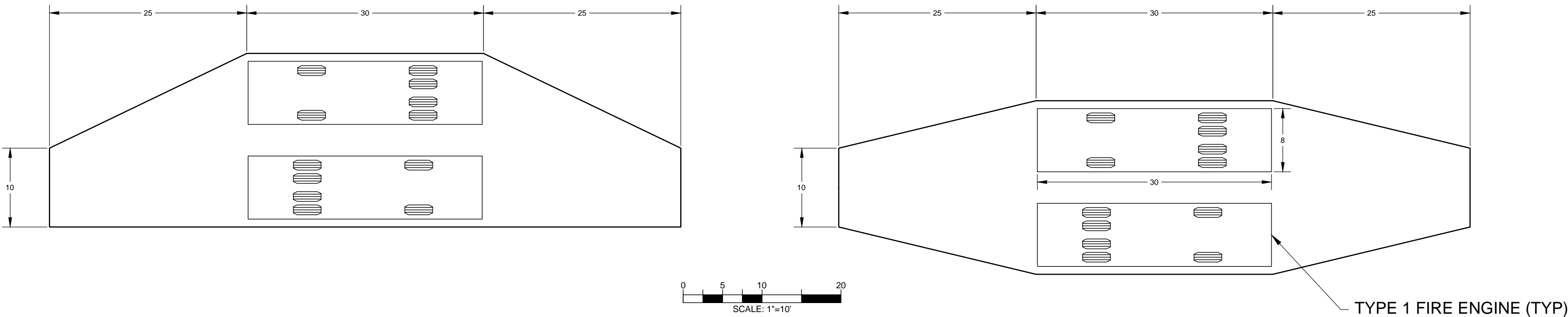


STANDARD OFFSET DRIVEWAY TURNOUT
NTS



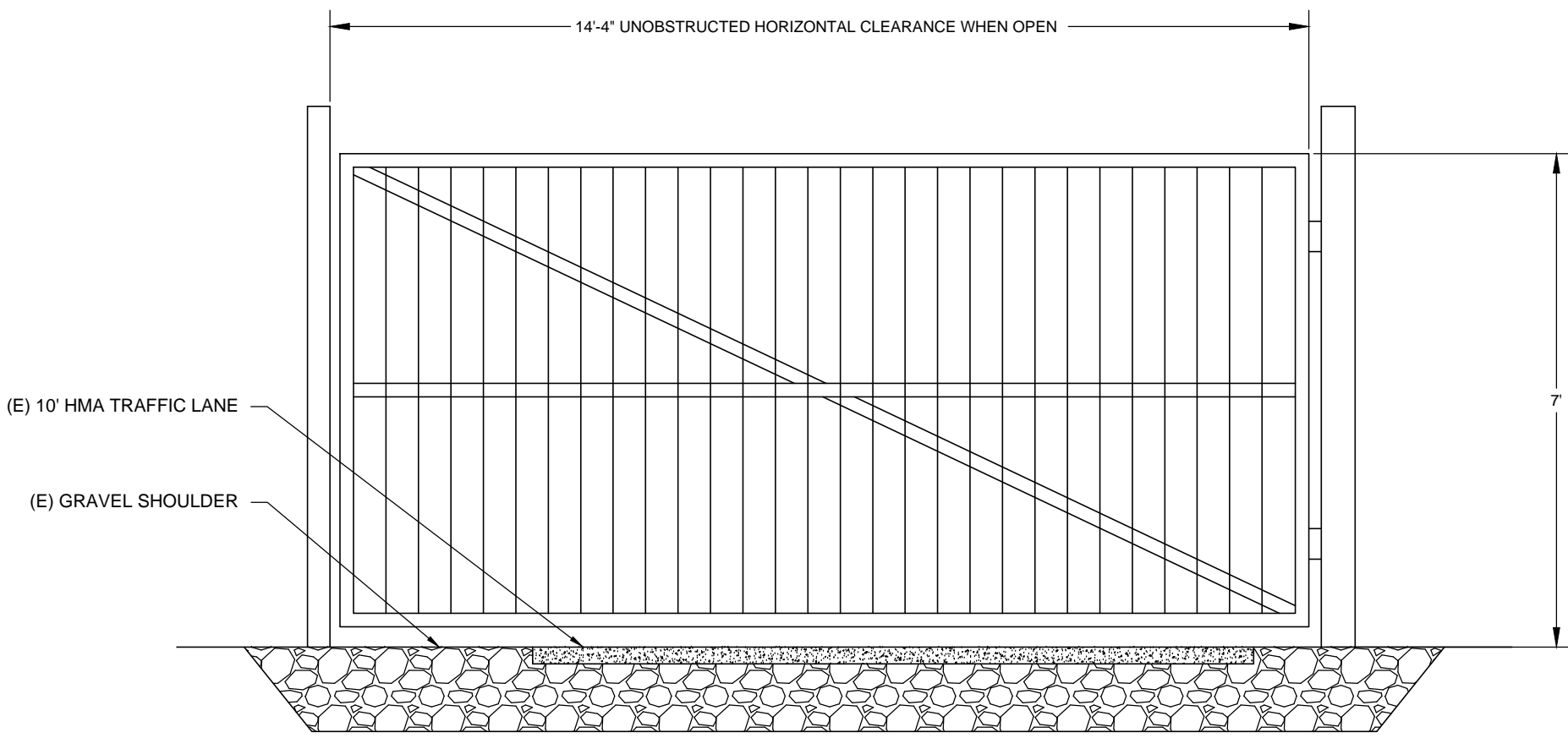
STANDARD CENTERED DRIVEWAY TURNOUT
NTS

DRIVEWAY TURNOUT COMPARISON



OFFSET AND CENTERED TURNOUT DESIGNS PROVIDE EQUIVALENT PASSING OPPORTUNITY WITHIN AN 80' DISTANCE.

1



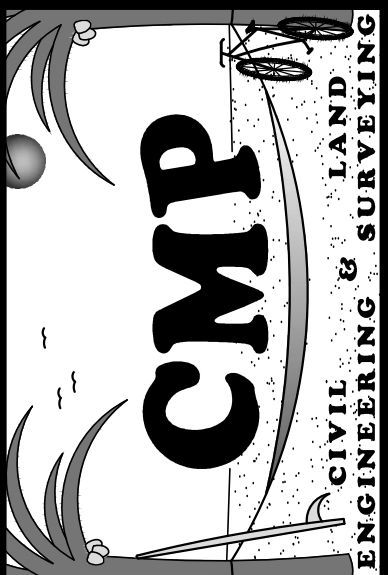
GATE SWINGS OUT AS SHOWN ON SHT R3

EXISTING GATE DETAIL
NTS

1



Cameron Pridmore



PREPARED BY:
CMP CIVIL ENGINEERING & LAND SURVEYING INC.
1607 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 266-2559
CAMERON@CMPENGINEERING.COM
PROJECT #: 00447 DATE: 8/18/24

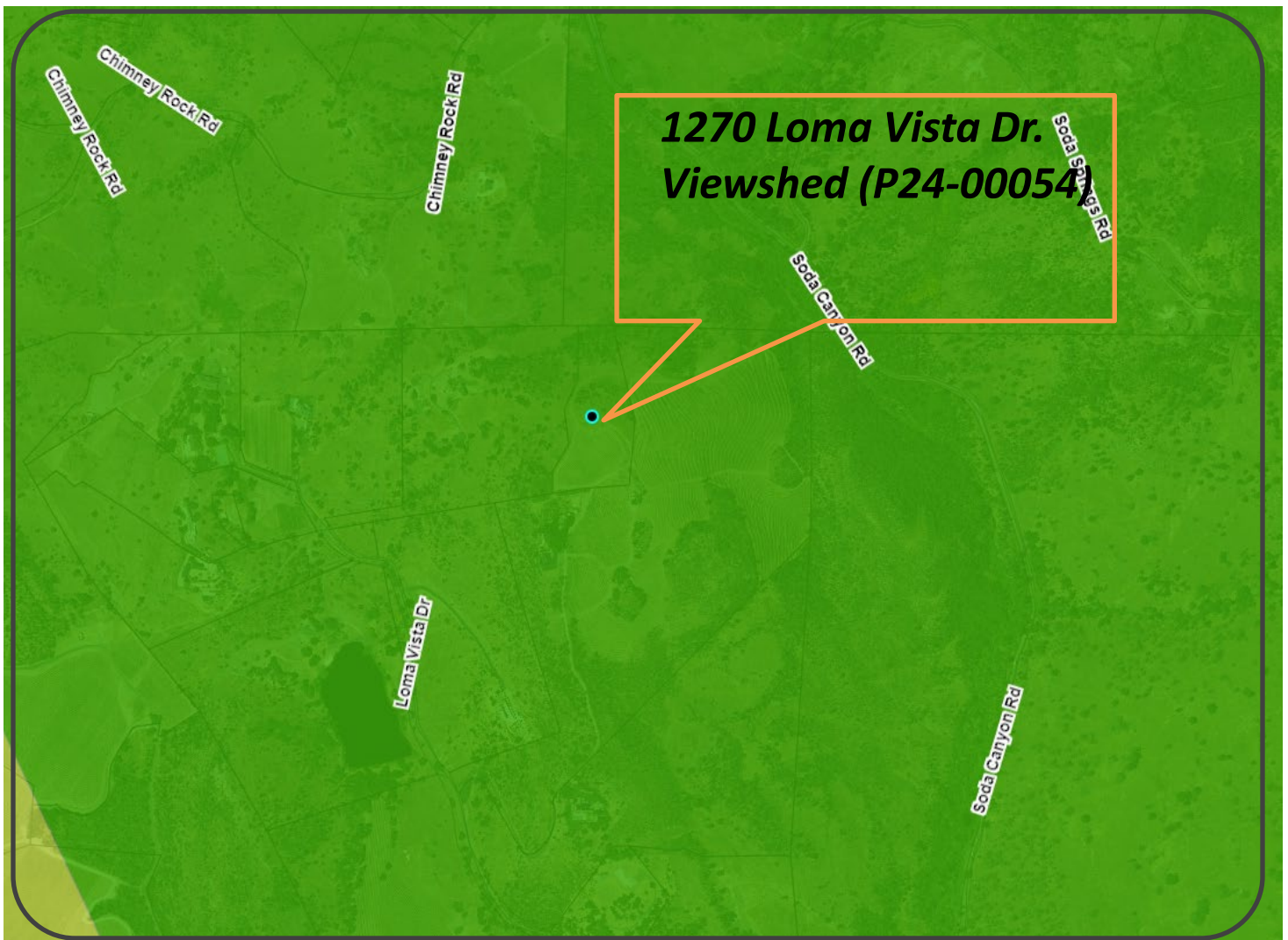
REV. #	DESCRIPTION	DATE
1	COUNTY COMMENTS DATED 9/10/24	9/18/24

PROJECT INFO:
HOSSFELD RESIDENCE
1270 LOMA VISTA DRIVE
NAPA, CA 94558
APN: 039-670-014

SHEET NAME:
DETAILS

SHEET:
R6

NAPA COUNTY LAND USE PLAN 2008 – 2030



SCALE IN MILES
0 ½ Mile]

LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional

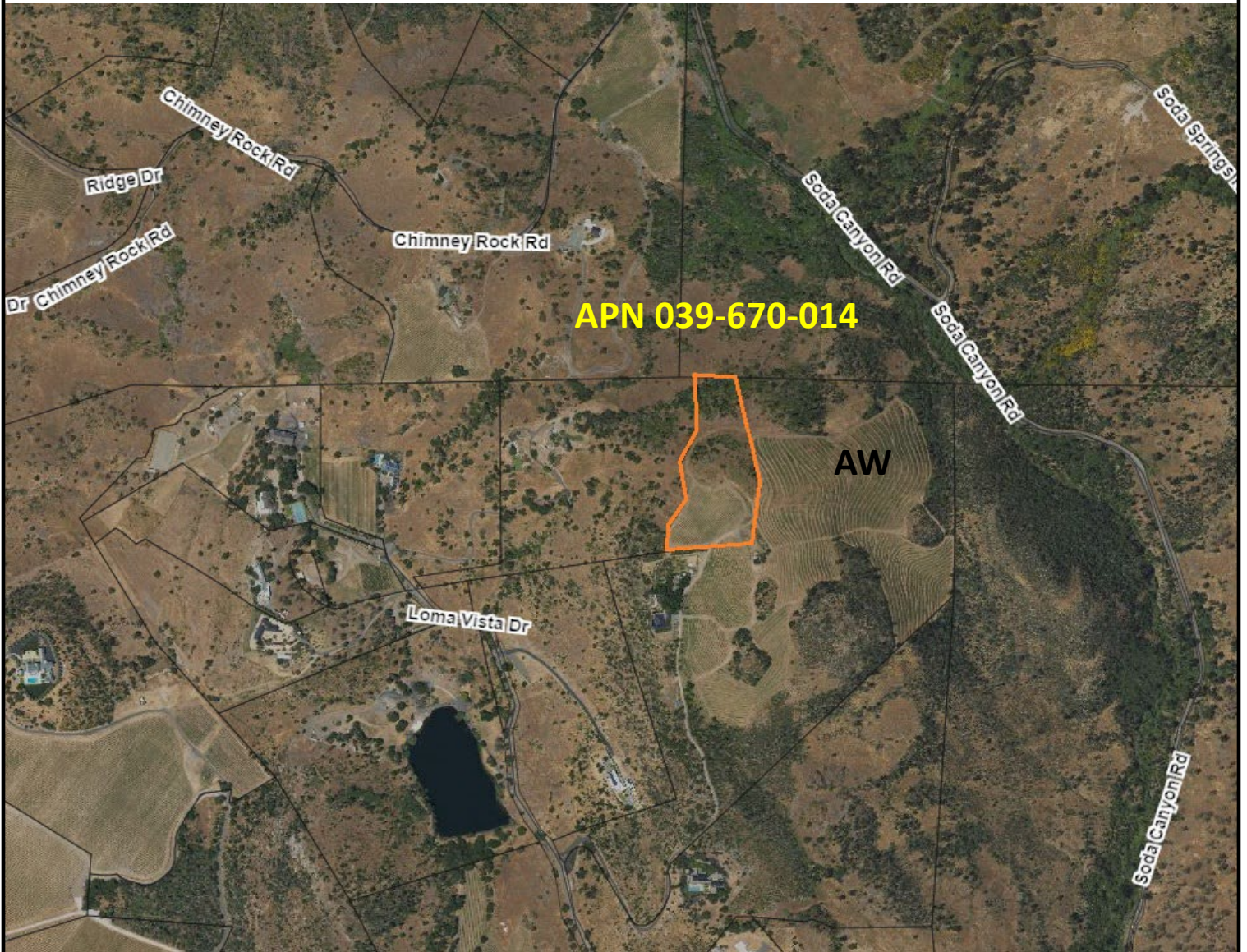
OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION


- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations



LEGEND

— Zoning
— Parcels

0  1/2 Mile



ZONING MAP



Existing Conditions



Napa County

Board Agenda Letter

1195 THIRD STREET
SUITE 310
NAPA, CA 94559
www.countyofnapa.org
Main: (707) 253-4580

Zoning Administrator

Agenda Date: 8/27/2025

File ID #: 25-1447

TO: NAPA COUNTY ZONING ADMINISTRATOR
FROM: Sean Trippi for Brian D. Bordona - Director Planning, Building & Environmental Services
REPORT BY: Hannah Spencer - Planner III
SUBJECT: Marineau-Mes Accessory Structures Viewshed Protection Program P25-00207-VIEW (formerly P25-00121)

RECOMMENDATION

MARINEAU-MES ACCESSORY STRUCTURES VIEWSHED PROTECTION PROGRAM / PERMIT NO. P25-00207-VIEW (formerly P25-00121)

CEQA status: Consideration and possible adoption of an Addendum to the previously adopted 2021 Mitigated Negative Declaration prepared for the Marineau-Mes Residence Viewshed (State Clearinghouse Number: 2021020357). Pursuant to CEQA Guidelines Section 15164(b) and Section 15162(a), an addendum to an adopted negative declaration may be prepared if only minor technical changes or additions are necessary or if none of the conditions contained in Section 15162 calling for preparation of a subsequent negative declaration have occurred. This project site is not on any lists of hazardous waste sites enumerated under Government Code Section 65962.5.

Request: Approval of an application under the Viewshed Protection Program, as defined in Chapter 18.106 of the Napa County Code, for the construction of two residential accessory structures within view of Silverado Trail North, a County designated viewshed road. The project consists of a 1,085 square-foot pool house surrounded by a 665 square-foot outdoor patio, a 300 square-foot barn, and a landscape plan that will screen approximately 60% percent of the proposed structures from view from the designated road. The project is located on a 5.67-acre parcel within the Agricultural Watershed (AW) Zoning District and has a General Plan designation of Agriculture, Watershed and Open Space (AWOS). 4000 Silverado Trl N, Angwin, CA 94515. APN: 021-010-079.

Staff Recommendation: Consider the Addendum to the previously adopted 2021 Mitigated Negative Declaration prepared for the Marineau-Mes Residence Viewshed Permit and approve the Marineau-Mes

Accessory Structures Viewshed Protection Permit, as conditioned.

Staff Contact: Hannah Spencer, Planner III, 1195 Third St, Suite 210, Napa, CA 94559; (707) 253-4018;
Hannah.spencer@countyofnapa.org

Applicant Contact: Jessica Stuenkel with Feldman Architecture Steve & Judith Padis, 1648 Pacific Ave., Suite B San Francisco, CA 94019, (415) 856-9083, or jstuenkel@feldmanarch.com

EXECUTIVE SUMMARY

PROPOSED ACTIONS:

That the Zoning Administrator:

1. Consider an Addendum to the previously adopted Mitigated Negative Declaration, and adopt the Findings 1-7 in Attachment A.
2. Approve Viewshed Protection Program Application No. P25-00207-VIEW, based on recommended Findings 8-14 in Attachment A, and subject to the recommended Conditions of Approval in Attachment B.

Discussion:

The project consists of a request to approve a Viewshed Protection Program application to construct a 1,085 square-foot pool house and a 300 square-foot barn that sit below a minor ridgeline, on the east side of Silverado Trail. In 2021, the Zoning Administrator approved a viewshed permit for the property's main residence, accessory dwelling unit, garage, pool and associated improvements under File No. P20-00230. Construction on the existing development is expected to be complete by fall 2025. The proposed pool house and barn are the only structures being considered under File No. P25-00207-VIEW.

The two new accessory structures will be constructed on a hillside visible from Silverado Trail which is identified as a designated public road in the Napa County General Plan and Chapter 18.106 (Viewshed Protection Program) of the Napa County Code (NCC). Therefore, the proposed accessory structures are subject to review for compliance with the Viewshed Protection Program prior to issuance of building permits. Given that the project would result in a combined total of more than 2,500 square feet of accessory structure floor area on the property (1,385 square feet proposed; 2,329 square feet existing), the project does not meet the criteria for administrative review under NCC §18.106.040 and has been scheduled for review by the Zoning Administrator.

As proposed, the project has been designed in substantial conformance with the County's viewshed protection manual because it would avoid grading on steep slopes and the structures will be substantially screened from view from Silverado Trail primarily by existing and proposed vegetation.

Staff believes all findings can be made in support of the project and recommends approval subject to the recommended conditions of approval.

ENVIRONMENTAL IMPACT

ENVIRONMENTAL DETERMINATION: Consideration and possible adoption of an Addendum to a 2021 adopted Mitigated Negative Declaration (MND). The Addendum concludes the proposed project does not meet any of the requirements in CEQA Guidelines Section 15162 for preparation of a subsequent MND. All previous mitigation measures required for the protection of biological resources and tribal cultural resources have been incorporated into the recommended Conditions of Approval for the project. Additionally, this project is not on any lists of hazardous waste sites enumerated under Government Code Section 65962.5.

BACKGROUND AND DISCUSSION

Owner: Sebastien Marineau-Mes

Applicant: Jessica Stuenkel, Feldman Architecture

Zoning: AW (Agricultural Watershed)

General Plan Designation: AWOS (Agriculture, Watershed, and Open Space)

Application Filed: April 24, 2025

Application Deemed Complete: July 2, 2025

Property Area: 5.67 Acres

Surrounding Uses:

Table 1. Surrounding Land Uses

Direction	Land Uses
North	Land zoned AW with AWOS General Plan Designation; Residence, Winery, Vineyard, Oak Woodland, Coniferous Forest
East	Land zoned AW with AWOS General Plan Designation; Residence, Oak Woodland, Coniferous Forest

South	Land zoned AW with AWOS General Plan Designation; Residence, Vineyard, Coniferous Forest
West	Land zoned AP with AR General Plan Designation; Vineyards

Existing Development: The parcel contains a 3,992 square-foot residence, 2,329 square-foot detached garage with an accessory dwelling unit on the second floor, a 120 square-foot pump house and three water tanks, a pool, and landscaping (all currently under construction); a ground mount solar array, one groundwater well, driveway, and approximately 1.84-acres of vineyard (planting in process).

Proposed Structural Development: A 1,085 square-foot pool house with a 665 square-foot outdoor patio and a 300 square-foot barn.

Active Code Compliance Violations: There are no open or pending code violations for the subject property.

Parcel History/Existing Development: In 2020, the project site was heavily impacted by the Glass Fire that damaged vegetation throughout the property and surrounding area. On April 28, 2021, the Zoning Administrator approved the Marineau-Mes Residence Viewshed permit (P20-00230) which requires new and existing vegetation be maintained for visual screening purposes. Specifically, the project included a vegetation retention plan for 12 mature trees consisting of Coast Live Oak, Valley Oak, Black Oak, and Pine; and installation of a variety of shrubs and over 30 new trees, including Coast Live Oak, Southern Magnolia, Oklahoma Redbud, Kousa Dogwood, Arbequina Fruiting Olive.

After a Lot Line Adjustment was processed in 2022, the subject property increased in size from 4.07 acres to 5.67 acres (W21-00497). Later in 2022, the Planning, Building and Environmental Services Department (PBES) began issuing development permits for the Marineau-Mes Residence Viewshed project including the driveway (ENG21-00034), main residence and associated landscaping (BR22-0030), swimming pool (BR24-00207), detached garage with an accessory dwelling unit (BR22-00031), and domestic septic system (E22-00036). In 2024, permits were issued for the pump house (BR24-01818), retaining wall (BR24-01845), and underground domestic propane tank (BR24-01840). Construction on the existing development is expected to be completed by fall 2025. To maintain screening of the residence per the requirements of P20-00230, the landowner is replacing four central screening trees that were lost to delayed environmental impacts of the Glass fire.

The parcel also contains approximately 0.75-acres of vineyard on the valley floor, associated vineyard infrastructure and access, and a groundwater well. Planting for a new 1.09-acre vineyard behind the development area began in spring 2025 and is expected to be completed by fall 2025 (P22-00212-ECP). Approximately 2.34 acres of the property's fire damaged oak woodland are preserved by deed restriction per condition of approval of P22-00212-ECP.

Currently, one groundwater well serves all water consuming activities on the parcel. The property's well was constructed in 2012 under E12-00250 and is referred to as the "Upper Well". Prior to 2022, the property contained a second groundwater well, the "Lower Well". The Lower Well was decommissioned in May 2022 under E22-00385.

Viewshed Protection Program: According to NCC §18.106.010(A), a primary purpose of the Napa County Viewshed Protection Program is to provide hillside development standards to minimize the impact of man-made structures and grading on views of existing landforms, unique geologic features, existing landscape

features and open space as seen from designated public roads within the county. These standards include the protection of “substantial views” where 51 percent or more of the area facing the designated viewshed road can be seen, while NCC §18.106.030(A) states that the Viewshed Protection Program shall apply to all new structures located on slopes of 15% or more. As such, the proposed project is located on slopes exceeding 15%, with 51% or more visibility from certain sections of Silverado Trail, a County designated viewshed road.

To qualify for administrative review under the Viewshed Protection Program per NCC §18.106.040, a project must meet all listed design and siting conditions including a 2,500 square foot limit on combined total accessory structure floor area. Given that the project would add 1,385 square feet of new accessory structure floor area to a property already developed with 2,329 square feet of accessory structures, the project requires Zoning Administrator approval as applied through NCC §18.106.050, with findings for approval that support these requirements found in Attachment A.

Discussion Points: The 5.67-acre property is located on the east side of Silverado Trail, approximately 0.35 miles south of Larkmead Lane and 2.9+/- miles south of the City of Calistoga. General topography of the property consists of relatively flat (0-5%) along Silverado Trail to increasingly steeper slopes (<30%) as you move east toward the mountains. A nearby minor ridgeline located northeast of the site ranges from 768 feet to over 1,700 feet above mean sea level (msl.) Natural vegetative cover in the area includes oak woodland, conifer forest, and non-native grassland. There are no blue-line streams located on the subject property.

The new pool house and barn would be located adjacent to existing structures in a moderately sloped area of the property (12% - 18%) at 320 feet to 324 feet above msl, well below the minor ridgeline. Both structures will meet established zoning setbacks for Silverado Trail and the Agricultural Watershed (AW) zoning district minimum yard requirements, as shown below.

Table 2. Zoning Setbacks

Zoning Setback Type	Required Setback Distance	Proposed Pool House	Proposed Barn
Road Setback (Silverado Trail)	70 feet from road centerline	> 350 feet	150 feet
AW Front Yard	20 feet (beginning at the outer perimeter of the road setback)	> 370 feet	> 130 feet
AW Side Yard	20 feet, or 5 feet per 18.104.140(A)	> 80 feet	5 feet
AW Rear Yard	20 feet, or 5 feet per 18.104.140(A)	> 200 feet	> 400 feet

Due to visibility from Silverado Trail, which is identified as a designated viewshed public road in the Napa County General Plan, as well as average slope exceeding 15%, the project site is subject to Napa County Zoning Ordinance, Chapter 18.106 (Viewshed Protection Ordinance).

As proposed, the project has been designed in substantial conformance with the County’s viewshed protection manual because it would avoid grading on slopes more than 30% and would be located more than 25 feet below the minor ridgeline. As shown in the submitted viewshed analysis, the proposed structures would be visible

from Silverado Trail but substantially screened from existing and proposed vegetation. The proposed barn would also benefit from screening provided by existing water tanks and the pump house. Due to relatively small building footprints and use of existing access improvements, the project does not result in substantial changes to the natural landforms and topography. Grading will be limited to the creation of the foundations for the new 1,085 square-foot pool house and surrounding 665 square-foot patio, and the 300 square-foot barn.

Tree/Vegetation Retention and Visual Screening

The project is consistent with the vegetation retention requirements of NCC Section 18.108.020 (Conservation Regulations - General Provisions) in that the project does not propose tree or vegetation canopy removal to accommodate the development. The proposed pool house and barn will be constructed in locations already disturbed by grading and construction activities authorized by prior development approvals.

The project relies on visual screening attained by a combination of existing vegetation, landscaping, and small onsite structures. The landscaping and (three) replacement Coast Live Oak trees associated with the Marineau-Mes Residence Viewshed will provide some screening of the pool house. The pump house and water tanks, as well as vegetation and topography on the adjacent parcel provide partial screening of the barn. To ensure both structures are substantially screened from view from Silverado Trail while maintaining compliance with defensible space requirements, the applicant proposes two additional 48-inch box Coast Live Oak trees installed more than 30-feet from all structures and two 15-gallon Catalina Cherry shrubs installed more than 10-feet from the barn. The hillside vineyard and oak woodland provide a vegetated topographical backdrop for the new structures as viewed from Silverado Trail.

Building Design/Materials

The project consists of a new 22-foot-tall, 1,085 square foot pool house surrounded by a 665 square-foot outdoor patio with trellis, handrails, and a concrete retaining wall and stairs that connect to the existing pool patio. The project also proposes a new 15-foot tall (ridge height), 300 square-foot barn near the vineyard, pump house and water tanks in the southern portion of the property. The architectural design of the two new accessory structures will utilize dark gray cementitious vertical and shingle siding on the main body of the buildings with trim and trellis painted in black, gray concrete and asphalt tile roofing, and low E windows reflecting 10%-15% of visible light. To minimize nighttime light disruption and visual glare, the recommended conditions of approval require all exterior lighting, including landscape lighting, to be shielded and directed downward and away from view of designated public roads. As such, the project would not degrade the existing character of the site and its surroundings, and impacts would be less than significant. The property owner will be required to execute and record in the County Recorder's office a use restriction, in a form approved by the County Counsel, requiring building exteriors, and existing and proposed screening vegetation be maintained by the owner or the owner's successors so as to "prevent the project from being viewed from any designated public road" in perpetuity pursuant to NCC §18.106.050(C).

Ephemeral/Intermittent Drainage

Ephemeral drainage courses traverse the project property per Napa County GIS Environmental Maps. However, according to the biological study prepared for the 2021 MND, these non-jurisdictional drainageways do not contain bed-and-bank, ordinary high-water marks, or hydrophytic vegetation and therefore do not meet the definition of an ephemeral stream as defined by NCC 18.108.030. Storm water runoff will be captured in new drainage swales and storm drain inlets to be installed behind the pool house. These new drainage features will tie into the existing drainage system which currently directs runoff away from structures and disperses it through level spreaders in the vineyard in the lower portion of the property.

Water Use

The 2021 MND determined the total projected water demand for the Marineau-Mes Residence viewshed plus the 0.75-acre lower vineyard would result in a modest increase on the demand of groundwater supplies based on Napa County Water Availability Guidance Document, Appendix B. On June 25, 2024, HDVine LLC prepared an updated parcel-specific Water Availability Analysis for the 1.09-acre vineyard project (2024 WAA). The 2024 WAA estimated the property's total groundwater usage at 1.64 acre-feet per year (AF/yr) and the property's groundwater recharge to be 2.45 AF/yr, resulting in a net positive water balance of 0.8 AF/yr. Vineyard water demand was estimated at 0.56 AF/yr while the residential uses (main dwelling, accessory dwelling unit, pool, landscaping) were estimated to require 1.08 AF/yr. Conditions of Approval of P22-00212-ECP limit pumping capacity to a maximum of 10 gallons per minute (gpm) to minimize impacts to Dutch Henry Creek, a designated Significant Stream (notated as Biter Creek on some maps), and a neighboring well. Prior to final on the 1.09-acre vineyard, the landowner must install a flow regulation device on the project well.

Considering the property's 2024 water balance for existing uses is estimated at a net positive of 0.8 AF/yr, and that the proposed new water uses include minor additions to landscaping, a pool house, and no new dwelling units; it can be assumed the project's increase in water demand will not result in a potentially significant impact to groundwater resources. Even if the proposed water demand matched that of a full-time accessory dwelling unit (0.20 to 0.50 AF/yr based on Appendix B of Napa County Water Availability Guidance Document), the property would still be expected to remain below the annual rate of recharge. Additionally, no increase in water use is assumed for the barn as there are no proposed plumbing fixtures or water lines identified on project plans. Because the existing and proposed estimated groundwater use would be close to 90% of the annual rate of recharge, a condition of approval limiting groundwater use to 2.205 acre-feet per year has been included.

Public Trust

The public trust doctrine requires the state and its legal subdivisions to "consider," give "due regard," and "take the public trust into account" when considering actions that may adversely affect a navigable waterway. (Environmental Law Foundation v. State Water Resources Control Bd.; San Francisco Baykeeper, Inc. v. State Lands Com.) There is no "procedural matrix" governing how an agency should consider public trust uses. (Citizens for East Shore Parks v. State Lands Com.) Rather, the level of analysis "begins and ends with whether the challenged activity harms a navigable waterway and thereby violates the public trust." (Environmental Law Foundation, 26 Cal.App.5th at p. 403.). As demonstrated in the Environmental Law Foundation vs State Water Resources Control Board Third District Appellate Court Case, that arose in the context of a lawsuit over Siskiyou County's obligation in administering groundwater well permits and management program with respect

to Scott River, a navigable waterway (considered a public trust resource), the court affirmed that the public trust doctrine is relevant to extractions of groundwater that adversely impact a navigable waterway and that Counties are obligated to consider the doctrine, irrespective of the enactment of the Sustainable Groundwater Management Act (SGMA).

As noted above, a Water Availability Analysis (WAA) was prepared as part of the vineyard project. The WAA included a review of potential impacts to surface waters due to the proximity of Dutch Henry Creek (notated as Biter Creek on some maps) which is approximately 650 feet west of the project well. The County's WAA Guidance Document provides well set-back standards and construction criteria in Tables 3, 4 and 5 that if met would be expected to preclude any significant adverse effects on surface waters. Per the WAA Guidance Document, very low flow wells (up to 10 gpm) located 500 feet or more away from a surface water channel would be expected to preclude any significant adverse effects on surface waters. The project well meets this criteria and therefore the County has satisfied its duty to consider impacts to trust resources and no further analysis is required.

Public Comments: On June 5, 2025, staff received a public comment that raises concerns with visual impacts associated with the existing residence, project piecemealing, and future vacation rental use of the property. The commenter requests immediate landscaping and a full review of both viewshed projects (see Attachment H). No other public comments have been received as of the date of this staff report.

Decision Making Options: As noted in the Executive Summary Section above, staff is recommending the Zoning Administrator support the project as summarized in Option 1, below. Decision making options include the following:

Option 1: Approve the Applicant's Proposal (Staff Recommendation)

Disposition - This action will result in approval of the Viewshed Protection Program Permit for the Marineau-Mes Accessory Structures. Staff recommends this option as, with approval, the request is consistent with all other aspects of the Zoning Ordinance including allowable use, development standards and required setbacks, as well as applicable General Plan policies and other County regulations. Furthermore, there will be no significant environmental impacts resulting from the addition of the two accessory structures, as discussed in the Addendum to the previously adopted Mitigated Negative Declaration as presented in the Recommended Findings (Attachment A).

Action Required - Follow the proposed action listed in the Executive Summary.

Option 2: Modify the Applicant's Proposal

Disposition - This option will result in the modification of the applicant's proposal and/or conditions of approval.

Action Required - Make recommendations for an amended scope and or applicable conditions of approval. The item will need to be continued to a future date if significant revisions to the project scope and recommended conditions of approval are desired.

Option 3: Deny the Applicant's Proposal

Disposition - This option will result in the denial of Viewshed Protection Program Application No. P25-00121-VIEW because it cannot satisfy one or more of the required findings.

Action Required - Zoning Administrator will take tentative action to deny the project, articulating the reasons and grounds for the denial, and remand the matter to staff for preparation of required findings to return to the Zoning Administrator on a specific date.

SUPPORTING DOCUMENTS

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. CEQA Memo (MND Addendum)
- D. 2021 Adopted MND - P20-00230
- E. Public Comments
- F. Viewshed Application
- G. Viewshed Application - Project Plans
- H. Graphics
- I. 2024 Water Availability Analysis - P22-00212-ECP (includes original 2022 WAA)

“A”

Recommended Findings

**ZONING ADMINISTRATOR HEARING – AUGUST 27, 2025
RECOMMENDED FINDINGS**

**MARINEAU-MES ACCESSORY STRUCTURES VIEWSHED
Application Number P25-00207-VIEW
4000 Silverado Trail N., Angwin, California
APN: 021-010-079-000**

ENVIRONMENTAL:

The Zoning Administrator has received and reviewed the proposed Addendum to the previously adopted Mitigated Negative Declaration pursuant to the provisions of the California Environmental Quality Act (CEQA) and of Napa County's Local Procedures for Implementing CEQA, and finds that:

1. The Zoning Administrator has read and considered the Addendum and the previously adopted Mitigated Negative Declaration prior to taking action on the proposed project.
2. The Addendum to the previously adopted Mitigated Negative Declaration is based on independent judgment exercised by the Zoning Administrator.
3. The Addendum to the previously adopted Mitigated Negative Declaration was prepared and considered in accordance with the requirements of the California Environmental Quality Act (CEQA).
4. There is no substantial evidence in the record as a whole, that the project will have a significant effect on the environment.
5. There is no evidence, in considering the record as a whole that the proposed project will have a potential adverse effect on wildlife resources or habitat upon which the wildlife depends.
6. The site of this proposed project is not on any of the lists of hazardous waste sites numerated under Government Code Section 65962.5 and is not within the boundaries of any airport land use plan.
7. The Secretary of the Commission is the custodian of the records of the proceedings on which this decision is based. The records are located at the Napa County Planning, Building & Environmental Services Department, 1195 Third Street, Second Floor, Napa, California.

VIEWSHED PROTECTION PROGRAM FINDINGS:

The following findings must be made in order for the Zoning Administrator to approve a project applicable to the Viewshed Protection Program pursuant to Napa County Code (NCC) Section 18.106.050(B):

8. The project as designed or modified is consistent with NCC Chapter 18.108;

Analysis: The project as proposed does not encroach on any stream setbacks, is not located on slopes of 30 percent or greater, and does not involve the removal of trees or

natural habitat, and as such is consistent with the Napa County Conservation Regulations as described in NCC Chapter 18.108.

9. If the highest point of the proposed project is located more than twenty-five vertical feet below a major or minor ridgeline, that measures have been included in the project to reduce its visual impact on the major or minor ridgeline through use of existing natural vegetation, landscaping, topographical siting, architectural design, and color tone; or if the highest point of the proposed structure is within twenty-five vertical feet of a major or minor ridgeline, that the existing vegetation, proposed landscaping, topographical siting architectural design, and color tone screen the predominant portion of the proposed structure;

Analysis: The development area is over 400 feet below a minor ridgeline north/northeast of the site, located in existing disturbed areas of the property. The project proposes relatively small structures and the use of existing access improvements, resulting in limited cut and fill. No tree or vegetation removal is necessary to accommodate the development. Additionally, proposed architectural design of the structures will utilize dark earth-tone colors with non-reflective roof materials. Existing vegetation and new landscaping will provide adequate visual screening from designated public roads.

10. The proposed structure, access roads and other site improvements are sited and designed to minimize adverse effects on views from designated public roads;

Analysis: As designed, the proposed structures will be screened adequately from views on viewshed roads due to a combination of existing trees and vegetation, new landscaping, and existing water tanks. As shown in the submitted viewshed analysis, the proposed structures will be partially visible from Silverado Trail, but the project has been designed in color and texture to blend with the background and will also retain existing trees to provide screening. With the incorporation of the submitted landscape plan designed for vegetative screening of more than 51 percent of the proposed structure, the design will minimize adverse effects on views from designated public roads.

11. The proposed structure, access road and other site improvements, including earthmoving or grading, and benches or shelves minimize the removal of vegetation;

Analysis: The project proposes relatively small accessory structures and use of existing access improvements resulting in limited cut and fill. No tree or vegetation removal is necessary to accommodate the development.

12. The siting and design of site improvements and access roads minimize grading and alteration of natural landforms and topography;

Analysis: The siting and design of site improvements do not involve significant grading nor alteration of natural landforms and topography. The new accessory structures will be sited next to existing structures, in areas previously disturbed by grading and

construction activities associated with the previously approved residence and vineyard, which are outside the steepest portions of the property.

13. A landscape and/or vegetation retention plan in conformance with the Design Manual has been submitted and approved for the site that would provide maximum screening from designated public roads through preservation of existing vegetation and the planting of new vegetation and provide for defensible space in conformance with state law;

Analysis: A landscape plan has been submitted that, through the installation of two Coast Live Oak trees and two Catalina Cherry shrubs, along with retaining vegetation associated with the original Marineau-Mes Residence viewshed project, screens over 51 percent of the proposed structures. Additionally, the project has been conditioned to comply with defensible space requirements.

14. The proposed structure and associated improvements substantially conform with the Design Manual in order to reduce their visual impact on the views of major and minor ridgelines as viewed from any designated public road and unique topographic features as viewed from any county road. The following landforms will be considered to be unique topographic or geologic features for the purposes of this subsection: Mt. St. Helena, Stag's Leap, Calistoga Palisades, Round Hill, Mt. George and Mt. St. John;

Analysis: The proposed structures will be located over 400 feet below the minor ridgeline north/northeast of the project property. Therefore, as designed, the proposed project and associated improvements substantially conform to the County's Design Manual and thereby reduce visual impacts on ridgelines. No unique topographic or geologic features are applicable to this subject site.

“B”

Recommended Conditions of Approval and Final Agency Approval Memos

**ZONING ADMINISTRATOR HEARING – AUGUST 27, 2025
RECOMMENDED CONDITIONS OF APPROVAL**

MARINEAU-MES ACCESSORY STRUCTURES VIEWSHED

**Application Number P25-00207-VIEW
4000 Silverado Trail N., Angwin, California
APN: 021-010-079-000**

This Permit encompasses and shall be limited to the project commonly known as the Marineau-Mes Accessory Structures, located at 4000 Silverado Trail N. Part I encompasses the Project Scope and general conditions pertaining to statutory and local code references, project monitoring and the process for any future changes or activities. Part II encompasses the ongoing conditions relevant to the operation of the project. Part III encompasses the conditions relevant to construction and the prerequisites for a Final Certificate of Occupancy. It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and the general public to ensure compliance is achieved.

Where conditions are not applicable or relevant to this project, they shall be noted as “Reserved” and, therefore, have been removed.

When modifying a legally established entitlement related to this project, these conditions are not intended to be retroactive or to have any effect on existing vested rights except where specifically indicated.

PART I

1.0 PROJECT SCOPE

This Permit encompasses and shall be limited to:

- 1.1 Approval of a Viewshed Application to allow the construction of:
 - a. a new 22-foot-tall, 1,085 square foot pool house surrounded by a 665 square-foot outdoor patio with trellis, handrails, and a concrete retaining wall and stairs connecting to an existing pool patio;
 - b. a new 15-foot tall, 300 square-foot barn near the vineyard, pump house and water tanks located in the southern portion of the property;
 - c. a new landscaping plan to add two 48-inch box Coast Live Oak trees and two new 15-gallon Catalina Cherry shrubs; and
 - d. new drainage swales and storm drain inlets that will tie into the existing drainage system onsite.

The accessory structures and associated improvements shall be designed in substantial conformance with the submitted site plan, elevation drawings, and other submittal materials and shall comply with all requirements of the Napa County Code (the County Code). It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and the general public to ensure compliance is achieved. Any expansion of or change in use or alternative locations for fire suppression or other types of water tanks shall be approved

in accordance with the County Code and may be subject to the permit modification process.

2.0 STATUTORY AND CODE SECTION REFERENCES

All references to statutes and code sections shall refer to their successor as those sections or statutes may be subsequently amended from time to time.

3.0 MONITORING COSTS

All Staff costs associated with monitoring compliance with these conditions, previous permit conditions, and project revisions shall be borne by the permittee and/or property owner. Costs associated with conditions of approval and mitigation measures that require monitoring, including investigation of complaints, other than those costs related to investigation of complaints of non-compliance that are determined to be unfounded, shall be charged to the property owner or permittee. Costs shall be as established by resolution of the Board of Supervisors in accordance with the hourly consulting rate established at the time of the monitoring and shall include maintenance of a \$500 deposit for construction compliance monitoring that shall be retained until issuance of a Final Certificate of Occupancy. Violations of conditions of approval or mitigation measures caused by the permittee's contractors, employees, and/or guests are the responsibility of the permittee.

The Planning Commission may implement an audit program if compliance deficiencies are noted. If evidence of a compliance deficiency is found to exist by the Planning Commission at some time in the future, the Planning Commission may institute the program at the permittee's expense (including requiring a deposit of funds in an amount determined by the Commission) as needed until compliance assurance is achieved. The Planning Commission may also use the data, if so warranted, to commence revocation proceedings in accordance with the County Code.

PART II

4.0 OPERATIONAL CHARACTERISTICS OF THE PROJECT

Permittee shall comply with the following during operation of the project:

- 4.1 GROUND WATER MANAGEMENT – WELLS **[RESERVED]**
- 4.2 AMPLIFIED MUSIC **[RESERVED]**
- 4.3 TRAFFIC **[RESERVED]**
- 4.4 PARKING **[RESERVED]**
- 4.5 BUILDING DIVISION – USE OR OCCUPANCY CHANGES **[RESERVED]**
- 4.6 FIRE DEPARTMENT – TEMPORARY STRUCTURES **[RESERVED]**
- 4.7 NAPA COUNTY MOSQUITO ABATEMENT PROGRAM **[RESERVED]**

4.8 GENERAL PROPERTY MAINTENANCE – LIGHTING, LANDSCAPING, PAINTING, OUTDOOR EQUIPMENT STORAGE, MECHANICAL EQUIPMENT, AND TRASH ENCLOSURE AREAS

- a. All lighting shall be permanently maintained in accordance with the lighting and building plans approved by the County.
- b. All landscaping shall be permanently maintained in accordance with the landscaping approved by the County.
- c. **[RESERVED]**
- d. The colors used for the roof, exterior walls and built landscaping features of the project shall be limited to earth tones that will blend the facility into the colors of the surrounding site-specific vegetation. The permittee shall obtain the written approval of the Planning Division prior to any change in paint color that differs from the approved building permit. Highly reflective surfaces are prohibited.
- e. **[RESERVED]**

4.9 NO TEMPORARY SIGNS

Temporary off-site signage, such as “A-Frame” signs are prohibited.

4.10 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES - OPERATIONAL CONDITIONS

The attached project conditions of approval include all of the following County Divisions, Departments and Agencies’ requirements. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:

- a. Engineering Services Division recommended approval conditions as stated in their Memorandum dated June 25, 2025.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify this permit.

4.11 OPERATIONAL MITIGATION MEASURES **[RESERVED]**

4.12 OTHER CONDITIONS APPLICABLE TO THE OPERATIONAL ASPECTS OF THE PROJECT

- a. Groundwater Management - A Groundwater Demand Management Program shall be developed and implemented for the property as outlined in COA No. 6.16(a) below.

- i. The parcel shall be limited to 2.205 acre-feet¹ of groundwater per year for all water consuming activities on the parcel.
- ii. The pumping rate of the Project Well (referred to as the “Upper Well” in the HDVine LLC 2024 Water Availability Analysis) shall remain less than 10 gallons per minute (gpm), as required by P22-00212-ECP COA No. 16. An equipment maintenance plan shall be developed and implemented for the property as outlined in COA No. 6.16.b. below.

In the event that changed circumstances or significant new information provide substantial evidence² that the groundwater system referenced in the Use Permit would significantly affect the groundwater basin, the PBES Director shall be authorized to recommend additional reasonable conditions on the permittee, or revocation of this permit, as necessary to meet the requirements of the County Code and to protect public health, safety, and welfare.

4.13 PREVIOUS CONDITIONS [RESERVED]

PART III

5.0 PREREQUISITE FOR ISSUANCE OF PERMITS

5.1 PAYMENT OF FEES

No building, grading or sewage disposal permits shall be issued or other permits authorized until all accrued planning permit processing fees have been paid in full. This includes all fees associated with plan check and building inspections, associated development impact fees established by County Ordinance or Resolution, and the Napa County Affordable Housing Mitigation Fee in accordance with County Code.

6.0 GRADING/DEMOLITION/ENVIRONMENTAL/BUILDING PERMIT/OTHER PERMIT PREREQUISITES

Permittee shall comply with the following with the submittal of a grading, demolition environmental, building and/or other applicable permit applications:

6.1 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES - PLAN REVIEW, CONSTRUCTION AND PREOCCUPANCY CONDITIONS

The attached project conditions of approval include all of the following County Divisions, Departments and Agencies' requirements. The permittee shall comply

¹ 2.205 acre-feet of groundwater represents 90% of the property's annual recharge volume as calculated in the *Sebastien Marineau-Mes Vineyard Water Availability Analysis*, prepared by HDVine LLC, dated June 2022 (Revised June 25, 2024).

² Substantial evidence is defined by case law as evidence that is of ponderable legal significance, reasonable in nature, credible and of solid value. The following constitute substantial evidence: facts, reasonable assumptions predicated on facts; and expert opinions supported by facts. Argument, speculation, unsubstantiated opinion or narrative, or clearly inaccurate or erroneous information do not constitute substantial evidence.

with all applicable building codes, zoning standards, and requirements of County Divisions, Departments and Agencies at the time of submittal and may be subject to change. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:

- a. Engineering Services Division recommended approval conditions as stated in their Memorandum dated June 25, 2025.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify the permit.

6.2 BUILDING DIVISION – GENERAL CONDITIONS

Please contact the Building Division with any questions regarding the following:

- a. A building permit shall be obtained for all construction occurring on the site not otherwise exempt by the CBC or any State or local amendment adopted thereto
- b. If there are any existing structures and/or buildings on the property that will need to be removed to accommodate construction activities, a separate demolition permit shall be required from the Building Division prior to removal. The permittee shall provide a “J” number from the Bay Area Air Quality Management District (BAAQMD) at the time the permittee applies for a demolition permit if applicable.
- c. **[RESERVED]**

6.3 LIGHTING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed lighting plan showing the location and specifications for all lighting fixtures to be installed on the property shall be submitted for Planning Division review and approval. All lighting shall comply with the CBC.
- b. All exterior lighting, including landscape lighting, shall be shielded and directed downward; located as low to the ground as possible; the minimum necessary for security, safety, or operations; on timers; and shall incorporate the use of motion detection sensors to the greatest extent practical. All lighting shall be shielded or placed such that it does not shine directly on adjacent properties or impact vehicles on adjacent streets. No flood-lighting or sodium lighting of the building is permitted, including architectural highlighting and spotting. Low-level lighting shall be utilized in parking areas as opposed to elevated high-intensity light standards.

6.4 LANDSCAPING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed final landscaping and irrigation plan, including parking details, shall be submitted with the building permit

application package for the Planning Division's review and approval prior to the issuance of any building permit associated with this permit. The plan shall be prepared pursuant to the Water Efficient Landscape Ordinance (Chapter 18.118 of the County Code) requirements in effect at the time of building permit application submittal, as applicable, and shall indicate the names and locations of all plant materials to be used along with their method of maintenance.

- b. Plant materials shall be purchased locally when practical, and, to the greatest extent possible, the plant materials shall be the same native plants found in Napa County. The Agricultural Commissioner's office shall be notified of all impending deliveries of live plants with points of origin outside of Napa County.
- c. No trees greater than 6" diameter at breast height shall be removed, except for those identified on the submitted site plan. Any Oak trees removed as a result of the project shall be replaced at a 2:1 ratio and shown on the landscaping plans for the Planning Division's review and approval. Trees to be retained shall be protected during construction by fencing securely installed at the outer most dripline of the tree or trees. Such fencing shall be maintained throughout the duration of the work undertaken in connection with project development/construction. In no case shall construction material, debris or vehicles be stored in the fenced tree protection area.
- d. **[RESERVED]**
- e. **[RESERVED]**

6.5 COLORS

The colors used for the roof, exterior walls and built landscaping features of the project shall be limited to earth tones that will blend the facility into the colors of the surrounding site specific vegetation. The permittee shall obtain the written approval of the Planning Division in conjunction with building permit review and/or prior to painting the building. Highly reflective surfaces are prohibited.

6.6 OUTDOOR STORAGE/SCREENING/UTILITIES **[RESERVED]**

6.7 MECHANICAL EQUIPMENT **[RESERVED]**

6.8 TRASH ENCLOSURES **[RESERVED]**

6.9 ADDRESSING

All project site addresses shall be determined by the PBES Director, and be reviewed and approved by the United States Post Office. The PBES Director reserves the right to issue or re-issue an appropriate situs address at the time of issuance of any building permit to ensure proper identification and sequencing of numbers. For multi-tenant or multiple structure projects, this includes building permits for later building modifications or tenant improvements.

6.10 HISTORIC RESOURCES **[RESERVED]**

6.11 DEMOLITION ACTIVITIES **[RESERVED]**

6.12 VIEWSHED – EXECUTION OF USE RESTRICTION

The property owner shall execute and record in the county recorder's office a use restriction, in a form approved by County Counsel, requiring that building exteriors, existing and proposed covering vegetation, as well as any equivalent level of replacement vegetation to be maintained by the owner or the owner's successor so as to maintain conformance with the County Code.

6.13 PERMIT PREREQUISITE MITIGATION MEASURES

The permittee shall comply with the following permit prerequisite mitigation measures identified in the Addendum to the 2021 adopted Initial Study/Mitigated Negative Declaration for the Marineau-Mes Residence Viewshed project and Project Revision Statement/Mitigation Monitoring and Reporting Program prepared for the project:

a. Biological Resources

MM BIO-2: If tree/vegetation removal and initial ground disturbance must occur during the general bird nesting season (i.e., February 1 to August 31), a pre-construction nesting bird survey shall be performed by a qualified biologist no more than seven (7) days prior to the initiation of tree removal or ground disturbance. The survey shall cover the Project Area (including tree removal areas) and surrounding areas within 500 feet. If active bird nests are found during the survey, an appropriate no-disturbance buffer shall be established by the qualified biologist. A qualified biologist shall monitor all active nests during construction each day for one week, and weekly thereafter, to ensure that construction activities do not disturb nesting birds or raptors. If the qualified biologist observes birds displaying nest-disturbance behavior, the qualified biologist shall cease all work and CDFW shall be consulted with regarding appropriate avoidance and minimization measures prior to resuming construction. In this event, construction shall not resume without CDFW's written permission. Monitoring shall continue until a qualified biologist determines that the nest is no longer active, at which point no-disturbance buffer may be lifted and work may be initiated within the buffer.

Method of Monitoring: The permittee shall have a nesting bird survey completed prior to any ground disturbing activities scheduled to occur on the site from February 1 through August 31. The survey results shall be provided to the Napa County Planning, Building and Environmental Services. In the event any special-status or other protected nesting birds are found to occur on-site construction activities shall be scheduled to avoid nesting and breeding periods and consultation will be sought with CDFW to develop appropriate measures to reduce potential impacts to nesting birds protected under the Fish and Game Code section 3500 et seq. and Migratory Bird Treaty Act.

Responsible Agency: CDFW

b. Tribal Cultural Resources

MM TCR-1: Ground disturbing activities occurring in conjunction with the Project (including surveys, testing, concrete pilings, debris removal, rescrapes, punch lists, erosion control (mulching, waddles, hydroseeding, etc.), pot-holing or auguring, boring, grading, trenching, foundation work and other excavations or other ground disturbance involving the moving of dirt or rocks with heavy equipment or hand tools within the Project area) shall be monitored on a full-time basis by qualified tribal monitor(s) approved by the Tribe. The tribal monitoring shall be supervised by the project Tribal Cultural Advisor. Tribal monitoring should be conducted by qualified tribal monitor(s) approved by the Tribe, who is defined as qualified individual(s) who has experience with identification, collection and treatment of tribal cultural resources of value to the Tribe. The duration and timing of the monitoring will be determined by the project Tribal Cultural Advisor. If the project Tribal Cultural Advisor determines that full-time monitoring is no longer warranted, he or she may recommend that tribal monitoring be reduced to periodic spot-checking or cease entirely. Tribal monitoring would be reinstated in the event of any new or unforeseen ground disturbances or discoveries.

Responsible Agency: Planning Division

MM TCR-2: The project Tribal Cultural Advisor and tribal monitor(s) may halt ground disturbance activities in the immediate area of discovery when known or suspected tribal cultural resources are identified until further evaluation can be made in determining their significance and appropriate treatment or disposition. There must be at minimum one tribal monitor for every separate area of ground disturbance activity that is at least 30 meters or 100 feet apart unless otherwise agreed upon in writing between the Tribe and applicant. Depending on the scope and schedule of ground disturbance activities of the Project (e.g., discoveries of cultural resources or simultaneous activities in multiple locations that require multiple tribal monitors, etc.) additional tribal monitors may be required on-site. If additional tribal monitors are needed, the Tribe shall be provided with a minimum of three (3) business days advance notice unless otherwise agreed upon between the Tribe and applicant. The on-site tribal monitoring shall end when the ground disturbance activities are completed, or when the project Tribal Cultural Advisor has indicated that the site has a low potential for tribal cultural resources.

Responsible Agency: Planning Division

MM TCR-3: All on-site personnel of the Project shall receive adequate cultural resource sensitivity training approved by the project Tribal Cultural Advisor or his or her authorized designee prior to initiation of ground disturbance activities on the Project. The training must also address the potential for exposing subsurface resources and procedures

if a potential resource is identified. The Project applicant will coordinate with the Tribe on the cultural resource sensitivity training.

Responsible Agency: Planning Division

MM TCR-4: The Project applicant must meet and confer with the Tribe, at least 45 days prior to commencing ground disturbance activities on the Project to address notification, protection, treatment, care and handling of tribal cultural resources potentially discovered or disturbed during ground disturbance activities of the Project. All potential cultural resources unearthed by Project activities shall be evaluated by the project Tribal Cultural Advisor. The Tribe must have an opportunity to inspect and determine the nature of the resource and the best course of action for avoidance, protection and/or treatment of tribal cultural resources to the extent permitted by law. If the resource is determined to be a tribal cultural resource of value to the Tribe, the Tribe will coordinate with the Project applicant to establish appropriate treatment and disposition of the resources with appropriate dignity which may include reburial or preservation of resources. The Project applicant must facilitate and ensure that the determination of treatment and disposition by the Tribe is followed to the extent permitted by law. No laboratory studies, scientific analysis, collection, curation, or video recording are permitted for tribal cultural resources without the prior written consent of the Tribe.

Method of Monitoring: Prior to initial ground disturbance the permittee shall provide documentation to the Planning Division that the permittee has retained a project Tribal Cultural Advisor designated by the Tribe, to direct all mitigation measures related to tribal cultural resources.

Responsible Agency: Planning Division

6.14 PARCEL CHANGE REQUIREMENTS **[RESERVED]**

6.15 FINAL MAPS **[RESERVED]**

6.16 OTHER CONDITIONS APPLICABLE TO THE PROJECT PERMITTING PROCESS

a. Groundwater Demand Management Program

1. The permittee shall install a meter on the project well. The meter shall be placed in a location that will allow for the measurement of all groundwater used on the project parcel. Prior to the issuance of building permits for the pool house or barn as approved under this permit, the permittee shall submit for review and approval by the PBES Director a groundwater demand management plan which includes a plan for the location and the configuration of the installation of a meter on the project well.

2. The Plan shall identify how best available technology and best management water conservation practices will be applied throughout the parcel.
 3. The Plan shall identify how best management water conservation practices will be applied where possible in the structures on site. This includes but is not limited to the installation of low flow fixtures and appliances.
 4. As groundwater consuming activities already exists on the property, meter installation and monitoring shall begin immediately, and the first monitoring report is due to the County within 120 days of approval of this permit.
 5. For the first twelve months of operation under this permit, the permittee shall read the meters at the beginning of each month and provide the data to the PBES Director monthly. If the water usage on the property exceeds, or is on track to exceed, 2.205 acre-feet per year, or if the permittee fails to report, additional reviews and analysis and/or a corrective action program at the permittee's expense shall be required and shall be submitted to the PBES Director for review and action.
 6. The permittee's well shall be included in the Napa County Groundwater Monitoring program if the County finds the well suitable.
 7. At the completion of the reporting period per 6.16(a)(5) above, and so long as the water usage is within the maximum acre-feet per year as specified above, the permittee may begin the following meter reading schedule:
 - i. On or near the first day of each month the permittee shall read the water meter, and provide the data to the PBES Director during the first weeks of April and October. The PBES Director, or the Director's designated representative, has the right to access and verify the operation and readings of the meters during regular business hours.
 - ii. Upon continued increases in operations approved under this permit, the PBES Director, or the Director's designated representative, has the right to revise the data submittal schedule.
- b. Within 90 days of approval of this permit, the permittee shall submit information on the existing well pump flow restrictor as described in COA 4.12.a.ii. to the Planning Division. The submittal shall include a narrative providing information of how the device works, equipment specifications, and a maintenance and monitoring plan. Any request for extension of time must be submitted in writing by the permittee and received by the PBES

Department two (2) weeks prior to the end of the timeline specified herein and the PBES Department will determine the extension timeframe.

7.0 PROJECT CONSTRUCTION

Permittee shall comply with the following during project construction:

7.1 SITE IMPROVEMENT

Please contact Engineering Services with any questions regarding the following:

a. GRADING & SPOILS

All grading and spoils generated by construction of the project facilities shall be managed per Engineering Services direction. Alternative locations for spoils are permitted, subject to review and approval by the PBES Director, when such alternative locations do not change the overall concept, and do not conflict with any environmental mitigation measures or conditions of approval.

b. DUST CONTROL

Water and/or dust palliatives shall be applied in sufficient quantities during grading and other ground disturbing activities on-site to minimize the amount of dust produced. Outdoor construction activities shall not occur when average wind speeds exceed 20 mph.

c. AIR QUALITY

During all construction activities the permittee shall comply with the most current version of BAAQMD Basic Construction Best Management Practices including but not limited to the following, as applicable:

1. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. The BAAQMD's phone number shall also be visible.
2. Water all exposed surfaces (e.g., parking areas, staging areas, soil piles, grading areas, and unpaved access roads) two times per day.
3. Cover all haul trucks transporting soil, sand, or other loose material off-site.
4. Remove all visible mud or dirt tracked onto adjacent public roads by using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
5. All vehicle speeds on unpaved roads shall be limited to 15 mph.
6. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.

7. Idling times shall be minimized either by shutting off equipment when not in use or reducing the maximum idling time to five (5) minutes (as required State Regulations). Clear signage shall be provided for construction workers at all access points.
8. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator. Any portable engines greater than 50 horsepower or associated equipment operated within the BAAQMD's jurisdiction shall have either a California Air Resources Board (ARB) registration Portable Equipment Registration Program (PERP) or a BAAQMD permit. For general information regarding the certified visible emissions evaluator or the registration program, visit the ARB FAQ http://www.arb.ca.gov/portable/perp/perpfaq_04-16-15.pdf or the PERP website <http://www.arb.ca.gov/portable/portable.htm>.

d. **STORM WATER CONTROL**

The permittee shall comply with all construction and post-construction storm water pollution prevention protocols as required by the County Engineering Services Division, and the State Regional Water Quality Control Board.

7.2 **ARCHEOLOGICAL FINDING**

In the event that archeological artifacts or human remains are discovered during construction, work shall cease in a 50-foot radius surrounding the area of discovery. The permittee shall contact the PBES Department for further guidance, which will likely include the requirement for the permittee to hire a qualified professional to analyze the artifacts encountered and to determine if additional measures are required.

If human remains are encountered during project development, all work in the vicinity must be halted, and the Napa County Coroner informed, so that the Coroner can determine if an investigation of the cause of death is required, and if the remains are of Native American origin. If the remains are of Native American origin, the permittee shall comply with the requirements of Public Resources Code Section 5097.98.

7.3 **CONSTRUCTION NOISE**

Construction noise shall be minimized to the greatest extent practical and feasible under State and local safety laws, consistent with construction noise levels permitted by the General Plan Community Character Element and the County Noise Ordinance. Construction equipment muffling and hours of operation shall be in compliance with the County Code. Equipment shall be shut down when not in use. Construction equipment shall be staged, loaded, and unloaded on the project site, if at all practicable. If project terrain or access road conditions require construction equipment to be staged, loaded, or unloaded off the project site (such as on a neighboring road or at the base of a hill), such activities only shall occur daily between the hours of 8:00 AM to 5:00 PM.

7.4 CONSTRUCTION MITIGATION MEASURES

The permittee shall comply with the following construction mitigation measures identified in the adopted Initial Study/Mitigated Negative Declaration and Project Revision Statement/Mitigation Monitoring and Reporting Program prepared for the project:

a. Biological Resources

MM BIO-2: If tree/vegetation removal and initial ground disturbance must occur during the general bird nesting season (i.e., February 1 to August 31), a pre-construction nesting bird survey shall be performed by a qualified biologist no more than seven (7) days prior to the initiation of tree removal or ground disturbance. The survey shall cover the Project Area (including tree removal areas) and surrounding areas within 500 feet. If active bird nests are found during the survey, an appropriate no-disturbance buffer shall be established by the qualified biologist. A qualified biologist shall monitor all active nests during construction each day for one week, and weekly thereafter, to ensure that construction activities do not disturb nesting birds or raptors. If the qualified biologist observes birds displaying nest-disturbance behavior, the qualified biologist shall cease all work and CDFW shall be consulted with regarding appropriate avoidance and minimization measures prior to resuming construction. In this event, construction shall not resume without CDFW's written permission. Monitoring shall continue until a qualified biologist determines that the nest is no longer active, at which point no-disturbance buffer may be lifted and work may be initiated within the buffer.

Method of Monitoring: The permittee shall have a nesting bird survey completed prior to any ground disturbing activities scheduled to occur on the site from February 1 through August 31. The survey results shall be provided to the Napa County Planning, Building and Environmental Services. In the event any special-status or other protected nesting birds are found to occur on-site construction activities shall be scheduled to avoid nesting and breeding periods and consultation will be sought with CDFW to develop appropriate measures to reduce potential impacts to nesting birds protected under the Fish and Game Code section 3500 et seq. and Migratory Bird Treaty Act.

Responsible Agency: CDFW

b. Tribal Cultural Resources

MM TCR-1: Ground disturbing activities occurring in conjunction with the Project (including surveys, testing, concrete pilings, debris removal, rescapes, punch lists, erosion control (mulching, wattles, hydroseeding, etc.), pot-holing or auguring, boring, grading, trenching, foundation work and other excavations or other ground disturbance involving the moving of dirt or rocks with heavy equipment or hand tools within the Project area) shall be monitored on a full-time basis by qualified tribal monitor(s) approved by the Tribe. The tribal monitoring shall be supervised by the

project Tribal Cultural Advisor. Tribal monitoring should be conducted by qualified tribal monitor(s) approved by the Tribe, who is defined as qualified individual(s) who has experience with identification, collection and treatment of tribal cultural resources of value to the Tribe. The duration and timing of the monitoring will be determined by the project Tribal Cultural Advisor. If the project Tribal Cultural Advisor determines that full-time monitoring is no longer warranted, he or she may recommend that tribal monitoring be reduced to periodic spot-checking or cease entirely. Tribal monitoring would be reinstated in the event of any new or unforeseen ground disturbances or discoveries.

Responsible Agency: Planning Division

MM TCR-2: The project Tribal Cultural Advisor and tribal monitor(s) may halt ground disturbance activities in the immediate area of discovery when known or suspected tribal cultural resources are identified until further evaluation can be made in determining their significance and appropriate treatment or disposition. There must be at minimum one tribal monitor for every separate area of ground disturbance activity that is at least 30 meters or 100 feet apart unless otherwise agreed upon in writing between the Tribe and applicant. Depending on the scope and schedule of ground disturbance activities of the Project (e.g., discoveries of cultural resources or simultaneous activities in multiple locations that require multiple tribal monitors, etc.) additional tribal monitors may be required on-site. If additional tribal monitors are needed, the Tribe shall be provided with a minimum of three (3) business days advance notice unless otherwise agreed upon between the Tribe and applicant. The on-site tribal monitoring shall end when the ground disturbance activities are completed, or when the project Tribal Cultural Advisor has indicated that the site has a low potential for tribal cultural resources.

Responsible Agency: Planning Division

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Responsible Agency: Planning Division

MM TCR-4: The Project applicant must meet and confer with the Tribe, at least 45 days prior to commencing ground disturbance activities on the Project to address notification, protection, treatment, care and handling of tribal cultural resources potentially discovered or disturbed during ground disturbance activities of the Project. All potential cultural resources unearthed by Project activities shall be evaluated by the project Tribal Cultural Advisor. The Tribe must have an opportunity to inspect and

determine the nature of the resource and the best course of action for avoidance, protection and/or treatment of tribal cultural resources to the extent permitted by law. If the resource is determined to be a tribal cultural resource of value to the Tribe, the Tribe will coordinate with the Project applicant to establish appropriate treatment and disposition of the resources with appropriate dignity which may include reburial or preservation of resources. The Project applicant must facilitate and ensure that the determination of treatment and disposition by the Tribe is followed to the extent permitted by law. No laboratory studies, scientific analysis, collection, curation, or video recording are permitted for tribal cultural resources without the prior written consent of the Tribe.

Method of Monitoring: Prior to initial ground disturbance the permittee shall provide documentation to the Planning Division that the permittee has retained a project Tribal Cultural Advisor designated by the Tribe, to direct all mitigation measures related to tribal cultural resources.

Responsible Agency: Planning Division

7.5 OTHER CONSTRUCTION CONDITIONS APPLICABLE TO THE PROJECT PROPOSAL **[RESERVED]**

8.0 TEMPORARY CERTIFICATE OF OCCUPANCY – PREREQUISITES [RESERVED]

9.0 FINAL CERTIFICATE OF OCCUPANCY – PREREQUISITES

Permittee shall comply with the following before a Final Certificate of Occupancy is granted by the County Building Official, which upon granting, authorizes all use permit activities to commence:

9.1 FINAL OCCUPANCY

All project improvements, including compliance with applicable codes, conditions, and requirements of all Departments and Agencies with jurisdiction over the project, shall be completed.

9.2 SIGNS **[RESERVED]**

9.3 GATE/ENTRY STRUCTURES **[RESERVED]**

9.4 LANDSCAPING

Landscaping shall be installed in accordance with the approved landscape plan.

9.5 ROAD OR TRAFFIC IMPROVEMENT REQUIREMENTS **[RESERVED]**

9.6 DEMOLITION ACTIVITIES **[RESERVED]**

9.7 GRADING SPOILS

All spoils piles shall be removed in accordance with the approved grading permit and/or building permit.

- 9.8 MITIGATION MEASURES APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY **[RESERVED]**
- 9.9 OTHER CONDITIONS APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY **[RESERVED]**
- a. Provide evidence that the required well meter has been installed and groundwater usage monitoring has commenced as required in COA Nos. 4.12(a) and 6.16(a).



A Tradition of Stewardship
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Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

Brian D Bordona
Director

MEMORANDUM

To: Hannah Spencer Planning Division	From: Ginevra Augustini Engineering Division
Date: June 25 th , 2025	Re: P25-00121 4000 Silverado Trl N - Pool House 030-210-010-000

The Engineering Division received a referral for comment on an administrative viewshed permit. Based upon the information provided in the application, Engineering finds the application **complete** and recommends the following conditions of approval:

RECOMMENDED APPROVAL CONDITIONS:

PREREQUISITES FOR ISSUANCE OF PERMITS

1. Any changes to the roadway, access driveway, and parking areas, proposed new or reconstructed shall be captured under a revision to the site's grading permit, ENG21-00034, and shall be consistent with the most recent edition of the Napa County Road and Street Standards.
2. Any improvements constructed within the Public right-of-way will require an encroachment permit from the Department of Public Works.
3. Any changes to site civil improvements including but not limited to the excavation, fill, general grading, drainage, curb, gutter, surface drainage, storm drainage, and parking and driveways, shall be prepared by a registered civil engineer and captured by a revision to ENG21-00034, which will be reviewed and approved by the Engineering Division of the Napa County Planning, Building, and Environmental Services Department (PBES) **prior to the commencement of any on site land preparation or construction**. Plans shall be wet signed and submitted with the building and/or grading permit documents at the time of permit application. A plan check fee will apply.
4. Grading and drainage improvements shall be constructed according to the current Napa County Road and Street Standards, Chapter 16.28 of the Napa County Municipal Code, and Appendix J of the California Building Code.

5. **Prior to issuance of a development permit (i.e. building permit and/or grading permit),** the owner shall submit or update the necessary documents for erosion control as determined by the area of disturbance of the proposed development in accordance with the Napa Countywide Stormwater Pollution Prevention Program Erosion and Sediment Control Plan Guidance document, date December 2014.
6. **Prior to the issuance of a development permit,** the owner shall make any necessary updates to the approved Single Family Dwelling Stormwater Control Plan (SCP) under ENG21-00034 in accordance with the latest edition of the BASMAA Post-Construction Manual for review and approval by the Engineering Division of PBES.

PREREQUISITES FOR FINAL CERTIFICATE OF OCCUPANCY

1. The site shall be completely stabilized to the satisfaction of the County Engineer prior to final occupancy.

Any changes in use or design may necessitate additional review and approval.

If you have any questions regarding the above items, please contact Ginevra Augustini from Napa County PBES Department Engineering Division at (707)-299-1358 or via e-mail at ginevra.augustini@countyofnapa.org.

Sincerely,

A handwritten signature in black ink, appearing to read "G. Augustini", with a stylized flourish at the end.

Ginevra Augustini, EIT
Assistant Engineer



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Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

Brian D. Bordona
Director

MEMORANDUM

To: Zoning Administrator	From: Hannah Spencer, Planner III
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Date: August 27, 2025	Re: Marineau-Mes Accessory Structures Viewshed; Application No. P25-00207-VIEW (formerly P25-00121) Addendum to Previously Adopted Mitigated Negative Declaration
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Project Title: Marineau-Mes Accessory Structures Viewshed Protection Program, Application No. P25-00207-VIEW (formerly P25-00121).

Project Location and Assessor's Parcel Number: 4000 Silverado Trl. N, Angwin, CA 94515; Assessor's Parcel No. 021-010-079.

Project Sponsor Contact Person: Jessica Stuenkel with Feldman Architecture Steve & Judith Padis, 1648 Pacific Ave., Suite B San Francisco, CA 94019, (415) 856-9083, or jstuenkel@feldmanarch.com

Napa County Contact Person: Hannah Spencer, Planner III, Planning, Building & Environmental Services, Planning Division 1195 Third Street, Suite 210, Napa, CA 94559 (707) 253- 4018, or hannah.spencer@countyofnapa.org

Introduction:

On April 28, 2021, the Zoning Administrator held a public hearing, adopted a Mitigated Negative Declaration (MND) pursuant to the California Environmental Quality Act (CEQA Public Resources Code Section 21000 et seq.), and conditionally approved the Marineau-Mes Residential Viewshed permit

Application No. P20-00230 to allow a new 3,992 square-foot residence, a 2,329 square-foot detached garage with an accessory dwelling unit on the second floor, and associated improvements including a new driveway, pump house, three water tanks, a pool, and plans for tree retention and landscaping to substantially screen the development from view from Silverado Trail. After a Lot Line Adjustment was processed in 2022, the subject property increased in size from 4.07 acres to 5.67 acres. Later in 2022, the Planning, Building and Environmental Services Department (PBES) began issuing development permits for the Marineau-Mes Residence Viewshed permit. Construction on the existing development is expected to be completed by fall 2025.

On August 13, 2024, the PBES Director adopted an MND and approved an erosion control plan for a 1.09-acre vineyard on the property under Application No. P22-00212-ECP. The erosion control plan is a separate, independent project under CEQA and is not analyzed in this Addendum.

Proposed Project:

On April 24, 2025, the applicant submitted a Viewshed Application to add a pool house and a barn to the preapproved site plan for the Marineau-Mes Residence Viewshed project. The proposed additions consist of 1) a new 22-foot-tall, 1,085 square foot pool house surrounded by a 665 square-foot outdoor patio with trellis, handrails, and a concrete retaining wall and stairs connecting to an existing pool patio; 2) a new 15-foot tall, 300 square-foot barn near the vineyard, pump house and water tanks located in the southern portion of the property; 3) a new landscaping plan to add two 48-inch box Coast Live Oak trees and two new 15-gallon Catalina Cherry shrubs; and 4) a new drainage swale and storm drain inlets that tie into the existing drainage system onsite. The project is located on a 5.67-acre site within the AW (Agricultural Watershed) zoning district, on the east side of a Silverado Trail N, approximately 0.35 miles south of Larkmead Lane and 2.9+/- miles south of the City of Calistoga; APN: 021-010-079. 4000 Silverado Trl. N, Angwin. The application materials, including the project's plans, are available for review on the Department's website "Current Projects Explorer" which can be accessed here: [https://www.countyofnapa.org/2876/Current- Projects-Explorer](https://www.countyofnapa.org/2876/Current-Projects-Explorer)

Statutory Background:

Under CEQA Guidelines Section 15164, an addendum to an adopted negative declaration (ND) may be prepared if only minor technical changes or additions are necessary *or none of the conditions described in Section 15162 calling for the preparation of a subsequent EIR or negative declaration have*

occurred. An addendum is appropriate unless, the lead agency determines based on substantial evidence in the record, one or more of the following occurs: (a) substantial changes are proposed in the project which will require major revisions of the prior ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (b) substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the prior ND; or (c) new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the prior ND was adopted such as new significant effects, more severe significant effects, mitigation measures previously found infeasible are feasible, or there is feasible mitigation that the applicant declines to adopt (Section 15162). The addendum need not be circulated for public review [CEQA Guidelines Section 15164(c)]; however, the decision-maker must consider the addendum along with the previously-adopted environmental document prior to making a decision on the project (CEQA Guidelines Section 15164 (d)).

This Addendum along with the project materials and administrative record demonstrates that the environmental analysis and impacts identified in the previously adopted MND for the Marineau-Mes Residence Viewshed remain substantially unchanged by adding the pool house, barn and associated improvements, and that there is no new information of substantial importance or any significant changes to the project that require preparation of a subsequent MND.

This Addendum is prepared to the Marineau-Mes Residence Viewshed MND adopted in 2021 under File No. P20-00230. A copy of the 2021 MND is available for review at the offices of the Napa County Planning, Building and Environmental Services Department, 1195 Street, Second Floor, Napa, California, in the custody of the PBES Interim Director. It is also available for review on the Department's website "Current Projects Explorer" at: <https://www.countyofnapa.org/2876/Current-Projects-Explorer>

Staff Analysis:

The following discusses the changes and additions to the 2021 adopted MND that would result from the proposed Project:

1. Proposed Accessory Structures:

The 2021 MND analyzed a new residential complex with associated infrastructure and improvements, including a swimming pool and patio located at 318 feet above mean sea level (msl), approximately 50 feet from the main dwelling. The project proposes to add a residential accessory structure consisting of a 1,085 square-foot pool house with a surrounding 665 square-foot outdoor patio above the existing swimming pool, constructed at 324 feet above msl, approximately 50 feet from the existing single-family dwelling. Associated improvements include new trellising, handrails, a concrete retaining wall, and stairs that connect to the swimming pool patio. The pool house will utilize the existing driveway and pathways approved under the Marineau-Mes Residence Viewshed project.

The project also proposes a 300 square-foot barn in the southeastern portion of the property next to the existing vineyard and water tank/pump house infrastructure. The barn would be constructed at 320 feet above msl and utilize an existing dirt road.

Due to the relatively small building footprints and use of existing access features, the project does not result in substantial changes to the natural landforms and topography of the site. Grading will be limited to the creation of the foundation for the pool house and barn. Additionally, the proposed work areas are within areas previously disturbed by construction activities authorized by the Marineau-Mes Residence Viewshed and ECP project approvals. As a result, no trees or vegetation is proposed for removal to accommodate the new buildings.

Existing and proposed landscaping will visually screen the pool house and barn consistent with the County's viewshed protection manual. The architectural design of each structure will utilize dark earth tone and non-reflective materials and colors. All exterior lighting will be designed to minimize nighttime light disruption and visual glare. As such, the project would not degrade the existing character of the site and its surroundings, and impacts would be less than significant.

2. Stormwater Control Features:

The 2021 MND analyzed standard stormwater quality treatment controls to treat runoff prior to discharge from the property, including a drainage swale running behind the single-family dwelling and pool. The project proposes to tie into the existing drainage system by adding a drainage swale and two storm drain inlets behind the pool house. Stormwater would be captured above the pool house and ultimately dispersed through existing level spreaders in the lower vineyard onsite.

3. Water Use:

The 2021 MND determined the total projected water demand for the Marineau-Mes Residence viewshed plus the 0.75-acre lower vineyard would result in a modest increase on the demand of groundwater supplies based on Napa County Water Availability Guidance Document, appendix B. On June 25, 2024, HDVine LLC prepared an updated parcel-specific Water Availability Analysis for the 1.09-acre vineyard project (2024 WAA). The 2024 WAA estimated the property's total groundwater usage at 1.64 AF/yr and the property's groundwater recharge to be 2.45 AF/yr, resulting in a net positive water balance of 0.8 AF/yr. Vineyard water demand was estimated at 0.56 AF/yr while the residential uses (main dwelling, accessory dwelling unit, pool, landscaping) were estimated to require 1.08 AF/yr. Conditions of Approval of P22-00212-ECP limit pumping capacity to a maximum of 10 gallons per minute to minimize impacts to Dutch Henry Creek, a designated Significant Stream (notated as Biter Creek on some maps), and a neighboring well. Prior to final on the 1.09-acre vineyard, the landowner must install a flow regulation device on the project well.

Considering the property's 2024 water balance for existing uses is estimated at a net positive of 0.8 AF/yr, and that the proposed new water uses include minor additions to landscaping, a pool house, and no new dwelling units; it can be assumed the project's increase in water demand will not result in a potentially significant impact to groundwater resources. Even if the proposed water demand matched that of a full-time accessory dwelling unit (0.20 to 0.50 AF/yr based on Appendix B of Napa County Water Availability Guidance Document), the property would still be expected to remain below the annual rate of recharge. Additionally, no increase in water use is assumed for the barn as there are no proposed plumbing fixtures or water lines identified on project plans. Because the existing and proposed estimated groundwater use would be close to 90% of the annual rate of recharge, a condition of approval limiting groundwater to use 2.205 acre-feet¹ per year has been incorporated into the project.

4. Public Trust:

The public trust doctrine requires the state and its legal subdivisions to "consider," give "due regard," and "take the public trust into account" when considering actions that may adversely affect a navigable waterway. (*Environmental Law Foundation v. State Water Resources Control Bd.*; *San Francisco Baykeeper, Inc. v. State Lands Com.*) There

¹ 2.205 acre-feet of groundwater represents 90% of the property's annual recharge volume as calculated in the *Sebastien Marineau-Mes Vineyard Water Availability Analysis*, prepared by HDVine LLC, dated June 2022 (Revised June 25, 2024).

is no “procedural matrix” governing how an agency should consider public trust uses. (Citizens for East Shore Parks v. State Lands Com.) Rather, the level of analysis “begins and ends with whether the challenged activity harms a navigable waterway and thereby violates the public trust.” (Environmental Law Foundation, 26 Cal.App.5th at p. 403.). As demonstrated in the Environmental Law Foundation vs State Water Resources Control Board Third District Appellate Court Case, that arose in the context of a lawsuit over Siskiyou County’s obligation in administering groundwater well permits and management program with respect to Scott River, a navigable waterway (considered a public trust resource), the court affirmed that the public trust doctrine is relevant to extractions of groundwater that adversely impact a navigable waterway and that Counties are obligated to consider the doctrine, irrespective of the enactment of the Sustainable Groundwater Management Act (SGMA).

As noted above, a Water Availability Analysis (WAA) was prepared as part of the vineyard project. The WAA included a review of potential impacts to surface waters due to the proximity of Dutch Henry Creek (notated as Biter Creek on some maps) which is approximately 650 feet west of the project well. The County’s WAA Guidance Document provides well set-back standards and construction criteria in Tables 3, 4 and 5 that if met would be expected to preclude any significant adverse effects on surface waters. Per the WAA Guidance Document, very low flow wells (up to 10 gpm) located 500 feet or more away from a surface water channel would be expected to preclude any significant adverse effects on surface waters. The project well meets this criteria and therefore the County has satisfied its duty to consider impacts to trust resources and no further analysis is required.

Summary and Findings:

The findings and mitigation measures contained in the 2021 MND remain valid and no new impacts or increases in previously analyzed impacts have been identified. All the applicable 2021 MND mitigation measures for biological and tribal cultural resources (BIO-2, TCR-1, TCR-2, TCR-3, and TCR-4) have been incorporated into the proposed project conditions of approval as construction activities could result in ground disturbance during the general bird nesting season and/or accidental discovery of buried archeological resources. Mitigation Measure BIO-1 is not applicable as the project does not propose tree removal and as a result, would not trigger the mitigation measure’s requirement to prepare a bat habitat assessment prior to tree removal.

Thus, staff concludes that the addition of the pool house, barn, and associated improvements will not result in new impacts beyond those analyzed in the Marineau-Mes Residence MND adopted in 2021, as further explained in the discussion above. None of the conditions described in Section 15162 of the

CEQA Guidelines calling for preparation of a subsequent negative declaration have occurred, and thus, an Addendum to the Marineau-Mes Residence MND is appropriate to satisfy CEQA requirements for the proposed project.

The following findings are provided in accordance with CEQA Section 15164(e) concerning the decision not to prepare a subsequent negative declaration pursuant to CEQA Guidelines Section 15162:

- a) None of the following conditions calling for preparation of a subsequent mitigated negative declaration have occurred:
 - 1) Substantial changes are proposed in the project which will require major revisions of the Marineau-Mes Residence MND due to the involvement of new significant environmental effects or a substantial increase in severity of previously identified significant effects;
 - 2) Substantial changes occur with respect to the circumstances under which the project is being undertaken which will require major revisions of the Marineau-Mes Residence MND due to involvement of new significant environmental effects or a substantial increase in severity of previously identified significant effects; or
 - 3) New information of substantial importance which was not known and could not have been known with the exercise of reasonable diligence at the time the Marineau-Mes Residence MND was adopted, shows the following:
 - A. The project will have one or more significant effects not discussed in the Marineau-Mes Residence MND;
 - B. Significant effects previously examined will be substantially more severe than previously shown in the Marineau-Mes Residence MND;
 - C. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
 - D. Mitigation measures or alternatives which are considerably different from those analyzed in the Marineau-Mes Residence MND would substantially reduce one or more significant effects on the environment, but the project proponents decline to

adopt the mitigation measure or alternative.

This Addendum to the Marineau-Mes Residence MND finds that actions under the proposed project, as identified herein, will not result in any new significant environmental effects nor result in the substantial increase of any previously identified impacts in the previous MND.

The conclusions and recommendations contained herein are professional opinions derived in accordance with current standards of professional practice. They are based on a review of the Napa County Environmental Resource Maps, other sources of information listed in the file, and comments received; conversations with knowledgeable individuals; the preparer's personal knowledge of the area; and, where necessary a visit to the site.

“D”

2021 Adopted Mitigated Negative
Declaration for P20-00230

COUNTY OF NAPA
PLANNING, BUILDING AND ENVIRONMENTAL SERVICES DEPARTMENT
1195 THIRD STREET SUITE 210
NAPA, CA 94559
(707) 253-4417

Initial Study Checklist
(form updated January 2019)

1. **Project Title:** Sebastien Marineau-Mes Residence Viewshed #P20-00230-VIEW
2. **Property Owner:** Sebastien Marineau-Mes, 619 Diamond Street, San Francisco, CA 94114, sebastien.marineau@gmail.com
3. **County Contact Person, Phone Number and email:** Sean Trippi, 707-299-1353; sean.trippi@countyofnapa.org
4. **Project Location and Assessor's Parcel Number (APN):** The project is located on a \pm 4.07 acre site on the east side of Silverado Trail, approximately 1,900 feet south of Larkmead Lane, 4000 Silverado Trail, Calistoga, CA 94515, APN: 021-010-077
5. **Project sponsor's name and address:** Jessica Stuenkel / Feldman Architecture, 1648 Pacific Ave., Ste. B, San Francisco, CA 94019
6. **General Plan description:** Agriculture, Watershed & Open Space
7. **Zoning:** Agricultural Watershed
8. **Background/Project History:** The project site is planted in \pm 0.6 acres of vineyard on the lower portion of the site along Silverado Trail and, is otherwise undeveloped.
9. **Description of Project:** Approval under the Viewshed Protection Program to allow the construction of a new 3,996 sq. ft. single family residence; construction of a new 1,125 sq. ft. garage; construction of a new 972 sq. ft. accessory dwelling unit (ADU) over the garage; swimming pool; driveway improvements to County standards; construction of a \pm 5,000 gallon water storage tank; installation of wastewater treatment system; and, associated infrastructure consistent with the Napa County Code.
10. **Describe the environmental setting and surrounding land uses.** The project is located on the Calistoga, CA USGS Quad at elevation 300–435 ft. MSL. The \pm 4.07 acre parcel has frontage on the east side of Silverado Trail, \pm 0.35 miles south of Larkmead Lane, approximately 2.9 miles southeast of the City of Calistoga. The land is moderately sloping northeasterly from 0% to 30%, with approximately 3.01 acres of coastal live oak woodland native vegetation and \pm 0.6 acres of vineyards. The dominant tree is the coast live oak (*Quercus agrifolia*) with substantial cover of Douglas fir (*Pseudotsuga menziesii*), Ponderosa Pine (*Pinus ponderosa*), California black oak (*Quercus kelloggii*), Pacific Madrone (*Arbutus menziesii*), and California bay (*Umbellularia californica*). The County Environmental Sensitivity maps indicate the parcel is located within areas of biological and cultural sensitivity. The Biological Resource Reconnaissance Report by WRA (July 2020), prepared for the project indicated the area has potential habitat for two special-status bats and two special-status birds. The Cultural Resources Survey Report (August, 2020), prepared by Ashleigh Sims, advised that the results of the records search indicate no cultural resources have been previously recorded within the project area and that upon examinations of all areas of open ground surface, they did not identify archaeological resources or other evidence of past prehistoric use or occupation in the project area. Foundation materials consist of Pre Quaternary surficial deposits and bedrock, overlain by Holocene fan deposits and Volcanic bedrock, with Bale clay loam soils on the west side of the parcel and Boomer gravelly loam soils, on the east side major portion of parcel. Vegetative cover consists of \pm 0.6 acres of vineyard along the flat areas adjacent to the road on the westerly side of the parcel, with increasing slope toward the east, covered by coniferous forest on the major northeast portion of the parcel. Surrounding land uses include: a winery (Davis Estates), vineyards and rural residences to the north; vineyard to the west, rural residences to the south; and undeveloped areas to the east.
11. **Other agencies whose approval is required** (e.g., permits, financing approval, or participation agreement).
The project would also require various ministerial approvals by the County, including but not limited to building permits, grading permits, waste disposal permits, and an encroachment permit, in addition to meeting CalFire standards.

Responsible (R) and Trustee (T) Agencies: California Department of Fish and Wildlife

Other Agencies Contacted: None

12. **Tribal Cultural Resources.** Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resource, procedures regarding confidentiality, etc.?

Notifications of Proposed Project, Pursuant to PRC Code Section 210803.2, were forwarded to the three tribes who have requested notification on October 23, 2020 and on October 26, 2020. On November 5, 2020, Middletown Rancheria of Pomo Indians of California concluded that the project is within the aboriginal territories of the Middletown Rancheria and requested any additional information regarding the project – details including, but not limited to, any additional surveys and reports, geotech reports, grading plans, dates and timelines of project activities. The Yoche Dehe tribal representative advised the project is not within their aboriginal boundaries and deferred to the Middletown Rancheria. Staff met with a representative of the Middletown Rancheria on December 22, 2020, at the project site to discuss issues or concerns regarding the proposed project. See Section XVIII of this initial study.

Note: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21080.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

ENVIRONMENTAL IMPACTS AND BASIS OF CONCLUSIONS:

The conclusions and recommendations contained herein are professional opinions derived in accordance with current standards of professional practice. They are based on a review of the Napa County Environmental Resource Maps, the other sources of information listed in the file, and the comments received, conversations with knowledgeable individuals; the preparer's personal knowledge of the area; and, where necessary, a visit to the site. For further information, see the environmental background information contained in the permanent file on this project.

On the basis of this initial evaluation:

- ☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a (SUBSEQUENT) NEGATIVE DECLARATION will be prepared.
- ☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared. (Biological)
- ☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Sean Trippi

Signature

February 17, 2021

Date

Sean Trippi, Project Planner

Napa County Planning, Building and Environmental Services Department

I. AESTHETICS. Except as provided in Public Resources Code Section 21099, would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from a publicly accessible vantage point.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

- a-c. The project site is subject to *Napa County Zoning Ordinance*, Chapter 18.106 (*Viewshed Protection Ordinance*) because Silverado Trail is identified as a designated public road in the *Napa County General Plan*. As proposed, the project has been designed in substantial conformance with the County's Viewshed Protection Manual because it would avoid grading on slopes in excess of 30 percent and would be located more than 25-feet below the minor ridgeline, located about the 1700-1800 ft. elevation contour east of the project. Although 20 trees will be removed the Conservation Regulation's require 70% retention and 3:1 ratio for preservation of similar canopy top to be achieved. As shown in the submitted Viewshed analysis and Biological Survey, the proposed residence, garage/ADU, and associated driveway improvements would be predominantly screened from Silverado Trail by 12 existing trees, however, four trees were lost in the Glass fire and will need to be replaced by new vegetation. No rock outcroppings or historic buildings are located at the subject site. Impacts would be less than significant based upon the project's conformance with the County's Viewshed Protection Manual. The architectural design of these structures would utilize a neutral gray cementitious shingle siding on main body of the buildings with cementitious siding along the base, gray tile or metal roof, and low E windows, reflecting 10%-15% of visible light. As such, the project would not degrade the existing character of the site and its surroundings and impacts would be less than significant.
- d. The installation of lighting that may have the potential to impact nighttime views is proposed on the proposed structures as part of the project. Pursuant to standard Napa County conditions of approval for Viewshed applications, outdoor lighting would be required to be shielded and directed downwards, with only low-level lighting allowed in parking areas. As subject to the standard conditions of approval, below, the project would not have a significant impact resulting from new sources of outside lighting.

6.3 LIGHTING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed lighting plan showing the location and specifications for all lighting fixtures to be installed on the property shall be submitted for Planning Division review and approval. All lighting shall comply with the CBC.
- b. All exterior lighting, including landscape lighting, shall be shielded and directed downward, shall be located as low to the ground as possible, shall be the minimum necessary for security, safety, or operations; on timers; and shall incorporate the use of motion detection sensors to the greatest extent practical. All lighting shall be shielded or placed such that it does not shine directly on adjacent properties or impact vehicles on adjacent streets. No flood-lighting or sodium lighting of the building is permitted, including architectural highlighting and spotting. Low-level lighting shall be utilized in parking areas as opposed to elevated high-intensity light standards.

Mitigation Measures: None required.

II.	AGRICULTURE AND FOREST RESOURCES. ¹ Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Important (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Conflict with existing zoning for, or cause rezoning of, forest land as defined in Public Resources Code Section 12220(g), timberland as defined in Public Resources Code Section 4526, or timberland zoned Timberland Production as defined in Government Code Section 51104(g)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d)	Result in the loss of forest land or conversion of forest land to non-forest use in a manner that will significantly affect timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, or other public benefits?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e)	Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

- a/b,e. The portion of the project site planted in vines is designated as "Prime Farmland." The remainder and majority of the site is designated "Other Land" (Common examples include brush, timber, wetland, and riparian areas not suitable for livestock grazing; confined livestock, poultry or aquaculture facilities) on the Napa County Important Farmland Map 2002 prepared by the California Department of Conservation District, Division of Land Resource Production, pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. All changes as a result of the project would occur within the portion designated as "Other Lands. The proposed residential use would not conflict with existing zoning for agricultural uses. There are no existing agricultural contracts on the property. There are no other changes in this proposal that would result in the conversion of Farmland. No impact would occur.
- c-d. The project site is zoned AW, which allows a single family residence, ADU and other residential or agricultural accessory structures. The project site is within an area designated a sensitive biotic community of Douglas-Fir/Redwood Forest mixed with oak. The project does not propose any timber harvesting, has tree removal to allow for the construction of the project, and proposes that the rest of tree canopy remain. Napa County General Plan Policy CON-24 promotes the maintenance and improvement of oak woodland habitat to provide for slope stabilization, soil, protection, species diversity, and wildlife habitat. This policy specifically calls for the replacement of lost oak woodlands or preservation of like habitat at a 2:1 ratio when retention of existing vegetation is found to be infeasible. In addition, Napa County Code Section (NCC) 18.108.020(C) requires that in the AW zoning district, a minimum of seventy percent vegetation canopy cover as configured on the parcel existing on June 16, 2016 shall be maintained as part of any use involving earth-disturbing activity. NCC Section 18.108.020(D) requires that in the AW zoning district, the removal of any vegetation canopy cover shall be mitigated by permanent replacement or preservation of comparable vegetation canopy cover, on an acreage basis at a minimum 3:1 ratio. Replacement or preservation shall first be accomplished on-site on lands with slopes of thirty percent or less and outside of stream and wetland setbacks. Further, NCC Section 18.108.020(E) requires that preserved vegetation canopy cover shall be enforceably restricted with a perpetual protective easement or perpetual deed restriction preserving and conserving the preserved vegetation canopy cover, which is included as a project condition of approval.

¹ "Forest land" is defined by the State as "land that can support 10-percent native tree cover of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources, including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits." (Public Resources Code Section 12220(g)) The Napa County General Plan anticipates and does not preclude conversion of some "forest land" to agricultural use, and the program-level EIR for the 2008 General Plan Update analyzed the impacts of up to 12,500 acres of vineyard development between 2005 and 2030, with the assumption that some of this development would occur on "forest land." In that analysis specifically, and in the County's view generally, the conversion of forest land to agricultural use would constitute a potentially significant impact only if there were resulting significant impacts to sensitive species, biodiversity, wildlife movement, sensitive biotic communities listed by the California Department of Fish and Wildlife, water quality, or other environmental resources addressed in this checklist.

According to the Biological Resources Reconnaissance Survey Report, prepared by WRA, Inc., dated July 2020, the 4.07 property contains 3.01 acres of coast live oak woodland (see Figure A-4 of the WRA report.) In order to ensure that a 3:1 ratio is maintained, approximately 0.75 acres of the property can be developed. Approximately 0.23 acres of coast live oak woodland will be impacted as part of the project (see Figure A-5 of the WRA report.), which was designed to be in compliance with the 3:1 ratio. The project was designed to comply with both the 70 percent retention and the 3:1 tree canopy preservation requirements, and therefore no further recommendations are needed to ensure compliance with the County Code.

Mitigation Measures: None required.

III.	AIR QUALITY. Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Conflict with or obstruct implementation of the applicable air quality plan?	..	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d)	Result in other emissions (such as those leading to odors adversely affecting a substantial number of people)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

On June 2, 2010, the Bay Area Air Quality Management District's (BAAQMD) Board of Directors unanimously adopted thresholds of significance to assist in the review of projects under the California Environmental Quality Act. These Thresholds are designed to establish the level at which BAAQMD believed air pollution emissions would cause significant environmental impacts under CEQA and were posted on BAAQMD's website and included in BAAQMD's updated CEQA Guidelines (updated May 2012). The Thresholds are advisory and may be followed by local agencies at their own discretion.

The Thresholds were challenged in court. Following litigation in the trial court, the court of appeal, and the California Supreme Court, all of the Thresholds were upheld. However, in an opinion issued on December 17, 2015, the California Supreme Court held that CEQA does not generally require an analysis of the impacts of locating development in areas subject to environmental hazards unless the project would exacerbate existing environmental hazards. The Supreme Court also found that CEQA requires the analysis of exposing people to environmental hazards in specific circumstances, including the location of development near airports, schools near sources of toxic contamination, and certain exemptions for infill and workforce housing. The Supreme Court also held that public agencies remain free to conduct this analysis regardless of whether it is required by CEQA.

In view of the Supreme Court's opinion, local agencies may rely on Thresholds designed to reflect the impact of locating development near areas of toxic air contamination where such an analysis is required by CEQA or where the agency has determined that such an analysis would assist in making a decision about the project. However, the Thresholds are not mandatory and agencies should apply them only after determining that they reflect an appropriate measure of a project's impacts. These Guidelines may inform environmental review for development projects in the Bay Area, but do not commit local governments or BAAQMD to any specific course of regulatory action.

BAAQMD published a new version of the Guidelines dated May 2017, which includes revisions made to address the Supreme Court's opinion. The May 2017 Guidelines update does not address outdated references, links, analytical methodologies or other technical information that may be in the Guidelines or Thresholds Justification Report. The Air District is currently working to revise any outdated information in the Guidelines as part of its update to the CEQA Guidelines and thresholds of significance.

a-c. The mountains bordering Napa Valley block much of the prevailing northwesterly winds throughout the year. Sunshine is plentiful in Napa County, and summertime can be very warm in the valley, particularly in the northern end. Winters are usually mild, with cool temperatures overnight and mild-to-moderate temperatures during the day. Wintertime temperatures tend to be slightly cooler in the northern end of the valley. Winds are generally calm throughout the county. Annual precipitation averages range from about 24 inches in low elevations to more than 40 inches in the mountains.

Ozone and fine particle pollution, or PM_{2.5}, are the major regional air pollutants of concern in the San Francisco Bay Area. Ozone is

primarily a problem in the summer, and fine particle pollution in the winter. In Napa County, ozone rarely exceeds health standards, but PM2.5 occasionally does reach unhealthy concentrations. There are multiple reasons for PM2.5 exceedances in Napa County. First, much of the county is wind-sheltered, which tends to trap PM2.5 within the Napa Valley. Second, much of the area is well north of the moderating temperatures of San Pablo Bay and, as a result, Napa County experiences some of the coldest nights in the Bay Area. This leads to greater fireplace use and, in turn, higher PM2.5 levels. Finally, in the winter easterly winds often move fine-particle-laden air from the Central Valley to the Carquinez Strait and then into western Solano and southern Napa County (BAAQMD, In Your Community: Napa County, April 2016)

The impacts associated with implementation of the project were evaluated consistent with guidance provided by BAAQMD. Ambient air quality standards have been established by state and federal environmental agencies for specific air pollutants most pervasive in urban environments. These pollutants are referred to as criteria air pollutants because the standards established for them were developed to meet specific health and welfare criteria set forth in the enabling legislation. The criteria air pollutants emitted by development, traffic and other activities anticipated under the proposed development include ozone, ozone precursors oxides of nitrogen and reactive organic gases (NOx and ROG), carbon monoxide (CO), nitrogen dioxide (NO2), and suspended particulate matter (PM10 and PM2.5). Other criteria pollutants, such as lead and sulfur dioxide (SO2), would not be substantially emitted by the proposed development or traffic, and air quality standards for them are being met throughout the Bay Area.

BAAQMD has not officially recommended the use of its thresholds in CEQA analyses and CEQA ultimately allows lead agencies the discretion to determine whether a particular environmental impact would be considered significant, as evidenced by scientific or other factual data. BAAQMD also states that lead agencies need to determine appropriate air quality thresholds to use for each project they review based on substantial evidence that they include in the administrative record of the CEQA document. One resource BAAQMD provides as a reference for determining appropriate thresholds is the California Environmental Quality Act Air Quality Guidelines developed by its staff in 2010 and as updated through May 2017. These guidelines outline substantial evidence supporting a variety of thresholds of significance.

As mentioned above, in 2010, the BAAQMD adopted and later incorporated into its 2011 CEQA Guidelines project screening criteria (Table 3-1 – Operational-Related Criteria Air Pollutant and Precursors Screening Level Sizes) and thresholds of significance for air pollutants, which have now been updated by BAAQMD through May 2017. Given the size of the entire project, which is approximately one main dwelling and an accessory dwelling unit (6,093 square feet of enclosed floor area for residence, garage and accessory dwelling unit) compared to the BAAQMD's screening criterion of 325 dwelling units for NOX (oxides of nitrogen), the project would contribute an insignificant amount of air pollution and would not result in a conflict or obstruction of an air quality plan. The project falls well below the screening criteria as noted above, and consequently will not significantly affect air quality individually or contribute considerably to any cumulative air quality impacts.

- d. In the short term, potential air quality impacts are most likely to result from earthmoving and construction activities required for the proposed winery buildings, parking areas, cave tunnels and associated site improvements. Earthmoving and construction emissions would have a temporary effect; consisting mainly of dust generated during grading and other construction activities, exhaust emissions from construction related equipment and vehicles, and relatively minor emissions from paints and other architectural coatings. The Air District recommends incorporating feasible control measures as a means of addressing construction impacts. If the proposed project adheres to these relevant best management practices identified by the Air District and the County's standard conditions of project approval, construction-related impacts are considered less than significant:

7.1 SITE IMPROVEMENTS

c. AIR QUALITY

During all construction activities the permittee shall comply with the most current version of BAAQMD Basic Construction Best Management Practices including but not limited to the following, as applicable:

- 1. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. The BAAQMD's phone number shall also be visible.*
- 2. Water all exposed surfaces (e.g., parking areas, staging areas, soil piles, grading areas, and unpaved access roads) two times per day.*
- 3. Cover all haul trucks transporting soil, sand, or other loose material off-site. Remove all visible mud or dirt traced onto adjacent public roads by using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.*
- 4. All vehicle speeds on unpaved roads shall be limited to 15 mph.*
- 5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.*
- 6. Idling times shall be minimized either by shutting off equipment when not in use or reducing the maximum idling time to five (5) minutes (as required by State Regulations). Clear signage shall be provided for construction workers at all access points.*
- 7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications.*

All equipment shall be checked by a certified visible emissions evaluator. Any portable engines greater than 50 horsepower or associated equipment operated within the BAAQMD's jurisdiction shall have either a California Air Resources Board (ARB) registration Portable Equipment Registration Program (PERP) or a BAAQMD permit. For general information regarding the certified visible emissions evaluator or the registration program, visit the ARB FAQ http://www.arb.ca.gov/portable/perp/perpfact_04-16-15.pdf or the PERP website <http://www.arb.ca.gov/portable/portable.htm>.

Furthermore, while earthmoving and construction on the site would generate dust particulates in the short-term, the impact would be less than significant with dust control measures as specified in Napa County's standard condition of approval relating to dust:

7.1 SITE IMPROVEMENTS

b. DUST CONTROL

Water and/or dust palliatives shall be applied in sufficient quantities during grading and other ground disturbing activities on-site to minimize the amount of dust produced. Outdoor construction activities shall not occur when average wind speeds exceed 20 mph.

Mitigation Measures: None required.

IV.	BIOLOGICAL RESOURCES. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or the U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b)	Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, Coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d)	Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e)	Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f)	Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

- a. A protocol-level rare plant survey (Biological Resources Reconnaissance Survey Report, WRA, Inc., July 2020) resulted in no special-status plant species in the Study Area; therefore, there will be no impacts to these species. Two special-status bats and two special-status birds, as well as non-status birds with baseline legal protections, have the potential to occur in the Project Area. Trees within the Study Area (primarily oaks) may contain cavities or snags suitable for roosting by the Pallid Bat (*Antrozous pallidus*) species, and may contain cavities or exfoliating bark suitable for Fringed myotis (*Myotis thysanodes*) roosting. The CNDDB indicates that there are occurrences in the vicinity for both species. The trees also provide potential habitat for White-tailed kite (*Elanus leucurus*) and Purple martin (*Progne subis*). Mitigation measures BIO-1 and BIO-2 and best management practices have been developed and provided herein to avoid impacts to these

resources.

- b-d. The Study Area does not contain any designated Critical Habitat (USFWS 2020b) or Essential Fish Habitat (NMFS 2020). The Study Area does not contain streams or rivers for migration and/or dispersal of aquatic wildlife; anadromous habitat is completely absent. Two ephemeral drainage courses traverse the site per the County Environmental Sensitivity maps, however, according to the biological study, the two non-jurisdictional drainageways do not contain bed-and-bank, ordinary high water marks, or hydrophytic vegetation and therefore do not meet the definition of an ephemeral stream. The stormwater control plan proposes to carry the sheet flow over the parcel to the southern property line. The Study Area is not within a designated wildlife corridor (CalTrans 2010, Napa County 2005). The site is located within a much larger tract of forest/woodland and lightly-developed land within a rural portion of Napa County. While common wildlife species presumably utilize the site to some degree for movement at a local scale, the Study Area itself does not provide corridor functions beyond connecting similar forested and heavily wooded land parcels in surrounding areas. The project would have a less than significant impact.
- e. As discussed in Section II, Agriculture and Forest Resources, the Napa County General Plan and Napa County Code (NCC) include provisions for retaining and/or replacing oak woodlands impacted by development. General Plan Policy CON-24 promotes the maintenance and improvement of oak woodland and requires replacement of lost oak woodlands or preservation of like habitat at a 2:1 ratio when retention of existing vegetation is found to be infeasible. In addition, NCC 18.108.020(C) requires that in the AW zoning district, a minimum of seventy percent vegetation canopy cover as configured on the parcel existing on June 16, 2016 must be maintained and NCC Section 18.108.020(D) requires that the removal of any vegetation canopy cover be mitigated by permanent replacement or preservation of comparable vegetation canopy cover, on an acreage basis at a minimum 3:1 ratio.
- As noted above, the 4.07 property contains 3.01 acres of coast live oak woodland. In order to ensure that a 3:1 ratio is maintained, per NCC Section 18.108.020(D) approximately 0.75 acres of the property can be developed. Approximately 0.23 acres of coast live oak woodland will be impacted as part of the project, which was designed to be in compliance with both the 70 percent retention and the 3:1 tree preservation requirements. Further, NCC Section 18.108.020(E) requires that preserved vegetation canopy cover shall be enforceably restricted with a perpetual protective easement or perpetual deed restriction preserving and conserving the preserved vegetation canopy cover, which is included as a project condition of approval.
- f. This project would not interfere with any ordinances protecting biological resources. There are no Habitat Conservation Plans or other similar plans in effect for this area that would be affected by this project, therefore the proposed project would not conflict with the provisions of an adopted Habitat Conservation Plans, Natural Community Conservation Plans or other approved local, regional or state habitat conservation plans.

Mitigation Measures:

- MM BIO-1. Tree removal shall be performed from September 1 through March 31, outside of the general bat maternity season. If tree removal is proposed during this period, it is recommended that a bat habitat assessment and survey effort (the latter if needed) be performed by a qualified biologist prior to tree removal to determine if bats are present in the trees. If no suitable roosting habitat for bats is found, then no further study is warranted. If special-status bat species or bat maternity roosts are detected, then roost trees shall be avoided until the end of the maternity roosting season as determined by a qualified biologist in consultation with CDFW. Irrespective of time of year, all felled trees should remain on the ground for at least 24 hours prior to chipping, off-site removal, or other processing to allow any bats present within the felled trees to escape.

Method of Monitoring:

The permittee shall have a bat habitat assessment and survey, as applicable, prior to any tree removal during the bat maternity season (April 1 to August 31). In the event special-status bat species or bat maternity roosts are detected, construction activities will be scheduled to avoid the maternity roosting season.

- MM BIO-2 Tree/vegetation removal and initial ground disturbance shall occur from August 16 to January 31, outside of the general bird nesting season. If tree/vegetation is proposed during this time, a pre-construction nesting bird survey shall be performed by a qualified biologist no more than 14 days prior to the initiation of tree removal or ground disturbance. The survey should cover the Project Area (including tree removal areas) and surrounding areas within 500 feet. If active bird nests are found during the survey, an appropriate no-disturbance buffer shall be established by the qualified biologist. Once it is determined that the young have fledged (left the nest) or the nest otherwise becomes inactive (e.g., due to predation), the buffer may be lifted and work may be initiated within the buffer.

Method of Monitoring: The permittee shall have a nesting bird survey completed prior to any ground disturbing activities scheduled to occur on the site from February 1 through August 15. The survey results shall be provided to the Napa County Planning, Building and Environmental Services. In the event any special-status or other protected nesting birds are found to occur on-site

construction activities shall be scheduled to avoid nesting and breeding periods and consultation will be sought with CDFW to develop appropriate measures to reduce potential impacts to nesting birds protected under the Migratory Bird Treaty Act.

V. CULTURAL RESOURCES. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource pursuant to CEQA Guidelines §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of dedicated cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

a-b County Environmental Sensitivity maps indicate that the project is located within an area sensitive for cultural resources. A cultural Resources Survey Report was prepared by Ashleigh Sims, MA, RPA, Environmental Associates (August 2020) for the project. The report states that the results from the records search indicate that no cultural resources have been previously recorded within the project site. Further, upon examining all areas of open ground surface, the survey did not identify archaeological resources or other evidence of past prehistoric use or occupation of the project.

However, upon inspection by the Middletown Rancheria tribal representative on December 23, 2020, obsidian flakes were found. Due to the possibility of unearthing tribal cultural resources which include, but are not limited to, Native American human remains, funerary objects, items or artifacts, sites, features, places, landscapes or objects with cultural values to the Middletown Rancheria, during ground disturbance activities, mitigation measures discussed in Section XVIII below, shall be incorporated into the Project for preservation or mitigation of significant impacts to tribal cultural resources in addition to the following standard condition of approval:

7.2 ARCHAEOLOGICAL FINDING

In the event that archeological artifacts or human remains are discovered during construction, work shall cease in a 50-foot radius surrounding the area of discovery. The permittee shall contact the PBES Department for further guidance, which will likely include the requirement for the permittee to hire a qualified professional to analyze the artifacts encountered and to determine if additional measures are required.

If human remains are encountered during project development, all work in the vicinity must be halted, and the Napa County Coroner informed, so that the Coroner can determine if an investigation of the cause of death is required, and if the remains are of Native American origin. If the remains are of Native American origin, the permittee shall comply with the requirements of Public Resources Code Section 5097.98.

c. No information has been encountered that would indicate that this project would encounter human remains. However, if resources are found during any grading of the project, construction of the project is required to cease, and a qualified archaeologist will be retained to investigate the site in accordance with standard condition of approval as noted above, reducing potential impacts to a less than significant level.

Mitigation Measures: Refer to Section XVIII below.

VI.	ENERGY. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
	a) Result in potentially significant environmental impact due to wasteful, inefficient or unnecessary consumption of energy resources during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

- a. The proposed project would comply with Title 24 energy use requirements and would not result in significant environmental impacts due to wasteful, inefficient or unnecessary consumption of energy resources during project construction or operation. Impacts would be less than significant.
- b. The proposed project would not conflict with the provisions of a state or local plan for renewable energy or energy efficiency because there are no plans applicable to the subject site. No impacts would occur.

Mitigation Measures: None required.

VII.	GEOLOGY AND SOILS. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
	a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:				
	i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	d) Be located on expansive soil creating substantial direct or indirect risks to life or property? Expansive soil is defined as soil having an expansive index greater than 20, as determined in accordance with ASTM (American Society of Testing and Materials) D 4829.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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| e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion:

- a. Exposure of people or structures to potential substantial adverse effects:
- i.) There are no known faults on the project site as shown on the most recent Alquist-Priolo Earthquake Fault Zoning Map. As such, the proposed project would result in a less than significant impact with regards to rupturing a known fault.
 - ii.) All areas of the Bay Area are subject to strong seismic ground shaking. Construction of the project will be required to comply with all the latest building standards and codes, including the California Building Code that would reduce any potential impacts to a less than significant level.
 - iii.) No subsurface conditions have been identified on the project site that indicated a susceptibility to seismic-related ground failure or liquefaction. Compliance with the latest editions of the California Building Code for seismic stability would result in less than significant impacts.
 - iv.) According to the Napa County Environmental Resource Maps (Landslides line, polygon, and geology layers) there are no landslide deposits in the proposed development area.
- b. The proposed development is minimal and will occur on slopes less than 30%. Based upon the Soil Survey of Napa County, prepared by the United States Department of Agriculture (USDA), the soils on site are comprised of the Bale clay loam soils on the west side of the parcel and boomer gravelly loam soils, on the east side or the majority of the parcel. The project will require incorporation of best management practices and will be subject to the Napa County Stormwater Ordinance, which addresses sediment and erosion control measures and dust control, as applicable. There would be a less than significant impact.
- c/d. According to preliminary geologic mapping of the Calistoga Quadrangle performed by the California Geologic Survey (CGS-2004), the Foundation materials consist of Pre-Quaternary surficial deposits and volcanic bedrock, overlain by Holocene fan deposits. Based on the Napa County Environmental Sensitivity Maps (liquefaction layer) the project site has medium to very low risk for liquefaction. Development will be required to comply with all the latest building standards and codes, including the California Building Code that would reduce any potential impacts to the maximum extent possible. There would be a less than significant impact.
- e. The construction of a new septic system is proposed as part of the project. The system will be designed by a licensed engineer and will be reviewed and approved by the Department of Environmental Management. There does not appear to be any limitation on this parcel's ability to support an on-site septic system to support the proposed project. There would be a less than significant impact.

Mitigation Measures: None Required

VIII.	GREENHOUSE GAS EMISSIONS. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Generate a net increase in greenhouse gas emissions in excess of applicable thresholds adopted by the Bay Area Air Quality Management District or the California Air Resources Board which may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Conflict with a county-adopted climate action plan or another applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

Napa County has been working to develop a Climate Action Plan (CAP) for several years. In 2012, a Draft CAP (March 2012) was recommended using the emissions checklist in the Draft CAP, on a trial basis, to determine potential greenhouse gas (GHG) emissions associated with project development and operation. At the December 11, 2012, Napa County Board of Supervisors (BOS) hearing, the BOS considered adoption of the proposed CAP. In addition to reducing Napa County's GHG emissions, the proposed plan was intended to address compliance with CEQA for projects reviewed by the County and to lay the foundation for development of a local offset program. While the BOS acknowledged the plan's

objectives, the BOS requested that the CAP be revised to better address transportation-related greenhouse gas, to acknowledge and credit past accomplishments and voluntary efforts, and to allow more time for establishment of a cost-effective local offset program. The Board also requested that best management practices be applied and considered when reviewing projects until a revised CAP is adopted to ensure that projects address the County's policy goal related to reducing GHG emissions.

In July 2015, the County re-commenced preparation of the CAP to: i) account for present day conditions and modeling assumptions (such as but not limited to methods, emission factors, and data sources), ii) address the concerns with the previous CAP effort as outlined above, iii) meet applicable State requirements, and iv) result in a functional and legally defensible CAP. On April 13, 2016 the County, as the part of the first phase of development and preparation of the CAP, released Final Technical Memorandum #1: 2014 Greenhouse Gas Emissions Inventory and Forecast, April 13, 2016. This initial phase included: i) updating the unincorporated County's community-wide GHG emissions inventory to 2014, and ii) preparing new GHG emissions forecasts for the 2020, 2030, and 2050 horizons. Additional information on the County CAP can be obtained at the Napa County Department of Planning, Building and Environmental Services or <http://www.countyofnapa.org/CAP/>.

- a-b. Overall increases in Greenhouse Gas (GHG) emissions in Napa County were assessed in the Environmental Impact Report (EIR) prepared for the Napa County General Plan Update and certified in June 2008. GHG emissions were found to be significant and unavoidable in that document, despite the adoption of mitigation measures incorporating specific policies and action items into the General Plan.

Consistent with these General Plan action items, Napa County participated in the development of a community-wide GHG emissions inventory and "emission reduction framework" for all local jurisdictions in the County in 2008-2009. This planning effort was completed by the Napa County Transportation and Planning Agency in December 2009, and served as the basis for development of a refined inventory and emission reduction plan for unincorporated Napa County.

In 2011, the Bay Area Air Quality Management District (BAAQMD) released California Environmental Quality Act (CEQA) Project Screening Criteria and Significance of Thresholds [1,100 metric tons per year (MT) of carbon dioxide and carbon dioxide equivalents (CO₂e)]. This threshold of significance is appropriate for evaluating projects in Napa County.

During our ongoing planning effort, the County requires project applicants to consider methods to reduce GHG emissions consistent with Napa County General Plan Policy CON-65(e). (Note: Pursuant to State CEQA Guidelines Section 15183, because this initial study assesses a project that is consistent with an adopted General Plan for which an environmental impact report (EIR) was prepared, it appropriately focuses on impacts which are "peculiar to the project," rather than the cumulative impacts previously assessed.)

The proposed project has been evaluated against the BAAQMD thresholds and it was determined that the project would not exceed the 1,100 MT/yr of CO₂e. Greenhouse Gas Emission reductions from local programs and project level actions, such as application of the Cal Green Building Code and vehicle fuel efficiency standards, would combine to further reduce emissions below BAAQMD thresholds.

The anticipated increase in emissions from the construction of the new paved access roadway, single-family residence and accessory dwelling unit would be minor, and the project is in compliance with the County's efforts to reduce emissions as described above. Accordingly, projects impacts would be less than significant.

Mitigation Measures: None required.

IX.	HAZARDS AND HAZARDOUS MATERIALS. Would the project	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Create a significant hazard to the public or the environment through reasonable foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d)	Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

public or the environment?

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| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wild-land fires? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion

- The proposed project would not involve the transport of hazardous materials other than those small amounts utilized for a typical single-family residence and accessory dwelling unit. Impacts would be less than significant.
- Hazardous materials such as diesel, maintenance fluids, and paints would be used onsite during construction. Should they be stored onsite, these materials would be stored in secure locations to reduce the potential for upset or accident conditions. The proposed project consists of the construction a new single-family residence, accessory dwelling unit, and associated access road, which would not be expected to use any substantial quantities of hazardous materials. Therefore, it would not be reasonable for the proposed project to create upset or accident conditions that involve the release of hazardous materials into the environment. Impacts would be less than significant.
- There are no schools located within one-quarter mile from the project site. According to Google Earth, the nearest school to the project site is Palisades High School, located approximately 3.7 miles to the northwest. No impacts would occur.
- Based on a search of the California Department of Toxic Substances Control database, the project site does not contain any known EPA National Priority List sites, State response sites, voluntary cleanup sites, or any school cleanup sites. No impact would occur, as the project site is not on any known list of hazardous materials sites.
- No impact would occur, as the project site is not located within an airport land use plan.
- The proposed access driveway improvements and on-site circulation configuration meets Napa County Road and Street Standards. The project has been reviewed by the County Fire Department and Engineering Services Division and found acceptable, as conditioned. Therefore, the proposed project would not obstruct emergency vehicle access and impacts would be less than significant.
- The project would not increase exposure of people and/or structures to a significant loss, injury or death involving wild land fires. The proposed driveway improvements would provide direct access to Silverado Trail. The project would comply with current California Department of Forestry and California Building Code requirements for fire safety. Impacts would be less than significant.

Mitigation Measures: None required.

X.	HYDROLOGY AND WATER QUALITY. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or				

through the addition of impervious surfaces which would:

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| i) result in substantial erosion or siltation on- or off-site? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| iv) impede or redirect flood flows? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion:

On January 14, 2014, Governor Jerry Brown declared a drought emergency in the state of California. That declaration was followed up on April 1, 2015, when the Governor directed the State Water Resources Control Board to implement mandatory water reductions in cities and town across California to reduce water usage by 25 percent. These water restrictions do not apply to agricultural users. However, on April 7, 2017, Governor Jerry Brown signed an executive order lifting California's drought emergency in all but four counties (Fresno, Kings, Tulare and Tuolumne). The County of Napa had not adopted or implemented any additional mandatory water use restrictions. The County requires all discretionary permit applicants to complete necessary water analyses in order to document that sufficient water supplies are available for the proposed project and to implement water saving measures to prepare for periods of limited water supply and to conserve limited groundwater resources.

In general, recent studies have found that groundwater levels in the Napa Valley Floor exhibit stable long-term trends with a shallow depth to water. Historical trends in the Milliken-Sarco-Tulucay (MST) area, however, have shown increasing depths to groundwater, but recent stabilization in many locations. Groundwater availability, recharge, storage and yield are not consistent across the County. More is known about the resource where historical data have been collected. Less is known in areas with limited data or unknown geology. In order to fill existing data gaps and to provide a better understand of groundwater resources in the County, the Napa County Groundwater Monitoring Plan recommended 18 Areas of Interest (AOIs) for additional groundwater level and water quality monitoring. Through the well owner and public outreach efforts of the (GRAC) approximately 40 new wells have been added to the monitoring program within these areas. Groundwater Sustainability Objectives were developed and recommended by the GRAC and adopted by the Board. The recommendations included the goal of developing sustainability objectives, provided a definition, explained the shared responsibility for Groundwater Sustainability and the important role monitoring as a means to achieving groundwater sustainability.

In 2009, Napa County began a comprehensive study of its groundwater resources to meet identified action items in the County's 2008 General Plan update. The study, by Luhdorff and Scalmanini Consulting Engineers (LSCE), emphasized developing a sound understanding of groundwater conditions and implementing an expanded groundwater monitoring and data management program as a foundation for integrated water resources planning and dissemination of water resources information. The 2011 baseline study by LSCE, which included over 600 wells and data going back over 50 years, concluded that "the groundwater levels in Napa County are stable, except for portions of the MST district". Most wells elsewhere within the Napa Valley floor with a sufficient record indicate that groundwater levels are more affected by climatic conditions, are within historical levels, and seem to recover from dry periods during subsequent wet or normal periods. The LSCE Study also concluded that, on a regional scale, there appear to be no current groundwater quality issues except north of Calistoga (mostly naturally occurring boron and trace metals) and in the Carneros region (mostly salinity). The subject property is located within the Western Mountains subarea of Napa County according to the Napa County Groundwater Monitoring Plan 2013. The County has no record of problems or complaints of diminished groundwater supplies at the project site or in the general vicinity.

Minimum thresholds for water use have been established by the Department of Public Works using reports by the United States Geological Survey (USGS). These reports are the result of water resources investigations performed by the USGS in cooperation with the Napa County Flood Control and Water Conservation District. Any project which reduces water usage or any water usage which is at or below the established threshold is assumed not to have a significant effect on groundwater levels. The project is categorized as "Napa Valley Floor" based upon current County Water Availability

Analysis policies and therefore water use criteria is 1-acre foot per acre of land per year for a total of 4.0-acre feet of groundwater per year (af/yr).

- a-b. The project would not violate any water quality standards or waste discharge requirements nor substantially deplete local groundwater supplies. The site's wastewater system for the proposed project will be prepared by a licensed engineer and reviewed and approved by the Division of Environmental Health. There does not appear to be any limitation on this parcel's ability to support an on-site septic system which will be able to support the proposed project. There would be a less than significant impact.

An existing well is proposed as the project's water source located on the southern side of the property near the vineyards. The well is located within the area designated as Valley Floor. According to the May 29, 2012 Well Completion Report the well had a measured yield of 35 gpm. The site is currently in ± 0.6 acre of vineyard. According to the Napa County Water Availability Analysis Guidance Document - Appendix B, the total projected water demand for the parcel would conservatively be 2.05 af/yr (includes the main residence, accessory dwelling unit, swimming pool, irrigated landscaping, and vineyard) which is below the 4 af/yr minimum thresholds established for the single-family residential parcel, based on the site's soil characteristics and property size of ± 4.07 acres.

In response to regional drought and the general Statewide need to protect groundwater resources, the Governor enacted new legislation requiring local governments to monitor and management groundwater resources. Napa County's prior work on the Napa Valley Groundwater Management Plan provides a strong foundation for Napa County to comply with this State mandated monitoring and management objective. As a direct result, the project site is now subject to this new legislation requiring local agencies to monitor groundwater use. Assembly Bill - AB 1739 by Assembly member Roger Dickinson (D-Sacramento) and Senate Bills 1168 and 1319 by Senator Fran Pavley (D-Agoura Hills) establish a framework for sustainable, local groundwater management for the first time in California history. The legislation requires local agencies to tailor sustainable groundwater plans to their regional economic and environmental needs. The legislation prioritizes groundwater basin management Statewide, which includes the Napa Valley/Napa River Drainage Basin, and sets a timeline for implementation of the following:

- By 2017, local groundwater management agencies must be identified;
- By 2020, overdrafted groundwater basins must have sustainability plans;
- By 2022, other high and medium priority basins not currently in overdraft must have sustainability plans; and
- By 2040, all high and medium priority groundwater basins must achieve sustainability.

The State has classified the Napa River Drainage Basin as a medium priority resource. Additionally, the legislation provides measurable objectives and milestones to reach sustainability and a State role of limited intervention when local agencies are unable or unwilling to adopt sustainable management plans. Napa County supports this legislation and has begun the process of developing a local groundwater management agency which is anticipated to be in place and functioning within the timeline prescribed by the State.

The proposed project would result in a modest increase on the demand of ground water supplies and therefore would not interfere with groundwater recharge or lowering of the local groundwater level. There are no known offsite wells located within 500 feet of the project well. According to Napa County environmental resource mapping (*Water Deficient Areas/Storage Areas*), the project site is not located within a water deficient area and the County is not aware of, nor has it received any reports of, groundwater deficiencies in the area.

- c. The project would not substantially alter the drainage pattern on site or cause a significant increase in erosion or siltation on or off the project site. Improvement plans prepared prior to the issuance of a building permit would ensure that the proposed project does not increase runoff flow rate or volume as a result of project implementation. General Plan Policy CON-50 (c) requires discretionary projects, including this project, to meet performance standards designed to ensure peak runoff in 2-, 10-, 50-, and 100-year events following development is not greater than predevelopment conditions. The preliminary grading and drainage plans have been reviewed by the Engineering Division. The proposed project would implement standard stormwater quality treatment controls to treat runoff prior to discharge from the project site. The incorporation of these features into the project would ensure that the proposed project would not create substantial sources of polluted runoff. In addition, the proposed project does not have any unusual characteristics that create sources of pollution that would degrade water quality. Impacts would be less than significant.
- d. The site lies outside the boundaries of the 100- and 500-year flood hazard boundaries. The parcel is not located in an area that is subject to inundation by tsunamis, seiches, or mudflows. No impacts would occur.
- e. The proposed project would not conflict with a water quality control plan or sustainable groundwater management plan because there are no such plans applicable to the subject site. No impacts would occur.

Mitigation Measures: None required.

XI.	LAND USE AND PLANNING. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
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a) Physically divide an established community?

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b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

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Discussion:

a-b. The project would not occur within an established community, nor would it result in the division of an established community. The project complies with the Napa County Code and all other applicable regulations. The subject parcel is located in the AW (Agricultural Watershed) zoning district which allows single family residences, accessory dwelling units, and associated infrastructure. The proposed project is compliant with the physical limitations of the Napa County Zoning Ordinance. The property's General Plan land use designation is Agriculture, Watershed, and Open Space (AWOS) which allows "agriculture, processing of agricultural products, and single-family dwellings." Impacts would be less than significant.

Mitigation Measures: None Required

XII.	MINERAL RESOURCES. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
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a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?

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b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

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Discussion:

a/b. Historically, the two most valuable mineral commodities in Napa County in economic terms have been mercury and mineral water. More recently, building stone and aggregate have become economically valuable. Mines and Mineral Deposits mapping included in the Napa County Baseline Data Report (Mines and Mineral Deposits, BDR Figure 2-2) indicates that there are no known mineral resources nor any locally important mineral resource recovery sites located on the project site. No impacts would occur.

Mitigation Measures: None required.

XIII.	NOISE. Would the project result in:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
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a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

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b) Generation of excessive groundborne vibration or groundborne noise levels?

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- c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

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Discussion:

- a/b. The project would result in a temporary increase in noise levels during construction of the proposed residence, garage, accessory dwelling unit, and driveway improvements. Construction activities would be limited to daylight hours using properly muffled vehicles. Noise generated during this time is not anticipated to be significant. As such, the project would not result in potentially significant temporary construction noise impacts or operational impacts. Because the proposed structures at the project site are located approximately 400 feet to the southeast of the nearest neighboring residences, there is a low potential for impacts related to construction noise to result in a significant impact. Further, construction activities would occur during the period of 7am-7pm on weekdays, during normal hours of human activity. All construction activities would be conducted in compliance with the Napa County Noise Ordinance (Napa County Code Chapter 8.16). The proposed project would not result in long-term significant construction noise impacts. Conditions of approval identified below would require construction activities to be limited to daylight hours, vehicles to be muffled, and backup alarms adjusted to the lowest allowable levels. The proposed project would not result in long-term significant permanent noise impacts because a residential land use is proposed. Continuing enforcement of Napa County's Noise Ordinance by the Environmental Health Division and the Napa County Sheriff, as needed, would further ensure that the single-family residence does not create a significant noise impact. Impacts would be less than significant. Impacts would be less than significant.

8.3. CONSTRUCTION NOISE

Construction noise shall be minimized to the greatest extent practical and feasible under State and local safety laws, consistent with construction noise levels permitted by the General Plan Community Character Element and the County Noise Ordinance. Construction equipment muffling and hours of operation shall be in compliance with the County Code. Equipment shall be shut down when not in use. Construction equipment shall normally be staged, loaded, and unloaded on the project site, if at all practicable. If project terrain or access road conditions require construction equipment to be staged, loaded, or unloaded off the project site (such as on a neighboring road or at the base of a hill), such activities shall only occur daily between the hours of 8 am to 5 pm.

- c. The project site is not located within an airport land use plan or the vicinity of a private airstrip. No impact would occur.

Mitigation Measures: None required.

XIV.	POPULATION AND HOUSING. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

- a. The proposed project includes the construction of one single-family dwelling, an accessory dwelling unit, and associated access road improvements. The Association of Bay Area Governments' *Projections 2003* figures indicate that the total population of Napa County is projected to increase approximately 23 percent by the year 2030 (*Napa County Baseline Data Report*, November 30, 2005). Additionally, the County's *Baseline Data Report* indicates that total housing units currently programmed in county and municipal housing elements exceed ABAG growth projections by approximately 15 percent. The additional housing proposed would result in minor population growth in Napa County, but would not rise to a level of environmental significance.

Cumulative impacts related to population and housing balance were identified in the 2008 General Plan EIR. As set forth in Government Code §65580, the County of Napa must facilitate the improvement and development of housing to make adequate provision for the housing needs of all economic segments of the community. Similarly, CEQA recognizes the importance of balancing the prevention of environment

damage with the provision of a “decent home and satisfying living environment for every Californian.” (See Public Resources Code §21000(g).) The 2008 General Plan sets forth the County’s long-range plan for meeting regional housing needs, during the present and future housing cycles, while balancing environmental, economic, and fiscal factors and community goals. The policies and programs identified in the General Plan Housing Element function, in combination with the County’s housing impact mitigation fee, to ensure adequate cumulative volume and diversity of housing. Cumulative impacts on the local and regional population and housing balance would be less than significant.

- b. No existing housing or people would be displaced as a result of the project. Therefore, the project would not displace substantial numbers of existing housing or numbers of people necessitating the construction of replacement housing elsewhere and no impact would occur.

Mitigation Measures: None required.

XV.	PUBLIC SERVICES. Would the project result in:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
	a) Substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
	i) Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii) Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii) Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iv) Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	v) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

- a. Public services are currently provided to the project area and the additional demand placed on existing services as a result of the proposed project would be minimal. Fire protection measures would be required as part of the development pursuant to Napa County Fire Marshall conditions and there would be no foreseeable impact to emergency response times with compliance with these conditions of approval. The Fire Department and Engineering Services Division have reviewed the application and recommend approval, as conditioned. School impact fees, which assist local school districts with capacity building measures, would be levied pursuant to building permit submittal. The proposed project would have minimal impact on public parks as two residences are proposed. Impacts to public services would be less than significant.

Mitigation Measures: None required

XVI.	RECREATION. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
	a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

- a. The project would not significantly increase use of existing park or recreational facilities based on its limited scope. No new parks or other public recreational amenities are proposed to be built as part of the project. Impacts would be less than significant.

Mitigation Measures: None required

XVII.	TRANSPORTATION. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
	a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	c) Substantially increase hazards due to a geometric design feature, (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	d) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	e) Conflict with General Plan Policy CIR-14, which requires new uses to meet their anticipated parking demand, but to avoid providing excess parking which could stimulate unnecessary vehicle trips or activity exceeding the site's capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

- a/b. The project site has frontage and direct access to Silverado Trail, approximately 0.3 miles south of its intersection with Larkmead Lane, southeast of the city of Calistoga. The project includes the construction of a new single-family residence, garage, accessory dwelling unit, and associated access road improvements to serve the proposed residence. According to Adobe Associates, Inc., the total soil amount of off-haul from project grading is ± 267 cubic yards, which would result in ± 19 -26 truck trips during project construction.

The proposed single-family residence and accessory dwelling unit, are anticipated to generate approximately 9.57 new daily trips each based upon the ITE Trip Generation Manual, 10th Edition. Projected project trips would result in less than a one percent contribution to existing traffic volumes on Silverado Trail at this location. Therefore, impacts would be less than significant. As proposed, the project would not conflict with any adopted policies, plans or programs supporting alternative transportation.

- c. Impacts associated with the proposed project's vehicle miles traveled (VMT) would be less than significant based upon the proposed land use (single family residence and accessory dwelling unit), proximity to the city of Calistoga (approximately 5 miles via Silverado Trail), and proximity to public transit (approximately two and a half miles).

- d-f. After implementation of the proposed project, the site would have direct access via a driveway to Silverado Trail. The project would result in no significant off-site circulation system operational impacts nor any sight line impacts at the project driveway. The proposed access driveway improvements and on-site circulation configuration meets Napa County Road and Street Standards. Proposed site access was reviewed and approved by the Napa County Fire Department and Engineering Services Division.

Three parking spaces (total) would be required for the proposed single-family dwelling and accessory dwelling unit, pursuant to Chapter 18.110.030. Sufficient parking is included in the proposed project and impacts would be less than significant.

Mitigation Measures: None required

XVIII. TRIBAL CULTURAL RESOURCES. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k); or	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1? In applying the criteria set forth in subdivision (c) of Public Resources Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

- a. The project site is currently developed with ± 0.6 acres of vineyards. There are no structures or other resources that would be listed or eligible for listing in a local, state or federal register of historic resources.
- b. Previous ground disturbance has occurred to remove native vegetation and grade the site to accommodate planting the vineyard along the lower, western portion of the property. There is no documentation of cultural resources discovered during these construction activities. The Cultural Resources Report, discussed in Section V above, stated that the results from the records search indicate no cultural resources have been previously recorded within the project site. Upon the examination all areas of open ground surface, the survey did not identify archaeological resources or other evidence of past prehistoric use or occupation of the project site.

As noted above, on October 23, 2020 and on October 26, 2020, County Staff sent invitations to consult on the proposed project to Native American tribes who had a cultural interest in the area and who as of that date had requested to be invited to consult on projects, in accordance with the requirements of Public Resources Code section 21080.3.1. A response was received from the Middletown Rancheria requesting consultation on November 5, 2020. Per the request, additional information was forwarded to the Tribal Representative. Staff met with a representative of the Middletown Rancheria on December 23, 2020, at the project site to discuss any issues or concerns regarding the proposed project. During the site visit the tribal representative unearthed obsidian flakes which appeared to be worked. Based on this discovery, the tribe is very interested in this property and has requested the implementation of mitigation measures for monitoring of the excavations required to develop the site for the residence and associated structures.

Therefore, due to the possibility of unearthing tribal cultural resources which include, but are not limited to, Native American human remains, funerary objects, items or artifacts, sites, features, places, landscapes or objects with cultural values to the Middletown Rancheria ("Tribe"), during ground disturbance activities, the following mitigation measures, in addition to the standard conditions of approval stated in Section V above, shall be incorporated into the Project, for preservation or mitigation of significant impacts to tribal cultural resources.

Mitigation Measures:

- MM TCR-1: Ground disturbing activities occurring in conjunction with the Project (including surveys, testing, concrete pilings, debris removal, rescrapes, punch lists, erosion control (mulching, waddles, hydroseeding, etc.), pot-holing or auguring, boring, grading, trenching, foundation work and other excavations or other ground disturbance involving the moving of dirt or rocks with heavy equipment or hand tools within the Project area) shall be monitored on a full-time basis by qualified tribal monitor(s) approved by the Tribe. The tribal monitoring shall be supervised by the project Tribal Cultural Advisor. Tribal monitoring should be conducted by qualified tribal monitor(s) approved by the Tribe, who is defined as qualified individual(s) who has experience with identification, collection and treatment of tribal cultural resources of value to the Tribe. The duration and timing of the monitoring will be determined by the project Tribal Cultural Advisor. If the project Tribal Cultural Advisor determines that full-time monitoring is no longer warranted, he or she may recommend that tribal monitoring be reduced to periodic spot-checking or cease entirely. Tribal monitoring would be reinstated in the event of any new or unforeseen ground disturbances or discoveries.
- MM TCR-2: The project Tribal Cultural Advisor and tribal monitor(s) may halt ground disturbance activities in the immediate area of discovery when known or suspected tribal cultural resources are identified until further evaluation can be made in determining their significance and appropriate treatment or disposition. There must be at minimum one tribal monitor for every separate area of ground disturbance activity that is at least 30 meters or 100 feet apart unless otherwise agreed upon in writing between the Tribe and applicant. Depending on the scope and schedule of ground disturbance activities of the Project (e.g., discoveries of cultural resources or simultaneous activities in multiple locations that requires multiple tribal monitors, etc.) additional tribal monitors may be required on-site. If additional tribal monitors are needed, the Tribe shall be provided with a minimum of three (3) business days advance notice unless otherwise agreed upon between the Tribe and applicant. The on-site tribal monitoring shall end when the ground disturbance activities are completed, or when the project Tribal Cultural Advisor have indicated that the site has a low potential for tribal cultural resources.
- MM TCR-3: All on-site personnel of the Project shall receive adequate cultural resource sensitivity training approved by the project Tribal Cultural Advisor or his or her authorized designee prior to initiation of ground disturbance activities on the Project. The training must also address the potential for exposing subsurface resources and procedures if a potential resource is identified. The Project applicant will coordinate with the Tribe on the cultural resource sensitivity training.
- MM TCR-4: The Project applicant must meet and confer with the Tribe, at least 45 days prior to commencing ground disturbance activities on the Project to address notification, protection, treatment, care and handling of tribal cultural resources potentially discovered or disturbed during ground disturbance activities of the Project. All potential cultural resources unearthed by Project activities shall be evaluated by the project Tribal Cultural Advisor. The Tribe must have an opportunity to inspect and determine the nature of the resource and the best course of action for avoidance, protection and/or treatment of tribal cultural resources to the extent permitted by law. If the resource is determined to be a tribal cultural resource of value to the Tribe, the Tribe will coordinate with the Project applicant to establish appropriate treatment and disposition of the resources with appropriate dignity which may include reburial or preservation of resources. The Project applicant must facilitate and ensure that the determination of treatment and disposition by the Tribe is followed to the extent permitted by law. No laboratory studies, scientific **analysis**, collection, curation, or video recording are permitted for tribal cultural resources without the prior written consent of the Tribe.

Method of Monitoring: Prior to initial ground disturbance the permittee shall provide documentation to the Planning Division that the permittee has retained a project Tribal Cultural Advisor designated by the Tribe, to direct all mitigation measures related to tribal cultural resources.

XIX.	UTILITIES AND SERVICE SYSTEMS. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Require or result in the relocation or construction of a new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion:

- a. The project would not require the construction of a new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas or telecommunications facilities, the construction or relocation of which could cause significant environmental effects.
- b. An existing on-site well is proposed as the project's water source. According to the 5/29/2012, Well Completion Report, the existing well had a measured yield of 35 gpm. The site is currently developed in ± 0.6 acre of vineyard. According to the Napa County Water Availability Analysis Guidance Document, Appendix B, the total projected water demand for the parcel would conservatively be 2.05 af/yr (includes the main residence, accessory dwelling unit, pool, irrigated landscaping, and vineyard) which is below the 4.0 af/yr minimum thresholds established for the single-family residential parcel based on the site's soil characteristics and property size of ±4.07 acres. Based on this information, the parcel water demand can be met with the existing on site well. The existing yield would be sufficient to serve all uses on the property. Any project which reduces water usage or any water usage which is at or below the established threshold is assumed not to have a significant effect on groundwater levels. Impacts would be less than significant as there is sufficient water supply available to serve the proposed project.
- c. Wastewater would be treated on-site per the proposed septic system and would not require a wastewater treatment provider. Impacts would be less than significant.
- d/e. The project would be served by Clover Flat Landfill which has a capacity that exceeds current demand. As of July 2011, the Clover Flat Landfill had 2.91 million cubic yards of remaining capacity and has enough permitted capacity to receive solid waste through 2045. The project would comply with federal, state, and local statutes and regulations related to solid waste. Therefore, impacts would be less than significant.

Mitigation Measures: None required

XX.	WILDFIRE. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Due to slope, prevailing winds and other factors, exacerbate wildfire risks and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d)	Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

- a/b. The proposed project is located within the state responsibility area and is classified as a high fire hazard severity zone. The project would not substantially impair an adopted emergency response plan or emergency evacuation plan because the proposed driveway improvements would provide direct access to Silverado Trail. The project would comply with current California Department of Forestry and California Building Code requirements for fire safety. Impacts would be less than significant.
- c/d. Implementation of the project would include the development of a new access driveway designed to County standards. As part of the project, the property owner would implement a horizontal and vertical vegetation management plan consistent with California Department of Forestry and Fire Protection requirements along the entire length of the driveway to provide defensive space and improve sight distance. The vegetation and management plan would be reviewed and approved by the Napa County Fire Marshal. Proposed retaining walls would be constructed as part of the project to address potential slope instability and drainage issues. Impacts would be less than significant.

Mitigation Measures: None required.

XXI.	MANDATORY FINDINGS OF SIGNIFICANCE	Potentially Significant Impact	Less Than Significant With Mitigation Incorporation	Less Than Significant Impact	No Impact
a)	Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

- a. As discussed in **Section IV** above, the project site contains vegetation suitable for special status bat species and nesting birds. Mitigation is proposed for those biological topics that would reduce potentially significant impacts to a level of less than significant. As identified in **Section V** above, no known historically sensitive sites or structures, archaeological or paleontological resources, sites or unique geological features have been identified within the project site. However, **Section XVIII**, includes mitigation measures to address potential impacts to tribal cultural resources. In summary, all potentially significant effects on biological and cultural resources can be mitigated to a level of less than significant.
- b. The project does not have impacts that are individually limited, but cumulatively considerable. Potential air quality, greenhouse gas emissions, hydrology, and traffic impacts are discussed in the respective sections above. The project would also increase the demands for public services to a limited extent, increase traffic and air pollutants all of which contribute to cumulative effects when future development in Napa Valley is considered. Cumulative impacts of these issues are discussed in previous sections of this Initial Study. Potential cumulative impacts would be less than significant.
- c. All impacts identified in this Initial Study are either less than significant after mitigation or less than significant and do not require mitigation. Therefore, the proposed project would not result in environmental effects that cause substantial adverse effects on human being either directly or indirectly. Impacts would be less than significant.

Mitigation Measures: None required.

MITIGATION MONITORING AND REPORTING PROGRAM

Mitigation Measure	Monitoring Responsibility	Monitoring/Reporting Action and Schedule	Monitoring Compliance Complete (Name / Date)
Biological Resources (IV)			
MM BIO-1: Tree removal shall be performed from September 1 through March 31, outside of the general bat maternity season. If tree removal is proposed during this period, it is recommended that a bat habitat assessment and survey effort (the latter if needed) be performed by a qualified biologist prior to tree removal to determine if bats are present in the trees. If no suitable roosting habitat for bats is found, then no further study is warranted. If special-status bat species or bat maternity roosts are detected, then roost trees shall be avoided until the end of the maternity roosting season as determined by a qualified biologist in consultation with CDFW. Irrespective of time of year, all felled trees should remain on the ground for at least 24 hours prior to chipping, off-site removal, or other processing to allow any bats present within the felled trees to escape.	Planning Division	The permittee shall have a bat habitat assessment and survey, as applicable, prior to any tree removal during the bat maternity season (April 1 to August 31). In the event special-status bat species or bat maternity roosts are detected, construction activities will be scheduled to avoid the maternity roosting season.	
MM BIO-2: Tree/vegetation removal and initial ground disturbance shall occur from August 16 to January 31, outside of the general bird nesting season. If tree/vegetation is proposed during this time, a pre-construction nesting bird survey shall be performed by a qualified biologist no more than 14 days prior to the initiation of tree removal or ground disturbance. The survey should cover the Project Area (including tree removal areas) and surrounding areas within 500 feet. If active bird nests are found during the survey, an appropriate no-disturbance buffer shall be established by the qualified biologist. Once it is determined that the young have fledged (left the nest) or the nest otherwise becomes inactive (e.g., due to predation), the buffer may be lifted and work may be initiated within the buffer.	Planning Division	The permittee shall have a nesting bird survey completed prior to any ground disturbing activities scheduled to occur on the site from February 1 through August 15. The survey results shall be provided to the Napa County Planning, Building and Environmental Services. In the event any special-status or other protected nesting birds are found to occur on-site construction activities shall be scheduled to avoid nesting and breeding periods and consultation will be sought with CDFW to develop appropriate measures to reduce potential impacts to nesting birds protected under the Migratory Bird Treaty Act.	

PROJECT REVISION STATEMENT

Sebastien Marineau-Mes Residence
Viewshed (File #P20-00230-VIEW)
4000 Silverado Trail, Calistoga, CA 94515, APN: 021-010-077

Napa County - Environmental Review

I hereby revise my request to include the measures specified above.

I understand and explicitly agree that with regards to all California Environmental Quality Act, Permit Streamlining Act, and Subdivision Map Act processing deadlines, this revised application will be treated as a new project, filed on the date this project revision statement is received by the Napa County Conservation, Development and Planning Department. For purposes of Section 66474.2 of the Subdivision Map Act, the date of application completeness shall remain the date this project was originally found complete.

Signature of Owner(s)

Interest

Print Name

“E”

Public Comments

From: [ruralangwin](#)
To: [Spencer, Hannah](#)
Subject: 4000 Silverado Trail.
Date: Thursday, June 5, 2025 12:06:22 PM

[External Email - Use Caution]

Hi Hannah,

Piecemealing if I've ever seen it! The current unfinished project is a blight and an eyesore.

Surely the applicant knew they wanted a pool house and a barn from the start. This new request should be evaluated on the whole including the vineyard that failed this winter.

Massive landscaping should be required immediately.

This project certainly will be a vacation rental.

Kellie Anderson
Angwin

“F”

Viewshed Application

4000 Silverado Trl Viewshed P25-00207
Zoning Administrator Hearing Date (August 27, 2025)

COUNTY OF NAPA
PLANNING, BUILDING, AND ENVIRONMENTAL SERVICES

VIEWSHED PROTECTION PROGRAM

APPLICATION PACKET

1. Applicant's Checklist
2. Viewshed Protection Program Application
3. Indemnification Agreement
4. Application Completeness Requirements and Checklist
5. Adjoining Property Owner's List Requirements
6. Excerpts from Viewshed Protection Program Ordinance
7. Viewshed Protection Design Manual
8. Slope Determination Methodology

NOTE:

PLEASE INCLUDE THREE COPIES OF
ALL REQUIRED APPLICATION MATERIALS SUBMITTED.

VIEWSHED PROTECTION PROGRAM

APPLICANT'S CHECKLIST

1. ☒ Completed and Signed Application and Indemnification Form*

*A signed Indemnification Form will only be required if a public hearing is conducted (i.e. if this is an item before the Zoning Administrator or Commission).

2. ☒ Vicinity Map
3. ☒ Proposed Site Plan
4. ☒ Topographic Map/Preliminary Grading Plan
5. ☒ Building/Structural Elevations
6. ☒ Landscaping and/or Vegetation Retention Plan
7. ☒ Exterior Lighting Plan
8. ☒ Visual Impact Analysis
9. ☒ Title Insurance Company Certified List of Adjoining Property Owners within 1000 feet
9. ☒ Application Fee of \$_____ (to be determined at time of Pre Application meeting) (Napa County Policy Manual, Part 3 § 80.050). Checks made payable to the County of Napa.

Note:

- 1) Items numbered 2-4 above may be combined and submitted on the same drawing.
- 2) A detailed list of all the required submittal items is provided herein under "Application Completeness Requirements and Checklist".
- 3) Many of the items required for review under the Viewshed Ordinance are the same items that would be normally be required for an Erosion Control Plan (ECP) Review. If you are concurrently applying for an ECP Review, provide us with a copy of the appropriate items. Please, do not duplicate your efforts.



A Tradition of Stewardship
A Commitment to Service

FILE # P25-00207

NAPA COUNTY
PLANNING, BUILDING, AND ENVIRONMENTAL SERVICES
1195 THIRD STREET, SUITE 210, NAPA, CALIFORNIA, 94559 • (707) 253-4417

APPLICATION FOR VIEWSHED PROTECTION PROGRAM

FOR OFFICE USE ONLY

ZONING DISTRICT: AW DATE SUBMITTED: _____
TYPE OF APPLICATION: Viewshed DATE PUBLISHED: _____
REQUEST: _____

Project Type: Structure Driveway Road Reservoir Mass Grading Other
Other Permits Applied/Pending/Required:
ECP Grading Permit Use Permit Variance
SDSDS Groundwater Permit:

Review Agencies: PBES: X County Consultant: Name/Contact:

Final Approval: PBES X Date: / / Conditions: Yes No

TO BE COMPLETED BY APPLICANT
(Please type or print legibly)

Applicant's Name: Jessica Stuenkel I Feldman Architecture

Telephone #: (415) 856 - 9083 Fax #: () - E-Mail: jstuenkel@feldmanarch.com

Mailing Address: 1648 Pacific Ave, Suite B San Francisco, CA 94019
No. Street City State Zip

Status of Applicant's Interest in Property: Architect

Property Sebastien Marineau-Mes Owner's Name:

Telephone #: (408) 705 - 0076 Fax #: () - E-Mail: sebastien.marineau@gmail.com

Mailing Address:
No. Street City State Zip

Site Address/Location: 4000 Silverado Trail N., Calistoga, CA 94515
No. Street City State Zip

Assessor's Parcel #: 021 - 010 - 079 Parcel Size: 5.67 acres Development Area Size: 0.058 acres
0.05 ac Pool House
Slope Range of Development Area: 12 % to 28 % 0.008 ac Barn

(NOTE: Contour map/survey is required for all development areas with an estimated slope of 15% or greater and for all road/driveway projects, Contour map must include all areas within 100' of the cut and fill edges. Percent slope shall be calculated and presented as whole numbers. (Please see attached Slope Determination Methodology)

I hereby certify that all the information contained in this application, including but not limited to, this application form, the supplemental information sheets, site plan, plot plan, cross sections/elevations, is complete and accurate to the best of my knowledge. I hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for evaluation of this application and preparation of reports related thereto, including the right of access to the property involved.

Jessica Stuenkel 03 / 24 / 2025
Signature of Applicant Date
Jessica Stuenkel
Print Name

Sebastien Marineau-Mes 04/14/2025
Signature of Property Owner Date
Sebastien Marineau-Mes
Print Name

TO BE COMPLETED BY PLANNING, BUILDING, AND ENVIRONMENTAL SERVICES

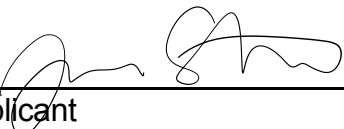
Application Fee: \$ Receipt. No. Received by: Date:

INDEMNIFICATION AGREEMENT

Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.

Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.


In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.



Applicant

04/10/2025

Date



Property Owner (if other than Applicant)
4000 Silverado

Project Identification

VIEWSHED PROTECTION PROGRAM

APPLICATION COMPLETENESS REQUIREMENTS AND CHECKLIST

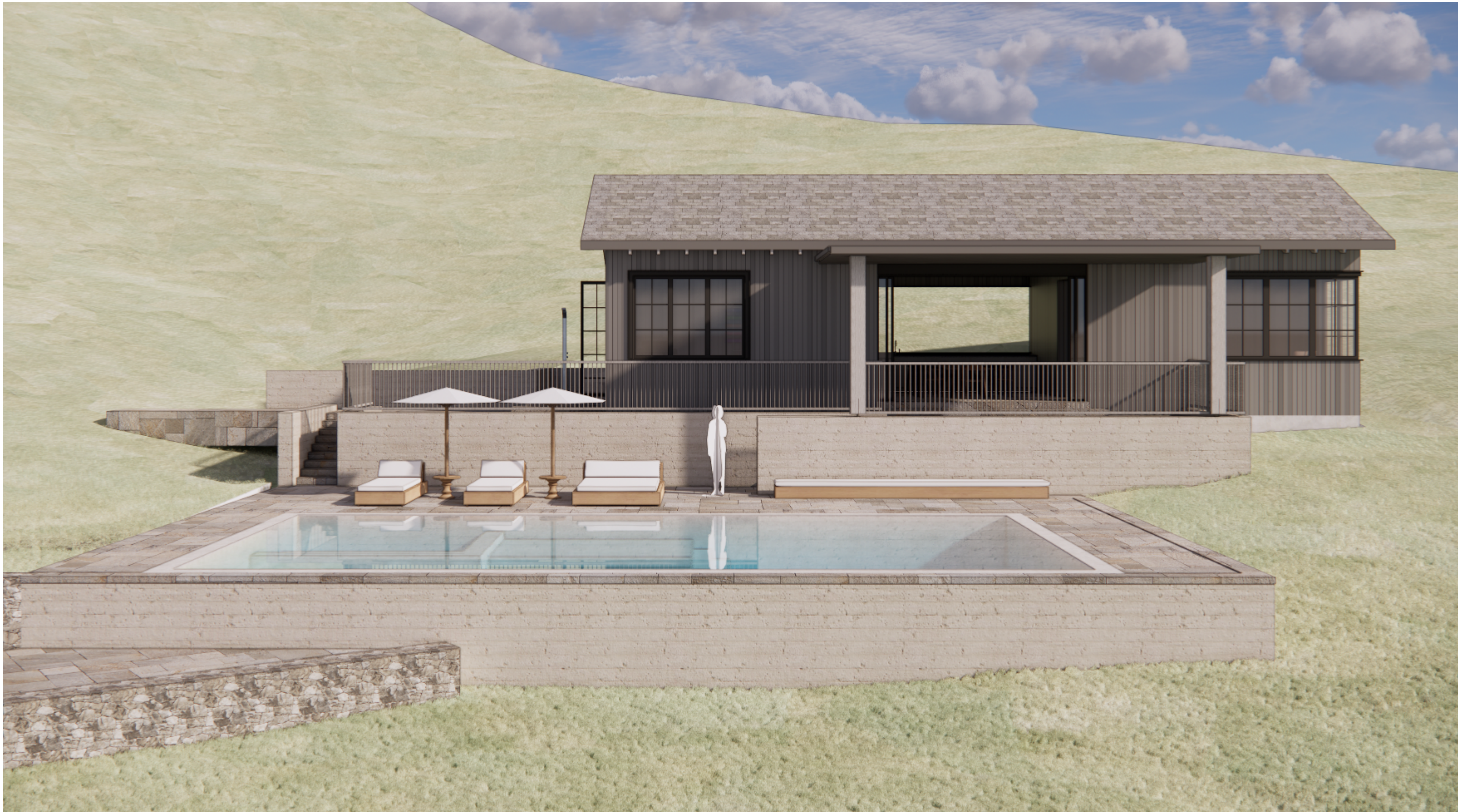
1. ☒ Completed and Signed Application and Indemnification Form.
2. ☒ Vicinity Map.
 - A. A 7" by 5 1/2" portion of a 7.5-minute (1"=2000') United States Geological Survey (USGS) topography map.
 - B. Map shall show improvements in their relationship to abutting properties/structures and major and minor ridgelines.
3. ☒ Proposed Site Plan. A proposed site plan shall be prepared to locate only the proposed site improvements and areas to be disturbed (i.e. building site, graded area). Scale of the plan shall be appropriate to the area disturbed either through grading, construction or clearing of vegetation. The area surrounding the building pad/site shall be scaled at 1" = 20' or finer and roads or driveways at 1"=100' or finer. A scaled Site Plan shall include:
 - A. Location of all existing structure(s) to be removed or remain on site; note on plan whether to remain or to be removed.
 - B. Location of all existing vegetation six inches in diameter or greater, measured in diameter at breast height (DBH), including variety, height and canopy width.
 - C. Location of all proposed impervious surfaces (i.e. driveways, motor courts, patios).
 - D. Location of all wastewater disposal systems on site.
 - E. Proposed setbacks from property lines(s) and other structures.
 - F. Location of all spoils/stock pile area for all excavated and/or imported soils.
 - G. Total floor area shown, including all floors, of all structures, regardless of use.
4. ☒ Topographic Map/Preliminary Grading Plan. Map shall note the following:
 - A. Existing and proposed contours of the building site before and after all construction is completed, drawn at 2' or 5' intervals at a scale of 1"=20' or better; driveways or access roads must show 5' intervals at a scale of 1"=100' or better.
 - B. Map shall include the following section(s) at minimum:
 - i. Disturbed areas, including proposed/existing roads;
 - ii. Building(s) height(s), measured according to the most recently County adopted California Building Code;
 - iii. Roadways/Driveways, shown at intervals as required in County Slope Determination Methodology, Conservation Regulations Exhibit A (Resolution 91-61), shorter intervals may be required in areas of changing topography;
 - iv. Retaining walls or man-made embankments and berms, illustrating location and height (scale of 1/4" = 1').
 - C. Preliminary drainage plans for the site, showing the pattern and direction of flow, as well as any on site natural or man-made drainage/waterways.
 - D. Highest point of the proposed structure(s) measured vertically to top of nearest ridgeline.
5. ☒ Building/Structure Elevations.
 - A. Elevations shall scaled and include type of building material, color treatment and sample color-chip, roofing material and color.
 - B. Include information on window reflectivity and extent of window coverage.
 - C. "Building Height(s)," as defined in the most recent County adopted edition of the California Building Code, must also be shown on the elevations (See item #3 C. Determining Building Height in the Viewshed Protection Manual for measurement details).

6. ☒ Landscaping and/or Vegetation Retention Plan. Newly planted vegetation for the purpose of visual screening, must be of sufficient size to adequately screen the proposed structure(s) in two (2) to five (5) years. A complete plan shall include the following:
- A. Identify and locate all the existing vegetation to remain as visual screening for the proposed structure(s), indicate variety, height and canopy width.
 - B. Identify initial planting sizes and varieties of all materials to be installed.
 - C. Illustrate the size and canopy width of planted materials, as they would appear 10 years after installation.
 - D. Distinguish the natural and/or installed landscaping to be included in the visual impact analysis.
 - E. Installed landscaping must be compatible with existing vegetation and landscape.
 - F. Establish a comprehensive landscape maintenance program, including a protection and pruning program for existing and planted trees.
7. ☒ Exterior Lighting Plan. Identifying the location, type of fixture, focus/purpose, as well as the use of any timers or motion sensor devices
8. ☒ Visual Impact Analysis. One or more of the following may be required to determine the visual impact of the structure(s) and its associated improvements and their conformance with the Viewshed Protection Program.
- A. Story poles (the temporary placement of a mock wooden skeleton in the general shape of the building, then draping plastic orange snow fencing around the roofline to portray the visual prominence and bulk of the proposed structure).
 - B. Computer simulation.
 - C. Photomontage.
 - D. Picture or visual as viewed from designated public road at point(s) where the structure(s) is/are visible.
 - E. Appropriately scaled model.
 - F. Additional views or materials as required by staff from other vantage points.
9. ☒ Title Insurance Company Certified List of Adjoining Property Owners within 1000 feet. Identifying all property owners within 1000' of the subject parcel, specifying name, address and parcel number; included on two sets of mailing labels with accompanying Assessor's Pages used to compile the above property owner list. Please see "ADJOINING PROPERTY OWNER LIST REQUIREMENTS" for details on preparing the requested list.
10. ☒ Application Fee of \$_____ (to be determined at Pre-App meeting) plus an Initial Environmental Review Fee (if applicable) of \$_____ (to be determined at Pre-App meeting) (Napa County Policy Manual, Part 3 § 80.050). Checks made payable to the County of Napa.

“G”

Viewshed Application - Project Plans

4000 Silverado Trl Viewshed P25-00207
Zoning Administrator Hearing Date (August 27, 2025)



MARINEAU MILLS POOL HOUSE

CALISTOGA, CA

PROJECT DIRECTORY

OWNER

SEBASTIEN MARINEAU-MES
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SAN FRANCISCO, CA 94114

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CONTACT: AARON SMITH
E-MAIL: ASMITH@ADOBEINC.COM

CIVIL ENGINEER

ADOBE ASSOCIATES
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SANTA ROSA, CA 95401

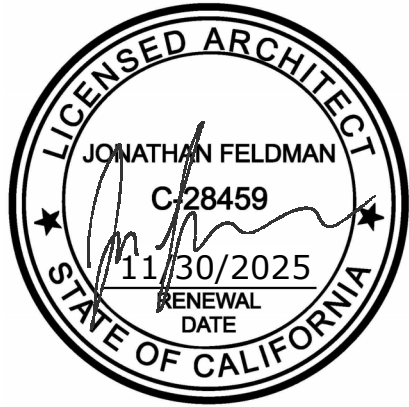
PHONE: +1 (707) 541-2300
CONTACT: TIM SCHRAM
E-MAIL: TSCHRAM@ADOBEINC.COM

SHEET INDEX

GENERAL	
A0.00	COVER SHEET
A0.01	PROJECT INFO
CIVIL	
C1.0	VIEWSHED PERMIT GRADING & DRAINAGE PLAN
ARCHITECTURAL	
A1.20	SITE PLAN
A1.21	SITE ELEVATION + VISUAL IMPACT + AREA PLAN
STN	SITE PLAN
A2.20	FLOOR PLAN - POOL HOUSE
A2.25	FLOOR PLAN - BARN
A3.00	EXTERIOR ELEVATIONS - POOL HOUSE
A3.05	EXTERIOR ELEVATIONS - BARN
LANDSCAPE	
L1.1	PLANTING PLAN
L2.1	LIGHTING PLAN

Feldman
Architecture

P 1 (415) 252 1441
E info@feldmanarch.com
W feldmanarchitecture.com



project name
**MARINEAU MILLS
POOL HOUSE**

project address
**4000 SILVERADO TRL N
CALISTOGA, CA 94515**

apn #
021-010-079

client
**SEBASTIEN MARINEAU-MES &
EMILY MILLS MARINEAU**

fa job #
24-017

issue
**VIEWSHED PERMIT
REVISION 2**

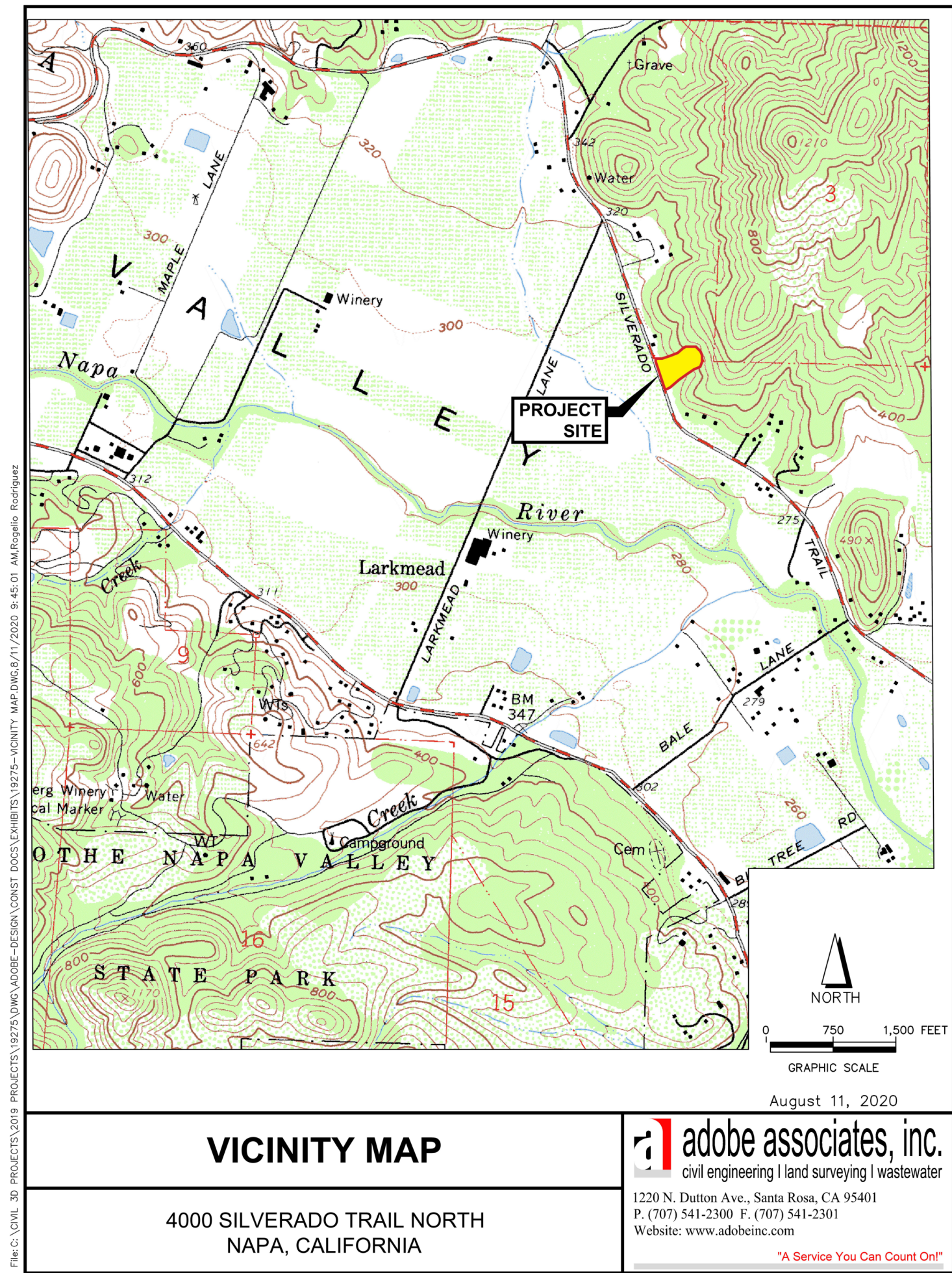
date
06.20.2025

history	
Δ DESC.	DATE
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1 VIEWSHED PERMIT REV.1	25.06.13
2 VIEWSGED PERMIT REV.2	25.06.20

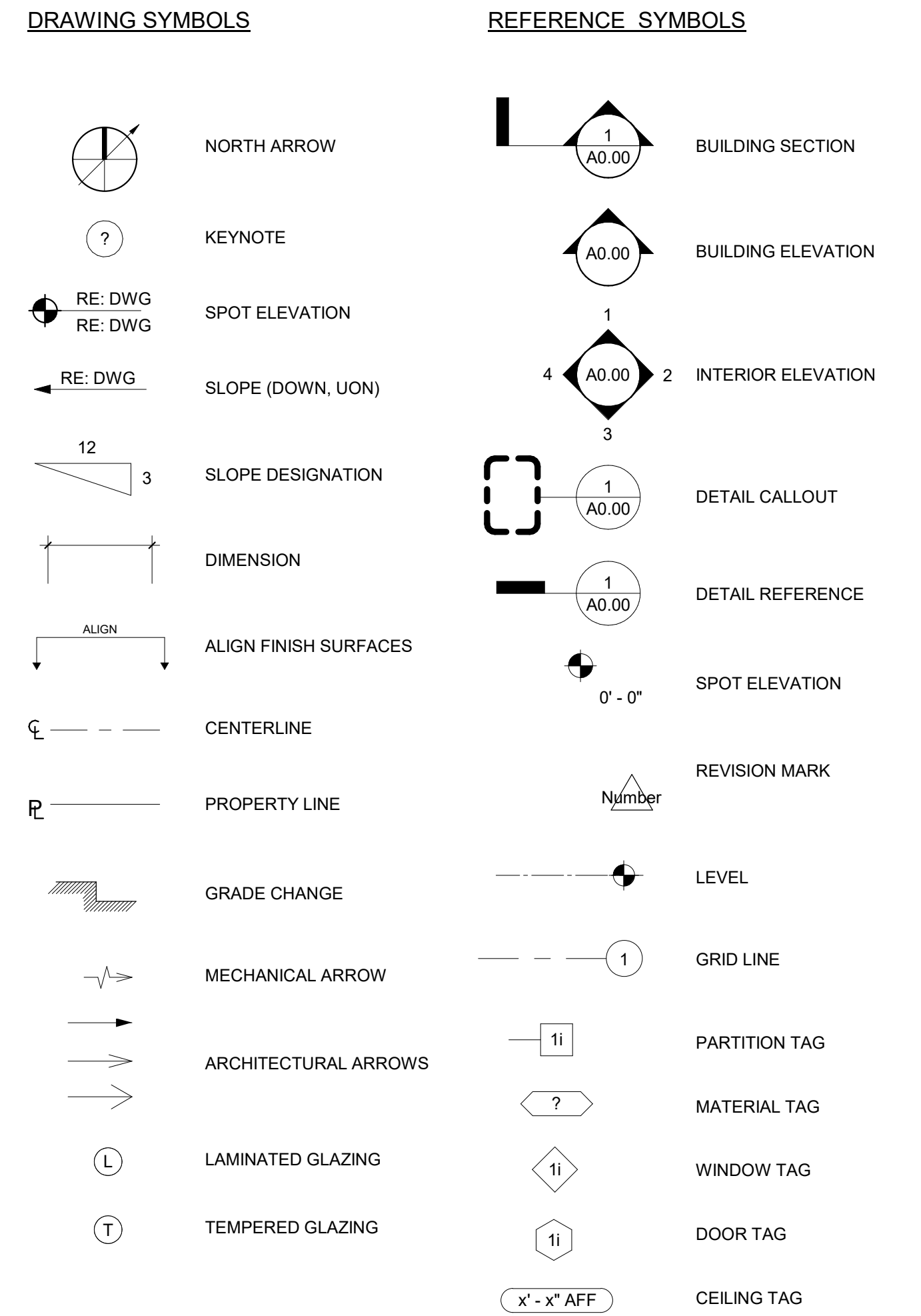
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COVER SHEET

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VICINITY MAPS



ARCHITECTURAL SYMBOLS



ABBREVIATIONS

A	AB	ANCHOR BOLT	L	L	LONG / LENGTH
	ABV	ABOVE		LAF	LIQUID APPLIED FLASHING
	ADDL	ADDITIONAL		LAM	LAMINATE / LAMINATED
	AESS	ARCH EXPOSED STRUCTURAL STEEL		LAV	LAVATORY
	AC	AIR CONDITIONING		LAWRB	LIQUID APPLIED WATER RESISTIVE BARRIER
	ACOUST	ACOUSTICAL		LB	POUND
	AD	AREA DRAIN		LT	LIGHT
	ADJ	ADJUSTABLE		LTG	LIGHTING
	AFF	ABOVE FINISHED FLOOR		LVR	LOUVER
	AGGR	AGGREGATE	M	MACH	MACHINE
	ALT	ALTERNATE		MAT	MATERIAL
	ALUM	ALUMINUM		MAX	MAXIMUM
	ANOD	ANODIZED		MECH	MECHANICAL
	APPROX	APPROXIMATE		MEMB	MEMBRANE
	ARCH	ARCHITECTURAL		MEZZ	MEZZANINE
	ASPH	ASPHALT		MFR	MANUFACTURER
	AWRB	AIR & WATER RESISTIVE BARRIER		MID	MIDDLE
B	BD	BOARD		MIN	MINIMUM / MINUTE
	BLDG	BITUMINOUS		MIRR	MIRROR
	BLK	BLOCK		MISC	MISCELLANEOUS
	BLKG	BLOCKING		MOD BIT	MODIFIED BITUMEN
	BLW	BELOW		MTD	MOUNTED
	BSM	BEAM		MTG	MOUNTING
	BOT	BOTTOM		MTL	METAL
	BRKT	BRACKET		MUL	MULLION
	BTWN	BETWEEN		MW	MICROWAVE
	BUR	BUILT UP ROOFING	N	(N)	NEW
C	CB	CATCH BASIN		N	NORTH
	CEM	CEMENT		NIC	NOT IN CONTRACT
	CI	CAST IRON		NUM	NUMBER
	CIP	CAST IN PLACE		NOM	NOMINAL
	CJWP	COLD FLUID APPLIED WATERPROOFING		NTS	NOT TO SCALE
	CJ	CONTROL JOINT / CEILING JOIST	O	o/l	OVER
	CL	CENTERLINE		OA	OVERALL
	CLG	CEILING		OC	ON CENTER
	CLKG	CAULKING		OD	OUTSIDE DIMENSION
	CLR	CLEAR		OFD	OVERFLOW DRAIN
	CMU	CONCRETE MASONRY UNIT		OH	OVERHEAD
	COL	COLUMN		OPG	OPENING
	COMP	COMPOSITION		OPP	OPPOSITE
	CONC	CONCRETE	P	PE	POLYETHYLENE
	CONV	CONNECTION		PERF	PERFORATED
	CONSTR	CONSTRUCTION		PERP	PERPENDICULAR
	CONT	CONTINUOUS		PL	PROPERTY LINE / PLATE
	CT	CERAMIC TILE		PLAM	PLASTIC LAMINATE
	CTSK	CERAMIC TILE		PLAS	PLASTER
	CTR	CENTER		PLYWD	PLYWOOD
	CTSK	COUNTERSINK / COUNTERSINK		PNT	PAINTED
	CW	COLD WATER		PR	PAIR
D	DBL	DOUBLE		PT	POINT / PRESSURE TREATED
	DEG	DEGREE		PV	PHOTOVOLTAIC
	DEMO	DEMOLITION		PVC	POLYVINYL CHLORIDE
	DEPT	DEPARTMENT		PWR	POLYMER
	DET / DTL	DETAIL	Q	QTY	QUANTITY
	DF	DOUGLAS FIR	R	(R)	REMODELED
	DIAG	DIAGONAL		R	RISER
	DIA	DIAMETER		RAD	RADIUS
	DIM	DIMENSION		RCP	REFLECTED CEILING PLAN
	DN	DOWN		RD	ROOF DRAIN
	DR	DOOR		RECEP	RECEPTACLE
	DS	DOWNSPOUT		RECT	RECTANGULAR
	DW	DISHWASHER		REF	REFRIGERATOR
	DWG	DRAWING		REFR	REFERENCE
	DWR	DRAWER		REINF	REINFORCED
E	(E)	EXISTING		REGTR	REGISTER
	E	EAST		REO/D	REQUIRED
	EA	EACH		RESIL	RESILIENT
	EB	EXPANSION BOLT		RET	RETAINING
	EF	EXHAUST FAN		REV	REVISION
	EJ	EXPANSION JOINT		RM	ROOM
	ELEV	ELEVATION		RND	ROUND
	ELEC	ELECTRIC / ELECTRICAL		RO	ROUGH OPENING
	ELEV	ELEVATION		RR	ROUGH RAFTER
	ELAST	ELASTOMERIC / ELASTIC		RWL	RAINWATER LEADER
	EMER	EMERGENCY	S	S	SOUTH
	ENCL	ENCLOSURE		SAF	SELF-ADHERED FLASHING
	ENGR	ENGINEER		SAWRB	SELF-ADHERED WATER RESISTIVE BARRIER
	EQ	EQUAL		SCD	SOLID CORE
	EQUIP	EQUIPMENT		SCD	SEE CIVIL DRAWINGS
	EXH	EXHAUST		SCHED	SCHEDULE
	EXP	EXPANSION / EXPANDED / EXPOSED		SCR	SCREEN
	EXT	EXTERIOR		SCWD	SOLID CORE WOOD DOOR
F	(F)	FUTURE		SECT	SECTION
	FA	FIRE ALARM		SED	SEE ELECTRICAL DRAWINGS
	FABR	FABRICATE		SF	SQUARE FOOT / FEET
	F.A.R.	FLOOR AREA RATIO		SHGC	SOLAR HEAT GAIN COEFFICIENT
	FCP	FIBER CEMENT PANELS		SHT	SHEET
	FD	FLOOR DRAIN		SHTG	SHEATHING
	FDC	FIRE DEPARTMENT CONNECTION		SHWR	SHOWER
	FDN / FND	FOUNDATION		SIM	SIMILAR
	FE	FIRE EXTINGUISHER		SKYLT	SKYLIGHT
	FEC	FIRE EXTINGUISHER CABINET		SLD	SEE LANDSCAPE DRAWINGS
	FF	FINISH FLOOR		SMD	SEE MECHANICAL DRAWINGS
	FFE	FINISH FLOOR ELEVATION		SMWP	SHEET MEMBRANE WATERPROOFING
	FG	FINISH GRADE		SOG	SLAB ON GRADE
	FH	FULL HEIGHT		SPD	SEE PLUMBING DRAWINGS
	FIN	FINISH		SPEC	SPECIFICATION
	FIXT	FIXTURE		SQ	SQUARE
	FLASH	FLASHING		SS	STAINLESS STEEL
	FLR	FLOOR		SSD	SEE STRUCTURAL DRAWINGS
	FLUOR	FLUORESCENT		STA	STATION
	FO	FINISHED OPENING		STD	STANDARD
	FOC	FACE OF CONCRETE		STL	STEEL
	FOF	FACE OF FINISH		STOR	STORAGE
	FOS	FACE OF STUD		STRUC	STRUCTURAL
	FR	FIRE RATED / RATING		SUSP	SUSPENDED
	FRP	FIBER REINFORCED PLASTIC		SYM	SYMMETRICAL
	FRFP	FIREPROOFING	T	TR	TREAD
	FT	FOOT OR FEET		T&B	TOP AND BOTTOM
	FTG	FOOTING		T&G	TONGUE AND GROOVE
	FURR	FURRING		TBD	TO BE DETERMINED
G	GA	GAUGE		TEL	TELEPHONE
	GALV	GALVANIZED		TEMP	TEMPERED / TEMPERATURE
	GC	GENERAL CONTRACTOR		THERM	THERMAL
	GEN	GENERAL		THK	THICK
	GFCI	GROUND FAULT CIRCUIT INTERRUPTED		THRESH	THRESHOLD
	GFRG	GLASS FIBER REINFORCED CONCRETE		T.O.	TOP OF
	GL	GLASS		T.O.C	TOP OF CONCRETE
	GLAZ	GLAZED / GLAZING		T.O.P	TOP OF PLATE
	GLB	GLUE LAM BEAM		TOPO	TOPOGRAPHY
	GND	GROUND		TOS	TOP OF STEEL
	GSM	GALVANIZED SHEET METAL		T.O.W	TOP OF WALL
	GWB	GYPSPUM WALL BOARD		TPO	THERMOPLASTIC POLYOLEFIN
	GYP	GYPSPUM BOARD		TS	TUBE STEEL
	GYP BD	GYPSPUM BOARD		TYP	TYPICAL
H	HB	HOSE BIB	U	UON	UNLESS OTHERWISE NOTED
	H/C	HANDICAPPED		UV	ULTRAVIOLET
	HC	HOLLOW CORE	V	VCT	VINYL COMPOSITION TILE
	HCWD	HOLLOW CORE WOOD DOOR		VER	VERIFY
	HDPE	HIGH DENSITY POLYETHYLENE		VERT	VERTICAL
	HDWD	HARDWOOD		VEST	VESTIBULE
	HDWR	HARDWARE		VG	VERTICAL GRAIN
	HM	HOLLOW METAL		VIF	VERIFY IN FIELD
	HORIZ	HORIZONTAL	W	W	WEST / WIDE / WIDTH
	HR	HOUR		W	WITH
	HSS	HOLLOW STRUCTURAL SECTIONS		WC	WATER CLOSET
	HT	HEIGHT		WD	WOOD
	HVAC	HEATING VENTILATION & AIR CONDITIONING		WF	WIDE FLANGE
	HW	HOT WATER		WH	WATER HEATER
I	ID	INSIDE DIAMETER		WN	WINDOW
	IN	INCH		WO	WITHOUT
	INCH	INCH		WO	WHERE OCCURS
	INSUL	INSULATION		WP	WATERPROOF / WATERPROOFING
	INT	INTERIOR		WR	WATER RESISTANT
	INTM	INTUMESCENT		WRB	WATER RESISTIVE BARRIER
J	J-BOX	JUNCTION BOX		WT	WEIGHT
	JH	JOIST HANGER		WWF	WELDED WIRE FABRIC
	JT	JOINT	Y	YD	YARD
	JST	JOIST			
K	KD	KILN DRIED			
	KIT	KITCHEN			

GENERAL NOTES

- ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE FOLLOWING CODES:
CURRENT VERSION OF THE CALIFORNIA BUILDING, RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL CODE, STATE ENERGY STANDARDS, AND ANY OTHER GOVERNING CODES AND ORDINANCES.
- IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
- WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.
- WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
- PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER CBC 718.2.4 & CRC R302.11, FIRE-BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT MAX. 10 FOOT INTERVALS.
 - IN CONCEALED INTERCONNECTIONS SUCH AS SOFFITS, DROP CEILINGS, COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING & FLR. LEVEL W/ AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
- PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER CBC 718.2.4 & CRC R302.12 DRAFT-STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS BELOW, DRAFT-STOPPING SHOULD BE PROVIDED IN THE FOLLOWING CIRCUMSTANCES:
 - SUSPENDED CEILING UNDER FLOOR FRAMING
 - OPEN WEB TRUSS OR PERFORATED FLOOR FRAMING MEMBERS.
- PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE WALLS IF THERE IS NO PROVIDED AIR GAP.
- ALL EARTHWORK AND SITE DRAINAGE INCLUDING BASEMENT AND PIER EXCAVATION, PREPARATION OF THE SUBGRADE BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, BASEMENT RETAINING WALL BACKFILL, AND FINAL SURFACE DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
- ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN 2019 CALGREEN TABLES 4.504.1-4.504.3.
- STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE (TITLE-24)
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ABOVE LISTED CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE COMMENCING WITH THE WORK.

PROJECT DATA

NEW POOL HOUSE SET UPHILL OF EXISTING POOL. POOL HOUSE INCLUDES ONE AND A HALF BATHROOMS, AND A WET BAR. NO BEDROOMS OR KITCHEN.
NEW ACCESSORY AGRICULTURAL BUILDING "BARN" TO SERVICE EXISTING VINEYARD. SEE PREVIOUS PERMITS FOR EXISTING WORK.

APN: 021-010-079

OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: V-B
ZONING DISTRICT: NAPA COUNTY, AW
NET LOT SIZE: 5.67 ACRES
FEMA FLOOD ZONE: NO
FIRE HAZARD: HIGH FIRE HAZARD SEVERITY (SRA) | WUI REQUIREMENTS
COUNTY ZONING: AW
FIRE JURISDICTION: NAPA COUNTY (STRUCTURES) + CALFIRE (WILDFIRE)
FIRE SPRINKLERS: YES
WILDLAND-URBAN: YES

POOL HOUSE SF:
LEVEL 1: 1,085 SF
TOTAL: 1,085 SF

BARN SF:
TOTAL: 300 SF

SETBACKS:
REAR: 20'
FRONT: 20'
SIDE: 5'

BUILDING HEIGHT:
PERMITTED: 35'
PROPOSED (POOL HOUSE): 9' - 8 1/2" (17' - 6" ABOVE POOL PATIO)
PROPOSED (BARN): 10' - 9 1/2"

ADDITIONAL PERMITS

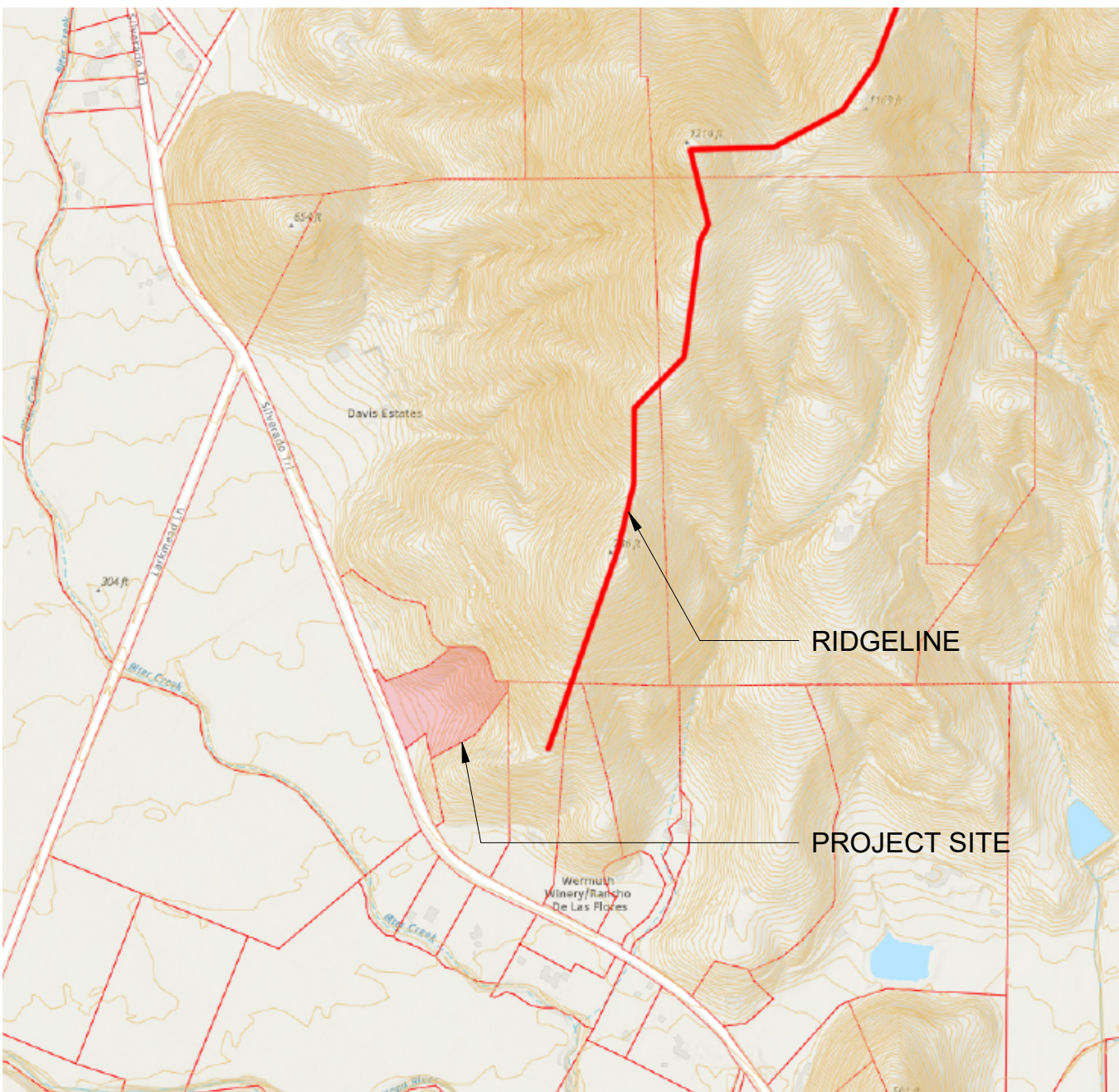
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#W21-00484
#W21-00497
#E21-0640
#RAD-49-1058
#BR22-00030-NEW
#BR22-00031-NEW
#P22-00212

VIEWSHED PERMIT - PRIMARY DWELLING UNIT & ADU
GRADING AND DRAINAGE PERMIT - PRIMARY DWELLING UNIT & ADU
ENCROACHMENT PERMIT - PRIMARY DWELLING UNIT & ADU
LOT LINE ADJUSTMENT
SEPTIC PERMIT - PRIMARY DWELLING UNIT & ADU
RADCO STATE PERMIT - PRIMARY DWELLING UNIT & ADU
NAPA COUNTY BUILDING - MAIN HOUSE
NAPA COUNTY BUILDING - GUEST HOUSE
MARINEAU VINEYARD

VEGETATION CANOPY PRESERVATION REQUIREMENTS

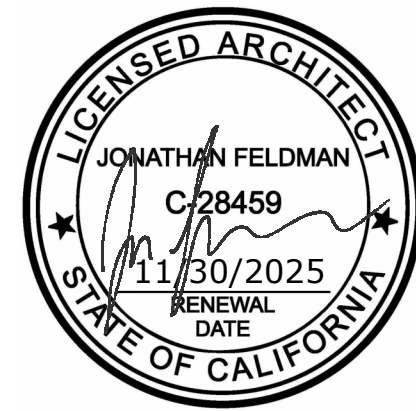
PROPOSED DEVELOPMENTS ONLY ENCROACH INTO THE PROPOSED VINEYARD BLOCK AND NOT THE CANOPY PRESERVATION AREA. AS PROPOSED THE PROJECT DOES NOT APPEAR TO BE IN CONFLICT WITH THE ECP VEGETATION CANOPY PRESERVATION REQUIREMENTS.

RIDGELINE VICINITY MAP



Feldman Architecture

*1 (415) 252 1441
*info@feldmanarch.com
*feldmanarchitecture.com



project name
**MARINEAU MILLS
POOL HOUSE**

project address
**4000 SILVERADO TRL N
CALISTOGA, CA 94515**

apn #
021-010-079

client
**SEBASTIEN MARINEAU-MES &
EMILY MILLS MARINEAU**

file job #
24-017

issue
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REVISION 2**

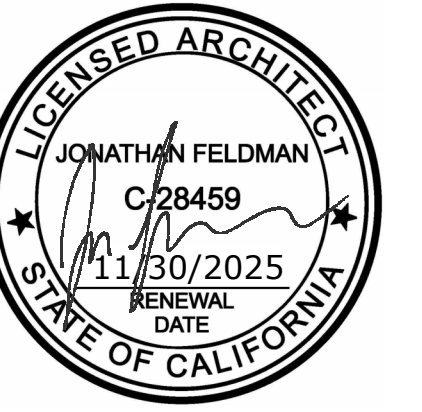
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
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2 VIEWSGED PERMIT REV.2	25.06.13
3 VIEWSGED PERMIT REV.2	25.06.20

title
PROJECT INFO

A0.01
sheet



LEGEND

-  PROPERTY LINE
 SETBACK LINE
 AREA OF WORK
 LANDSCAPE SURFACE, SCD, SLD.
 AGRICULTURAL VEHICLE PATH
 STONE PATIO

(E) TREES

(N) TREES

(N) TREES (NOT PROPOSED FOR SCREENING PURPOSES;
NOT SHOWN ON SHEET A1.21 – VISUAL IMPACT ANALYSIS)

SITE PLAN GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR PROPOSED GRADING, DRAINAGE & EXISTING VEGETATION.
2. SEE LANDSCAPE PLANS FOR (P) SCREENING & EXTERIOR LIGHTING.
3. SEE A1.31 FOR FLOOR PLAN AREA CALCULATIONS

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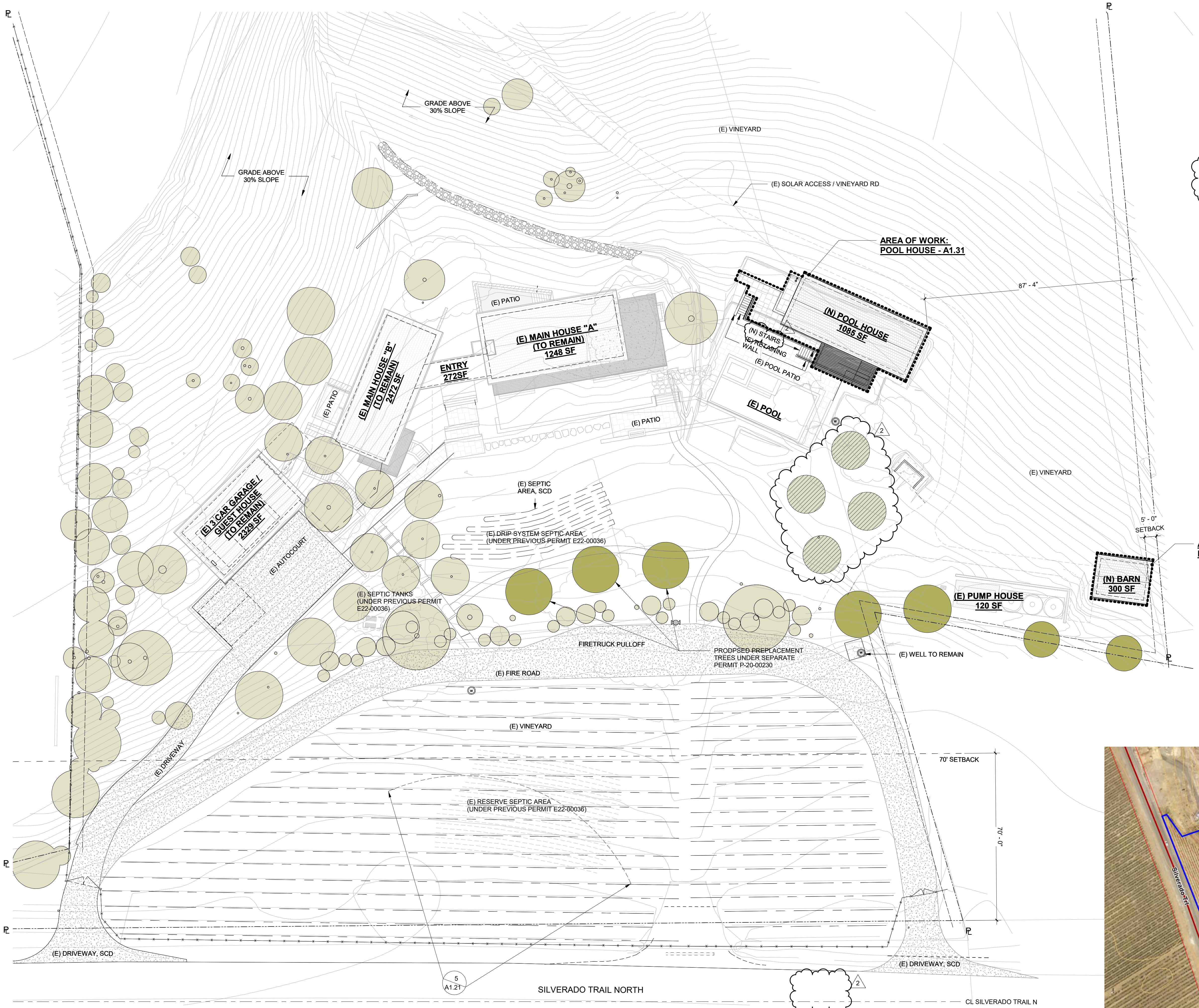
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REVISION 2

date
06.20.2025

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	VIEWSHED PERMIT
1	VIEWSHED PERMIT REV.1
2	VIEWSGED PERMIT REV.2

title
SITE PLAN

A1.20

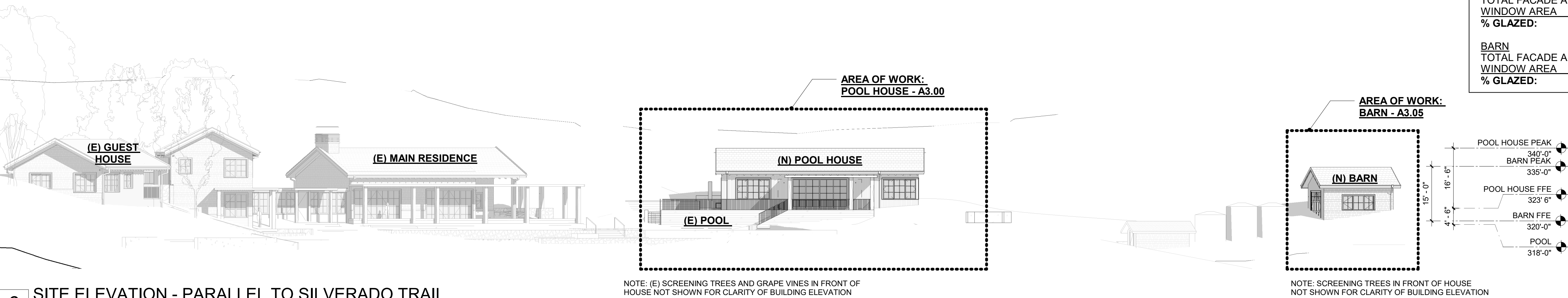
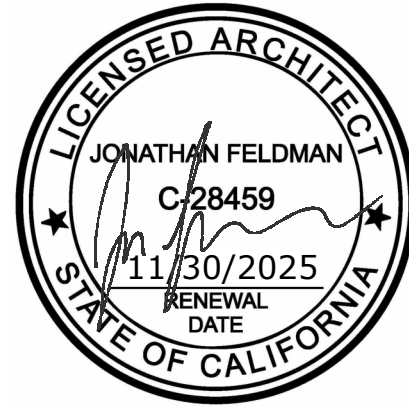


VICINITY MAP

GLAZING PERCENTAGE FROM SILVERADO	
% GLAZING = 29% AND 20%	
POOL HOUSE	
TOTAL FACADE AREA	867 SF
WINDOW AREA	252 SF
% GLAZED:	29%
BARN	
TOTAL FACADE AREA	180 SF
WINDOW AREA	36 SF
% GLAZED:	20%

Feldman
Architecture

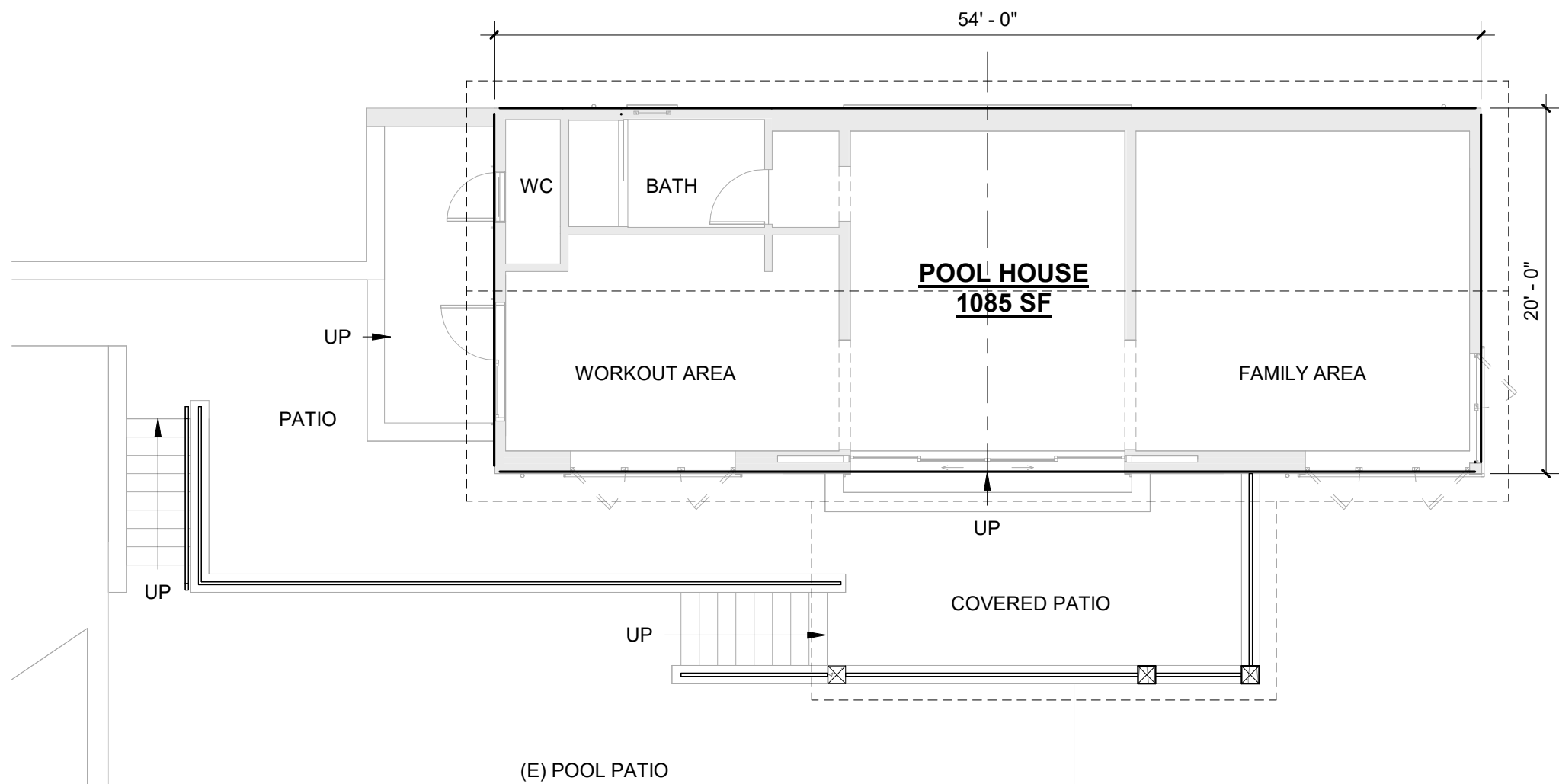
*1 (415) 252 1441
* info@feldmanarch.com
* feldmanarchitecture.com



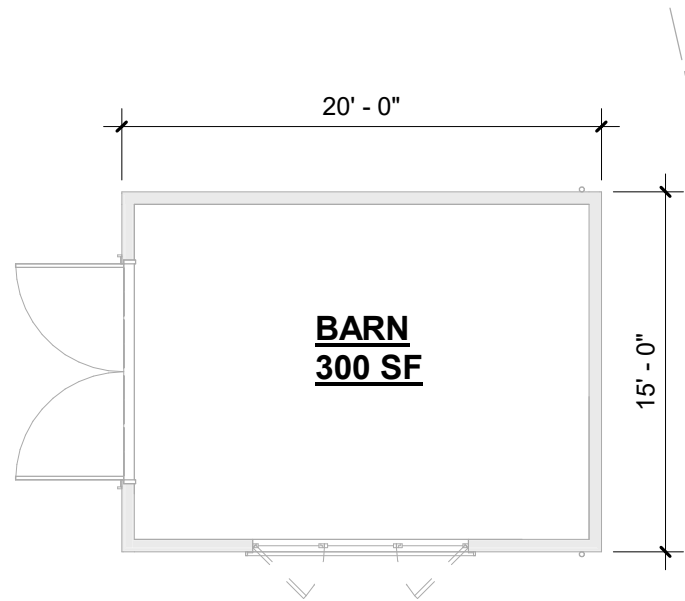
6 SITE ELEVATION - PARALLEL TO SILVERADO TRAIL
1/16" = 1'-0"



5 VISUAL IMPACT ANALYSIS 2



4 AREA PLAN - POOL HOUSE
1/8" = 1'-0"



1 AREA PLAN - BARN
1/8" = 1'-0"

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fa job #
24-017

0' 4' 8' 16'

issue
**VIEWSHED PERMIT
REVISION 2**

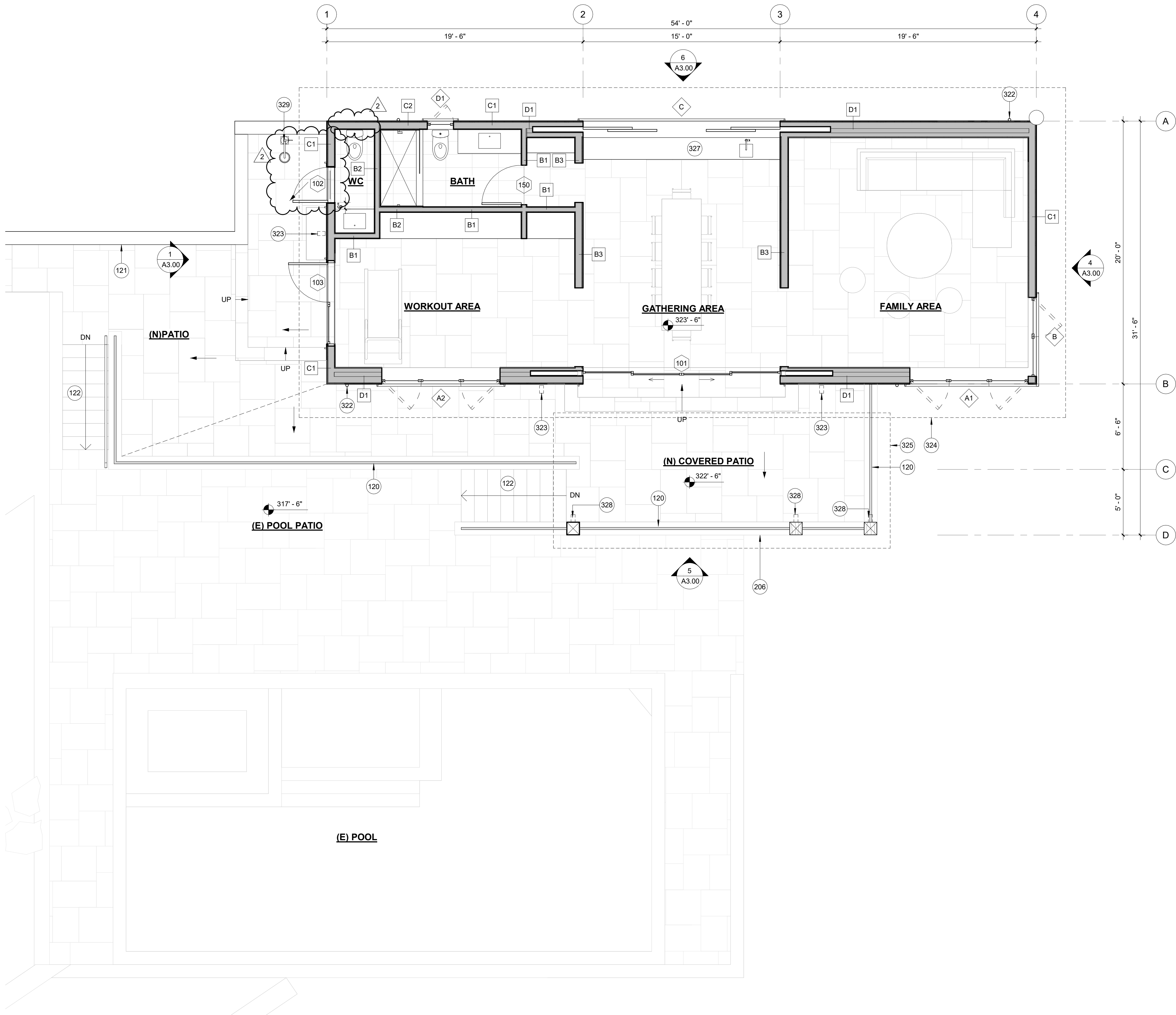
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06.20.2025

history	
Δ DESC.	DATE
VIEWSHED PERMIT	25.03.24
1 VIEWSHED PERMIT REV.1	25.06.13
2 VIEWSGED PERMIT REV.2	25.06.20

title
**SITE ELEVATION +
VISUAL IMPACT +
AREA PLAN**

A1.21
sheet

7/4/2025 12:36:16 PM



1 FLOOR PLAN
1/4" = 1'-0"

LEGEND

- NEW WALL
- 1-HOUR RATED WALL
- STONE PATIO

KEYNOTE LEGEND

- 120 (N) GUARDRAIL, 42" HIGH
- 121 RETAINING WALL
- 122 (N) STAIRS
- 306 RETAINING WALL TO REMAIN
- 322 DOWNSPOUT
- 323 EXTERIOR LIGHTING, DOWNWARD SHIELDED
- 324 ROOF ABOVE
- 325 PT'D ALUM TRELLIS
- 327 CABINET AND SINK
- 328 EXTERIOR MONOPOINT LIGHTING
- 329 OUTDOOR SHOWER

FLOOR PLAN GENERAL NOTES

- PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER 2022 CBC SECTION 1010.1.5, WITH LANDINGS NOT MORE THAN 7.75' BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND .75" AT OUTWARD SWINGING PER 2022 CBC SECTION 1010.1.6. LANDINGS SHALL SLOPE 1/4"/FT MIN. AWAY FROM DOORS.
- PROVIDE SOUND ATTENUATION INSULATION AT INTERIOR WALLS AND FLOORS.
- GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER 2022 CBC SECTION 2406.4.5.
- PROVIDE SKID-RESISTANT SURFACE ON BATHROOM FLOORS.
- BASE MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER 2022 CPC SECTION 408.7.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
- SEPARATION BETWEEN GARAGE AND MAIN RESIDENCE AS PER 2022 CBC SECTION 406.3.2.1 SHALL BE SEPARATED BY 1/2" MIN. GYP BD. ON WALLS & 5/8" TYPE "X" GYP BD. OR EQUIVALENT ON CEILINGS WHEN A GARAGE IS BELOW A HABITABLE ROOM.
- PER 2022 CRC R307.2 AND R702.4.2, BATHTUB/SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
- PROVIDE MIN 30" CLR WIDTH @ W.C. AND 24" CLR. FLOOR AREA AT FRONT OF BOWL.
- ANNUAL SPACE AROUND PIPES, ELECTRIC OUTLETS, CONDUITS OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS (2022 CALGREEN 4.406.1)
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 75 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH 2022 CALGREEN SECTION 4.408.1 TIER 2.
- ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- NO ADDITIONAL KITCHEN UTILITY TO BE PROVIDED. FOR EXAMPLE: NO OVEN, COOKTOP, MICROWAVE, SINK WITH A DRAIN OUTLET LARGER THAN 1.5 INCHES, GARBAGE DISPOSAL, FOOD STORAGE, OR A REFRIGERATOR WITH A CAPACITY GREATER THAN 6 CUBIC FEET.



project name
**MARINEAU MILLS
POOL HOUSE**

project address
**4000 SILVERADO TRL N
CALISTOGA, CA 94515**

apn #
021-010-079

client
**SEBASTIEN MARINEAU-MES &
EMILY MILLS MARINEAU**

fa job #
24-017

issue
**VIEWSHED PERMIT
REVISION 2**

date
06.20.2025

history

Δ	DESC.	DATE
1	VIEWSHED PERMIT REV.1	25.06.13
2	VIEWSGED PERMIT REV.2	25.06.20

title
**FLOOR PLAN - POOL
HOUSE**

E2

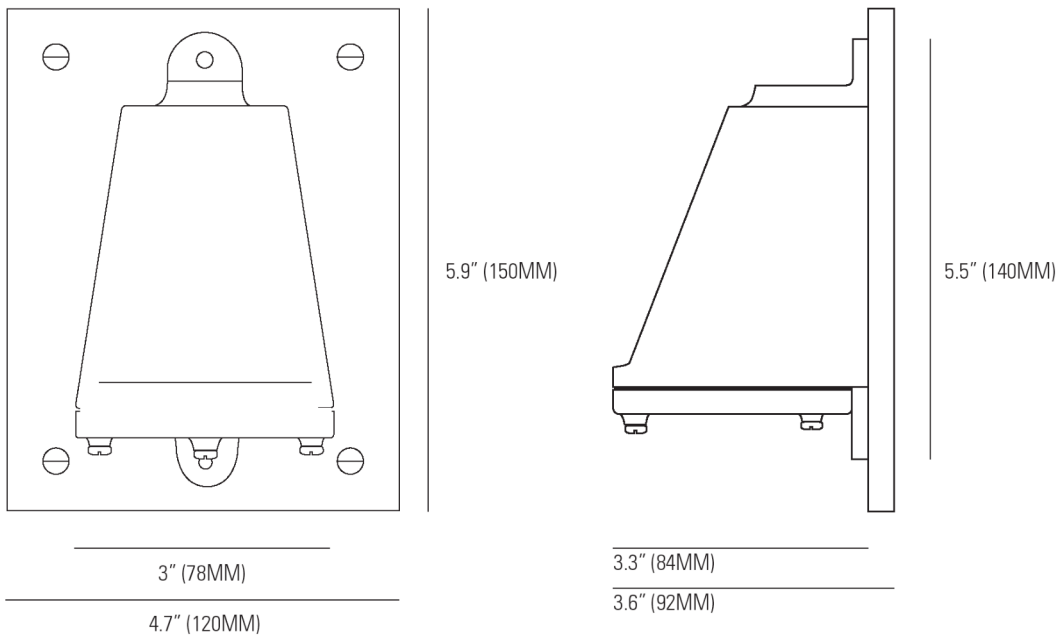


EXTERIOR MONOPOINT ON TRELLIS POST

DIMENSIONS: 2.25" DIA X 4.75"H	INPUT WATTS: 7.5W	VOLTS: 12VAC
MOUNTING: WALL SURFACE	LUMENS: 409 LM	XFMR: REMOTE DIM, PER EC
LAMP: LED MR16 GU5.3	CCT: 3000K	
LOCATION: EXTERIOR	CRI: 95	
MFR: B-K LIGHTING	MODEL: DS-MR-0-(FINISH)-12-11-B-360SL; CANOPY: BC7-(FINISH); LAMP: SM16-07-36D-930-03	

NOTES: FINISH PER ARCHITECT; REMOTE TRANSFORMER; INCLUDE CANOPY AND RETROFIT MR-16 LED LAMP

0749 Mast Light, Mains Voltage



Specifications

PRODUCT CODE:	US-DP0749	IP RATING:	IP54
BULB CAP:	GU10	MATERIAL(S):	ALUMINIUM/BRONZE, GLASS
MAX WATTAGE:	35W	AVAILABLE FINISH:	ANODISED, POLISHED OR SANDBLASTED ALUMINIUM. POLISHED, SANDBLASTED OR WEATHERED SANDBLASTED BRONZE
VOLTAGE:	120V (AC)		
BULB TYPE:	PAR16		

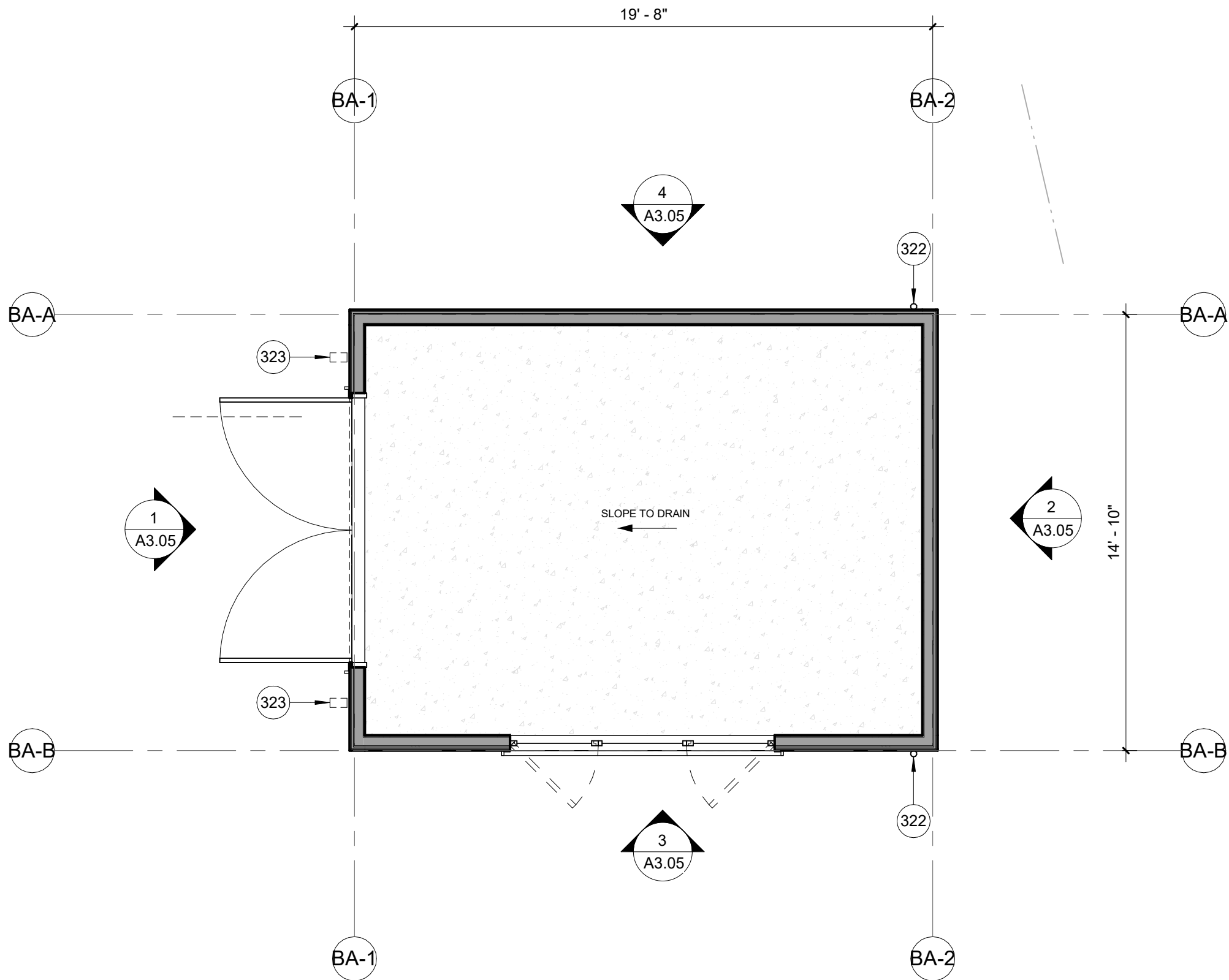
LAMP NOT SUPPLIED
MAINS (120V) VOLTAGE FITTING- NO TRANSFORMER/DRIVER REQUIRED
THE MATCHING CAST BACKPLATE IS DESIGNED TO BE INSTALLED OVER STANDARD 4" OCTAGONAL JUNCTION BOXES (DIRECT MOUNTING TO WALL). STATED DIMENSIONS ARE FOR REFERENCE PURPOSES ONLY. DUE TO MANUFACTURING TOLERANCES OF SAND-CASTING, THE ACTUAL DIMENSIONS OF EACH PRODUCT MAY DIFFER TO THOSE STATED.

© ORIGINAL BTC
Made in the UK



originalbtc.com

This product is available for specific markets.
Retrofit LED compatible.



1 FLOOR PLAN - BARN
1/4" = 1'-0"

LEGEND

	NEW WALL
	1-HOUR RATED WALL
	STONE PATIO

KEYNOTE LEGEND

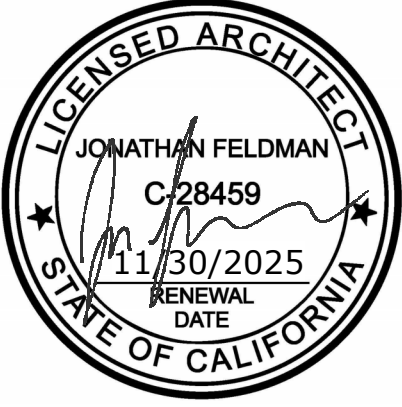
322	DOWNSPOUT
323	EXTERIOR LIGHTING, DOWNWARD SHIELDED

FLOOR PLAN GENERAL NOTES

- PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER 2022 CBC SECTION 1010.1.5, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND .75" AT OUTWARD SWINGING PER 2022 CBC SECTION 1010.1.6. LANDINGS SHALL SLOPE 1/4"/FT MIN. AWAY FROM DOORS.
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- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
- PROVIDE MIN 30" CLR WIDTH @ W.C. AND 24" CLR. FLOOR AREA AT FRONT OF BOWL.
- ANNULAR SPACE AROUND PIPES, ELECTRIC OUTLETS, CONDUITS OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS (2022 CALGREEN 4.406.1)
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Feldman
Architecture

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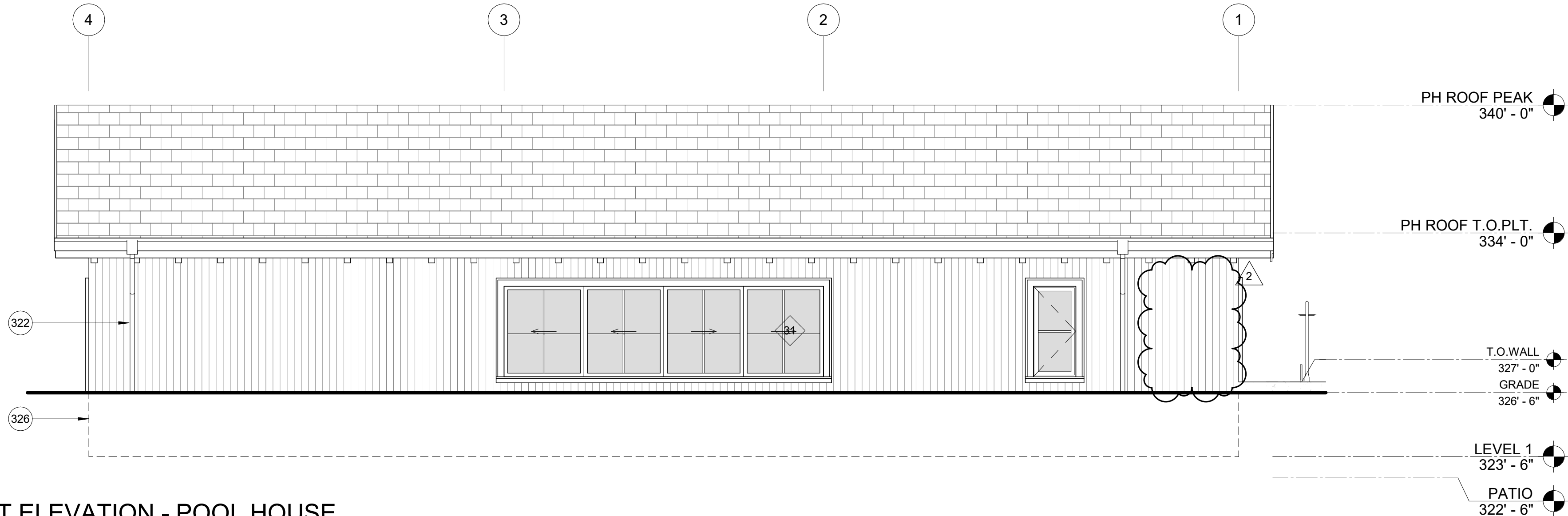
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REVISION 2

date
06.20.2025

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1 VIEWSHED PERMIT REV.1	25.06.13	
2 VIEWSGED PERMIT REV.2	25.06.20	

title
FLOOR PLAN - BARN

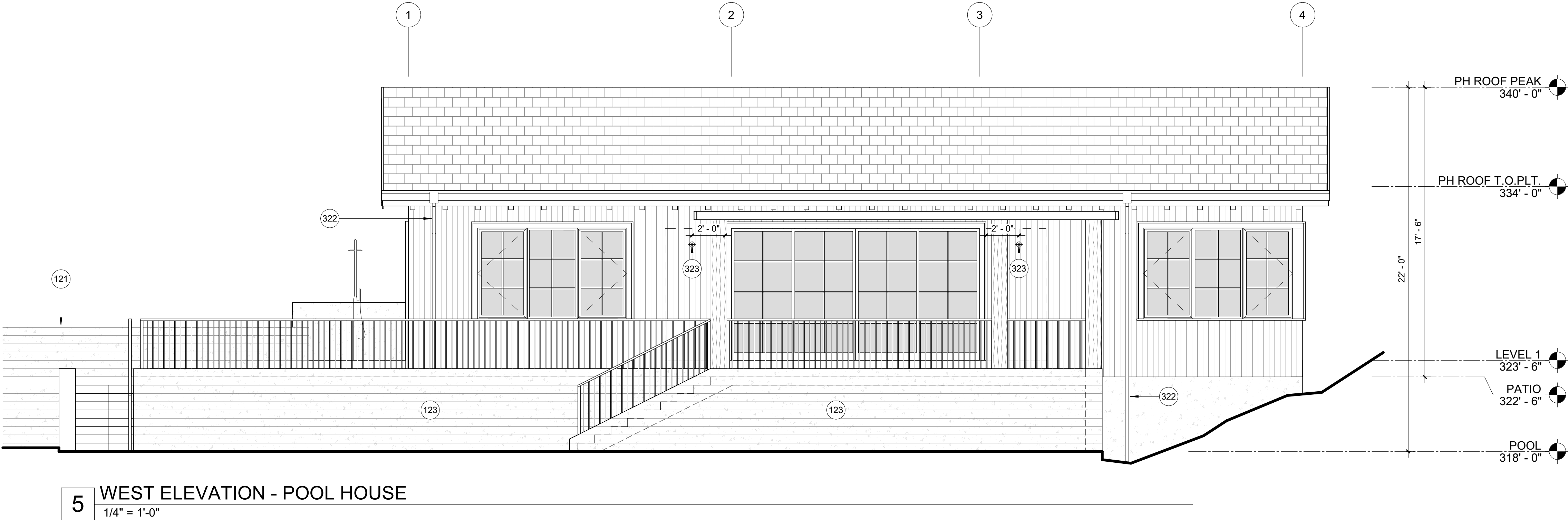
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LEGEND	
	CONCRETE TILE ROOFING
	VERTICAL CEMENTITIOUS SIDING, PTD GARY
	CONCRETE
	GLASS, TYPICAL LOW-E REFLECTIVITY = 10-15% OF VISIBLE LIGHT
	TRELLIS & TRIM, PTD BLACK
	CEMENTITIOUS SHINGLE SIDING, PTD

KEYNOTE LEGEND	
121	(N) RETAINING WALL
123	(E) BOARDFORMED RETAINING WALL
322	DOWNSPOUT
323	EXTERIOR LIGHTING, DOWNWARD SHIELDED
326	STRUCTURE BELOW GRADE

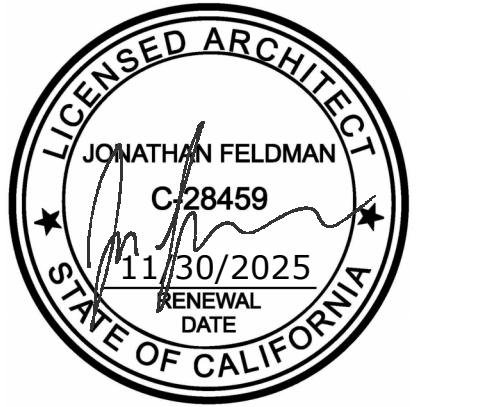
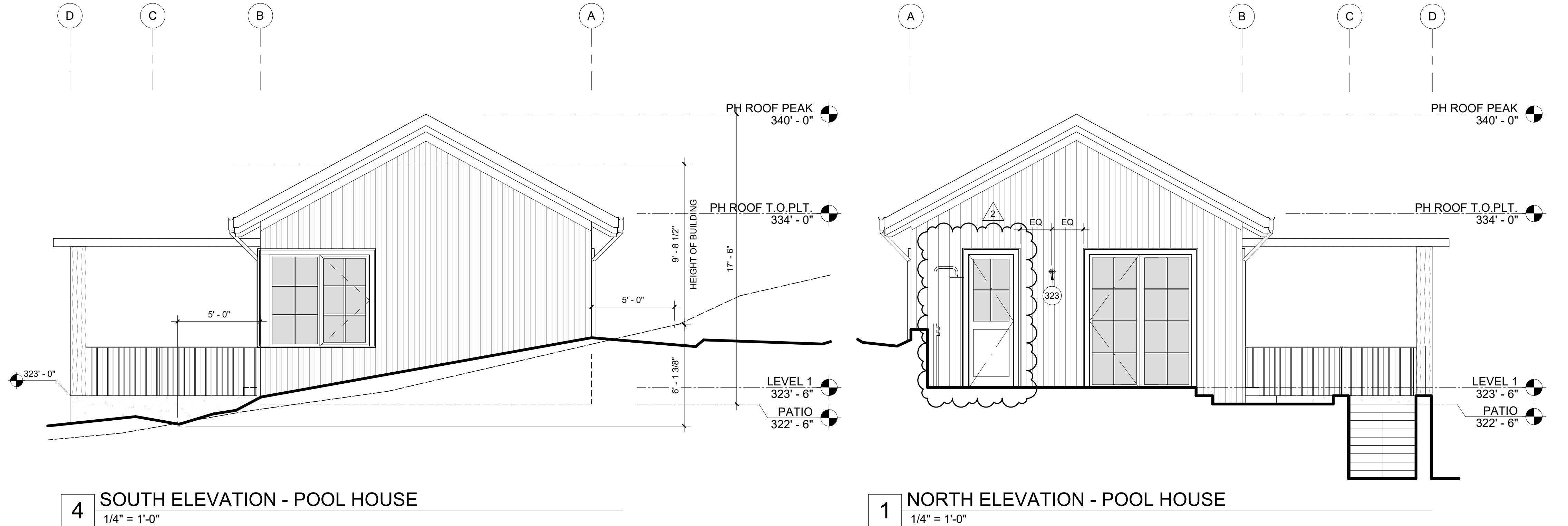
- ELEVATION GENERAL NOTES
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
 - GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.



PAINTED POLY-ASH VERTICAL SIDING
COLOR SIMILAR TO: NAPA COUNTY APPROVED
COLOR PALETTE #424135



GRAY CONCRETE TILE ROOFING



project name
**MARINEAU MILLS
POOL HOUSE**

project address
**4000 SILVERADO TRL N
CALISTOGA, CA 94515**

apn #
021-010-079
client
SEBASTIEN MARINEAU-MES &
EMILY MILLS MARINEAU
fa job #
24-017

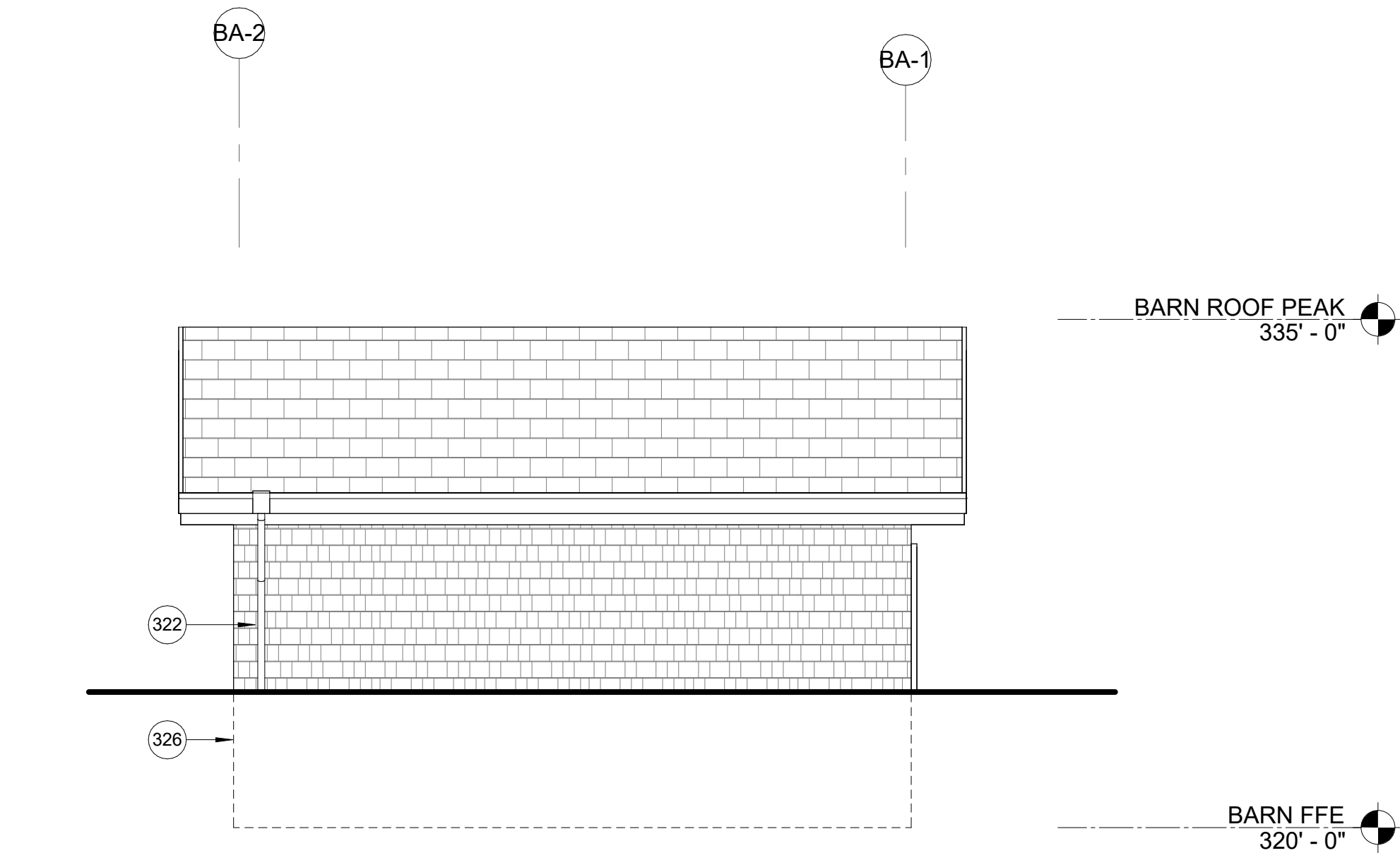
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REVISION 2**

date
06.20.2025

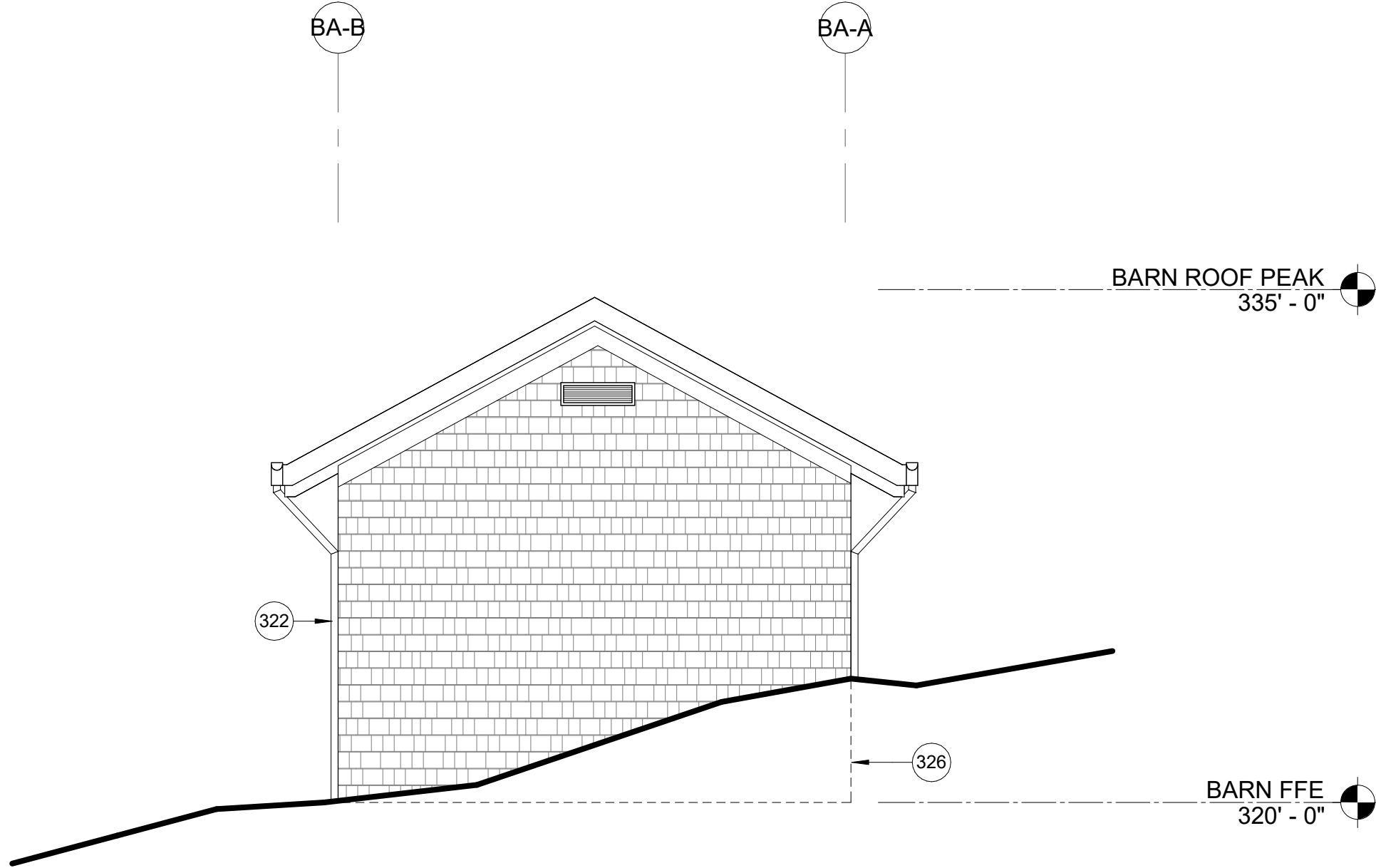
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2	VIEWSGED PERMIT REV.2	25.06.20

title
**EXTERIOR
ELEVATIONS - POOL
HOUSE**

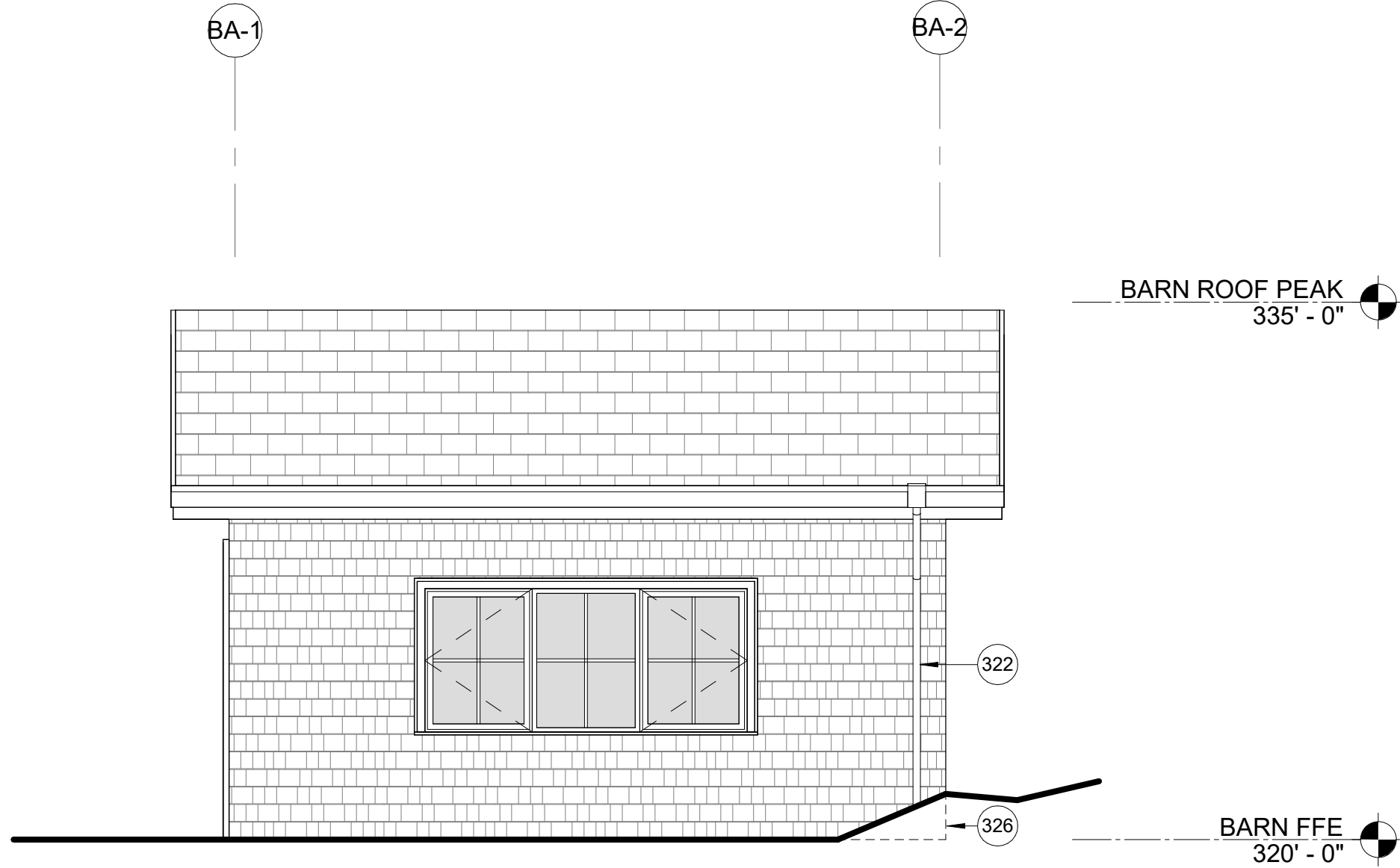
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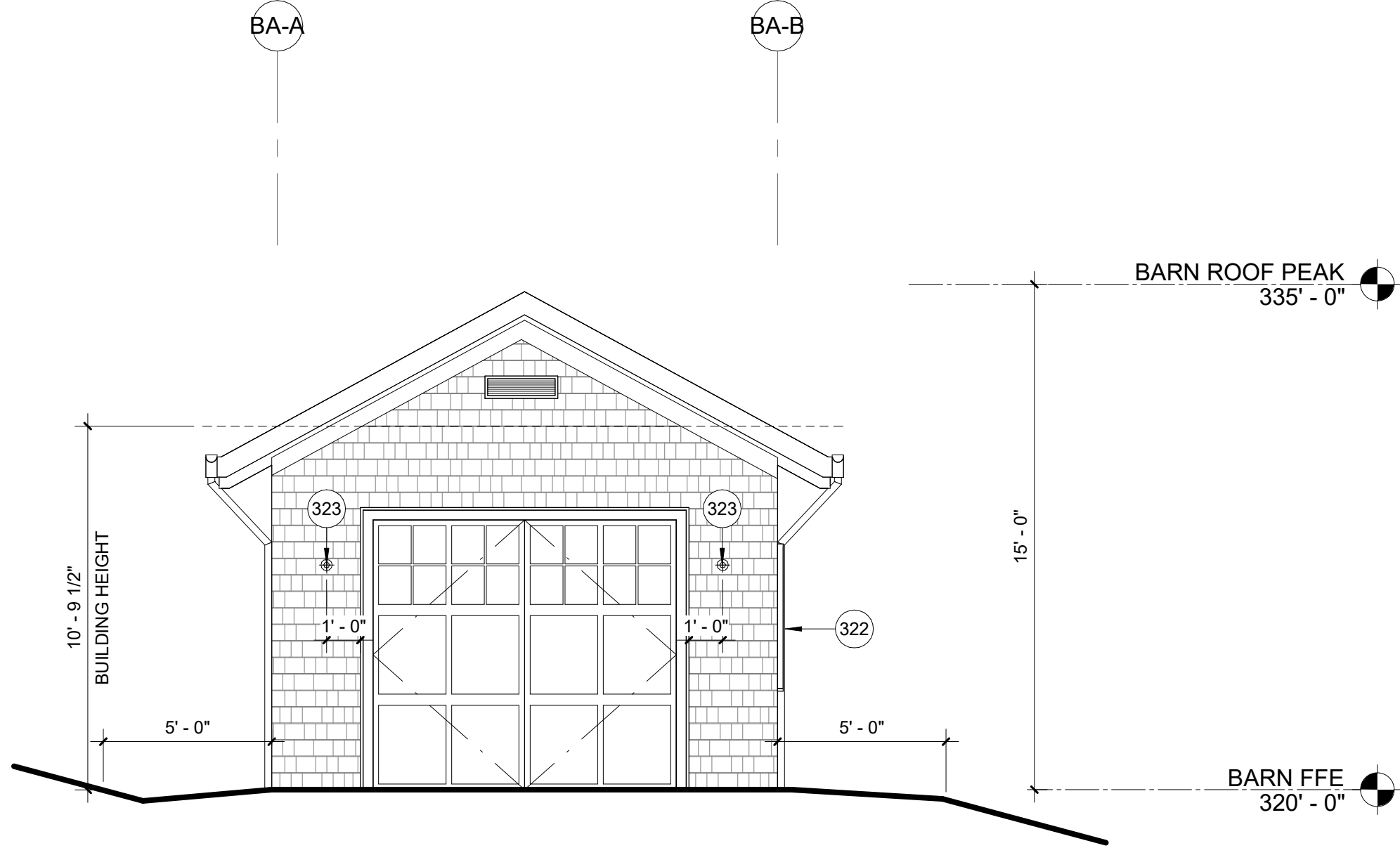
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1/4" = 1'-0"



2 EAST ELEVATION - BARN
1/4" = 1'-0"



3 SOUTH ELEVATION - BARN
1/4" = 1'-0"



1 WEST ELEVATION - BARN
1/4" = 1'-0"

LEGEND

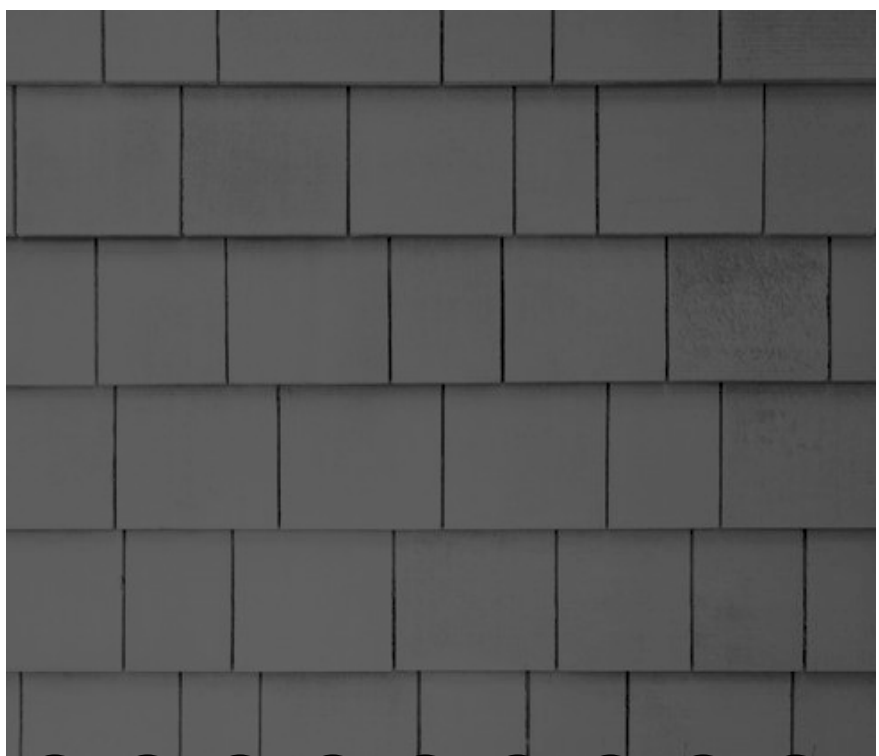
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	VERTICAL CEMENTITIOUS SIDING, PTD GARY
	CONCRETE
	GLASS, TYPICAL LOW-E REFLECTIVITY = 10-15% OF VISIBLE LIGHT
	TRELLIS & TRIM, PTD BLACK
	CEMENTITIOUS SHINGLE SIDING, PTD

KEYNOTE LEGEND

322	DOWNSPOUT
323	EXTERIOR LIGHTING, DOWNWARD SHIELDED
326	STRUCTURE BELOW GRADE

ELEVATION GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
- GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.



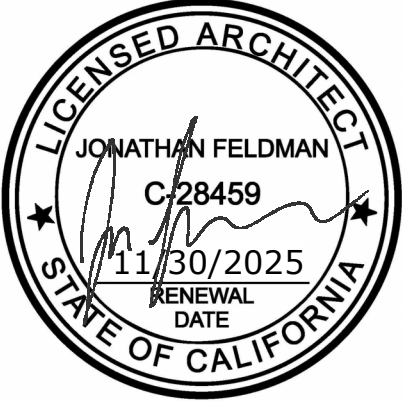
PAINTED SHINGLE SIDING
COLOR SIMILAR TO: NAPA COUNTY APPROVED
COLOR PALETTE #4f4d41



ASPHALT TILE
CERTAINTED LANDMARK SOLARIS GEORGETOWN GRAY

Feldman
Architecture

P 1 (415) 252 1441
F info@feldmanarch.com
W feldmanarchitecture.com



project name
**MARINEAU MILLS
POOL HOUSE**

project address
**4000 SILVERADO TRL N
CALISTOGA, CA 94515**

apn #
021-010-079

client
SEBASTIEN MARINEAU-MES &
EMILY MILLS MARINEAU

fa job #
24-017

0' 2' 4' 8'

issue
**VIEWSHED PERMIT
REVISION 2**

date
06.20.2025

history		
DESC.	DATE	
VIEWSHED PERMIT	25.03.24	
VIEWSHED PERMIT REV.1	25.06.13	
VIEWSGED PERMIT REV.2	25.06.20	

title
**EXTERIOR
ELEVATIONS - BARN**

A3.05
sheet

PLANTING SCHEDULE:

EXISTING TREES TO REMAIN AS VISUAL SCREENING:

SYM	#	Species Name	Common Name	Canopy Height	Canopy Width	DBH
	1	Quercus agrifolia	Coast Live Oak	8'-25'	35'	24"
	2	Quercus agrifolia	Coast Live Oak	8'-30'	30'	24"
	3	Quercus agrifolia	Coast Live Oak	8'-35'	35'	18"

NOTES:

1. No trees are proposed for removal as part of this project.

REPLACEMENT TREES FOR OAKS LOST DUE TO FIRE:

SYM	#	Species Name	Common Name	Size
	4	Quercus agrifolia	Coast Live Oak	48" Box
	5	Quercus agrifolia	Coast Live Oak	48" Box
	6	Quercus agrifolia	Coast Live Oak	48" Box

NOTES:

1. Proposed replacement trees under separate permit, P20-00230.

PROPOSED TREES TO ENHANCE VISUAL SCREENING:

SYM	#	Species Name	Common Name	Size
	7	Quercus agrifolia	Coast Live Oak	48" Box
	8	Quercus agrifolia	Coast Live Oak	48" Box
	14	Quercus agrifolia	Coast Live Oak	48" Box

PROPOSED SHRUBS TO ENHANCE VISUAL SCREENING:

SYM	#	Species Name	Common Name	Size
	15	Prunus ilicifolia ssp. lyoni	Catalina Cherry	15 gal.
	16	Prunus ilicifolia ssp. lyoni	Catalina Cherry	15 gal.

TREE PROTECTION NOTES:

1. Protect existing trees scheduled to remain against injury, compaction of root zone, or injury due to cutting, breaking or skinning of roots, trunks, or branches, smothering by stockpiled or disposal of construction materials, excavated materials or vehicular traffic within drip line of trees.
2. No pruning of existing trees shall be completed without prior approval by the Client. Great care is to be taken in excavation under tree canopies to avoid unnecessary damage to the root system or cutting of major structural roots. If major roots are encountered, the Contractor shall immediately consult with an arborist and notify the Landscape Architect as to the recommended solution.
3. Protect trees to remain with a temporary, wire mesh (cyclone) construction fence, six (6) feet high, wired to nine (9) foot steel stakes, driven two (2) feet minimum into the ground at the location indicated by Landscape Architect.

PLANTING AND MAINTENANCE NOTES:

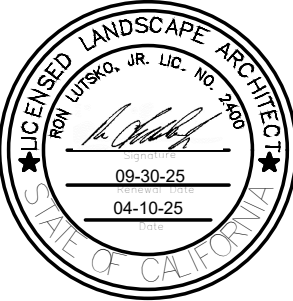
1. New screening trees to be maintained following Napa County's Defensible Space Guidelines.
2. The Ember resistant zone is defined as a noncombustible zone within 5 feet of a structure, using nonflammable landscaping materials and/or approved high-moisture-content annuals and perennials.
3. The Structure Ignition Zone is defined as the area between 5 and 10 feet around the perimeter of the structure that is crucial for wildland fire survival. In this area, only low volume, well-irrigated vegetation should be planted, and extreme care should be taken to keep this area free of all materials that could ignite during or after a flame front.
4. The Reduced Fuel Zone is defined as the area between 30 and 100 feet away from a structure that will remove all surface fuels greater than 4 inches in height. Single specimens of trees, shrubs, or other vegetation may be retained provided they are well-spaced, well-pruned, and create a condition that avoids spread of fire to other fuel types or to a structure.
5. All trees, shrubs, vines, groundcovers, perennials and bulbs shall be kept at optimum growing condition by watering, weeding, replanting, fertilizing, cultivating, repairing stakes and ties, restoring watering basins, spraying for disease and insects, removing and replacing dead or dying materials, pruning as directed, maintaining proper grades at plants, and providing any other reasonable operations of maintenance and protection required for successful completion of the project.

LUTSKO ASSOCIATES
landscape

3295 Mission Street
San Francisco, CA 94110-2002
t: 415.920.2800

Consultant:

Stamp:



Project Name:

**Silverado
Residence**

APN# 021-010-077

**Silverado Trail North,
Napa County, CA**

Sheet Title:

Landscape Plan

Submittal:

Viewshed Permit

Pool House

Viewshed Permit

Date:

11-18-20

03-24-25

Revision:

Rev 1

Rev 2

Date:

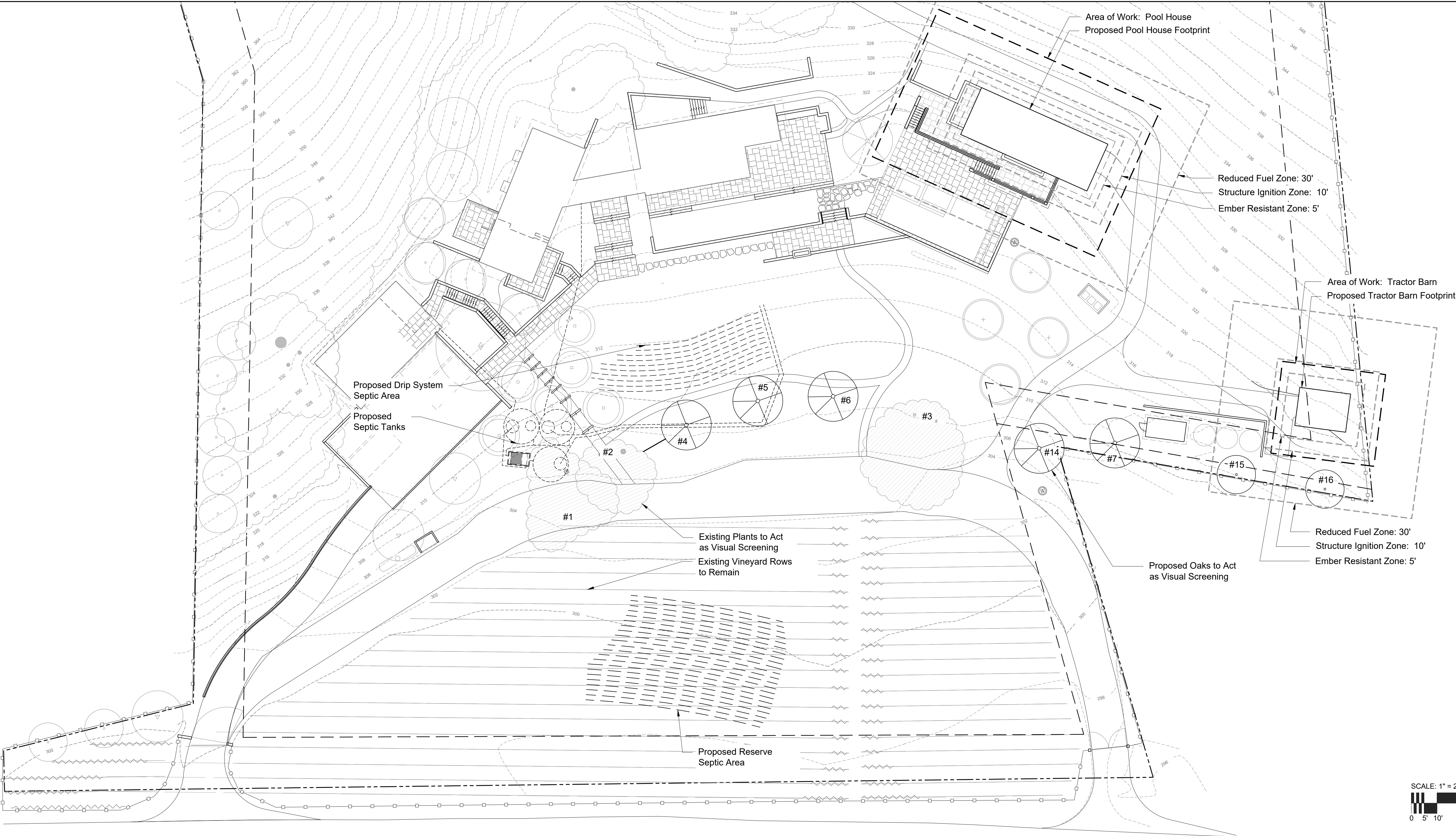
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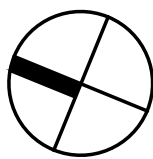
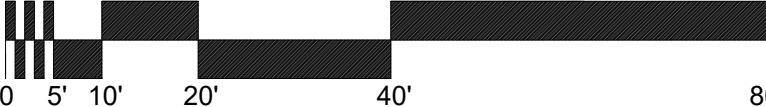
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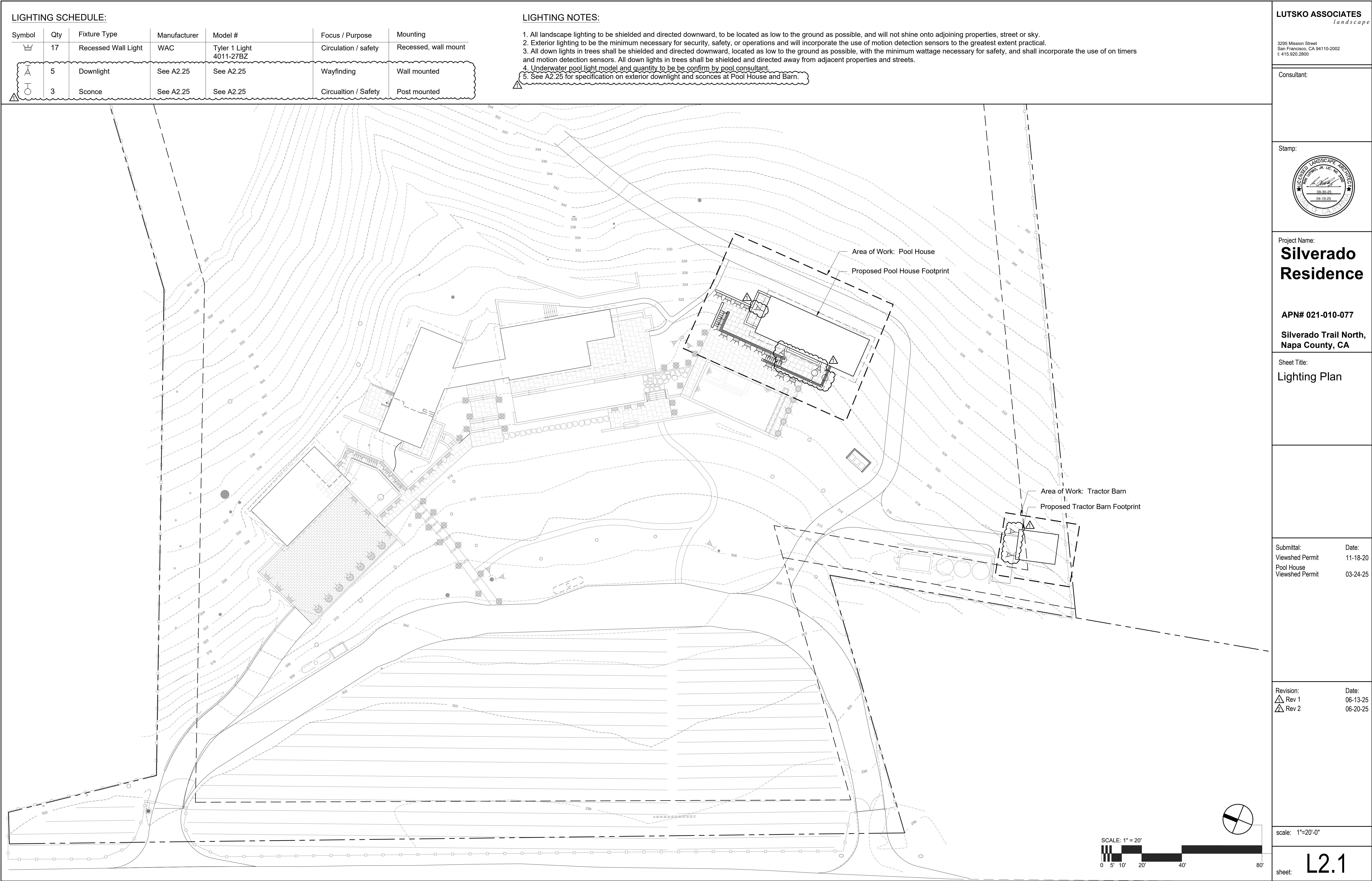
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L1.1



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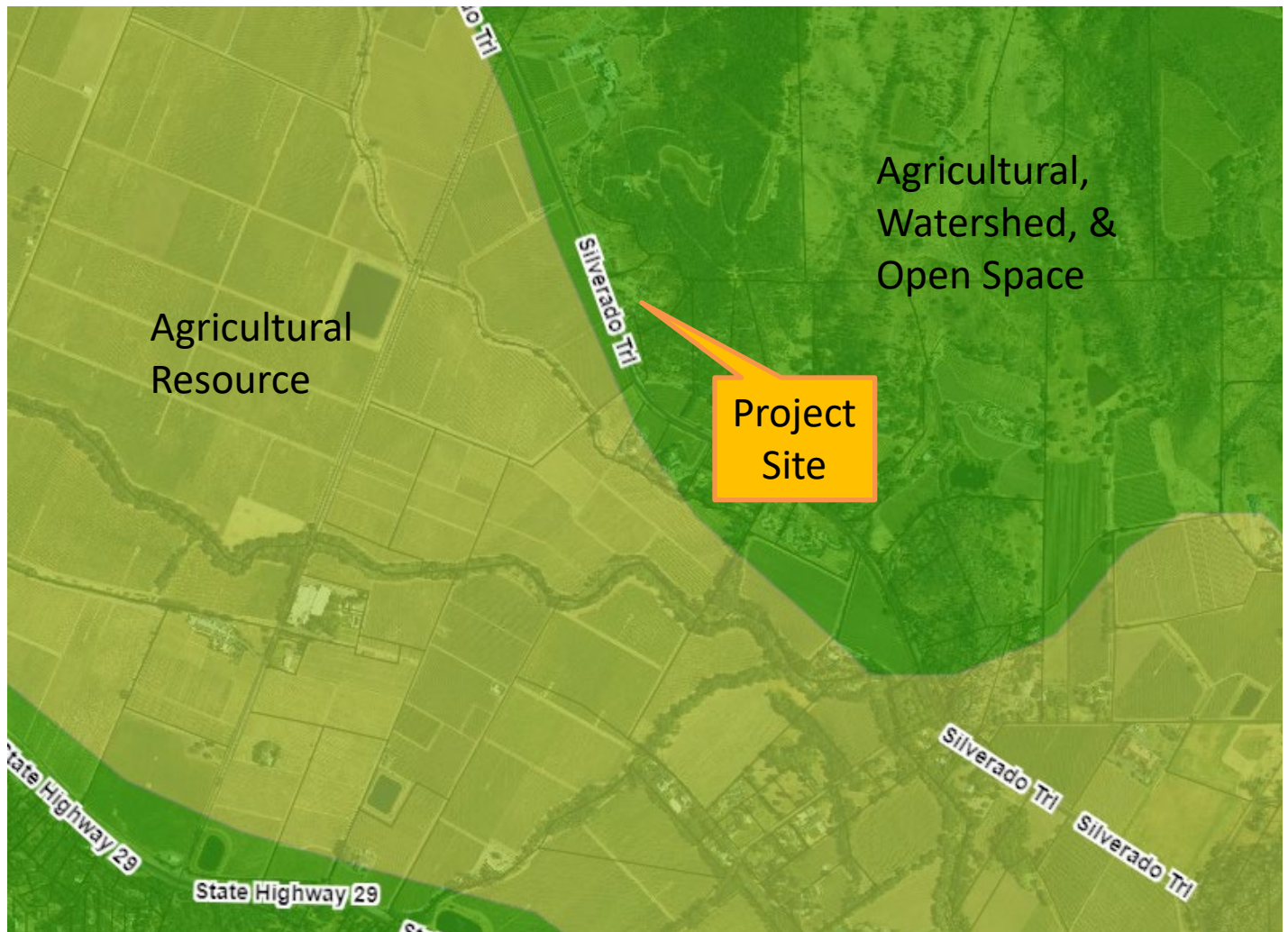




“H”

Graphics

NAPA COUNTY LAND USE PLAN 2008 – 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional

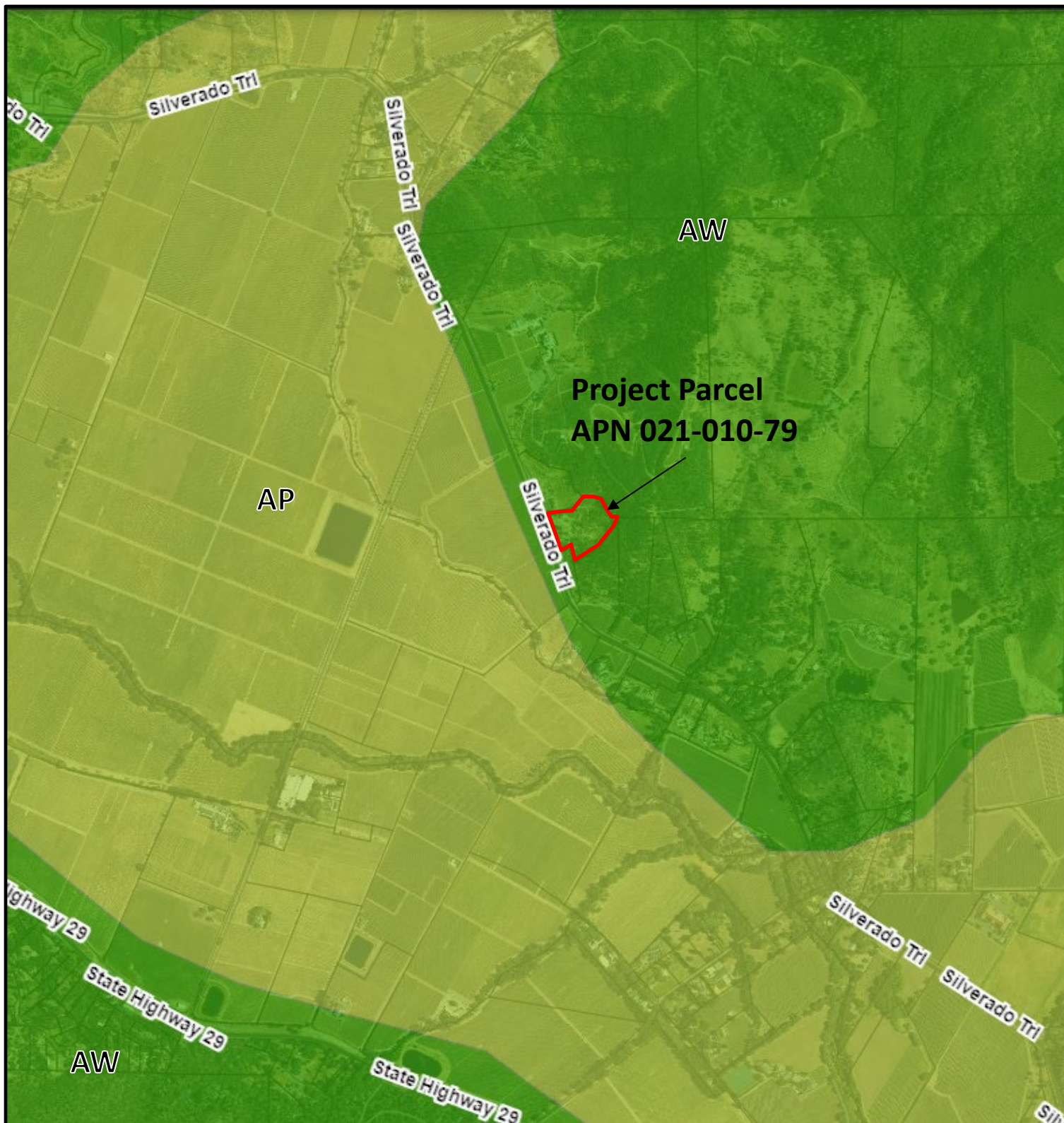
OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations



LEGEND

- Zoning
- Parcels



ZONING MAP



Existing Conditions

“ | ”

2024 Water Availability Analysis -
P22-00212-ECP
(includes original 2022 WAA)

4000 Silverado Trl Viewshed P25-00207
Zoning Administrator Hearing Date (August 27, 2025)

ATTACHMENT 8D:

Sebastien Marineau-Mes Vineyard Water Availability Analysis (WAA)

Includes: Attachment D Form

June 13, 2022

REVISED June 25, 2024

Property Owner:

Sebastien Marineau-Mes
619 Diamond St
San Francisco, CA 94114

Prepared By:

Sarah Pistone, CPESC #9225
HDVine LLC
Santa Rosa, CA 95403

Site Map:

See attached Water Availability Map

Background:

The subject site is located at 4000 Silverado Trail, Calistoga, CA, 94515, APN 021-010-077. Parcel size is 5.67 (based on Adobe Associates, Inc., Lot Line Adjustment Map, May 25, 2021). The parcel contains about $\frac{3}{4}$ ac of existing vineyard. The central portion of the parcel is planned for a residence. The upland portion of the site is steepest at the top (eastern) end. Vegetation was heavily impacted by the 2020 Glass Fire. Soils in the project area are 109, Boomer gravelly loam, volcanic bedrock, which is described as well-drained soils on uplands derived from weathered mixed igneous rocks (HSG=C) [2]. Plant cover is typically Douglas-fir, ponderosa pine, black oak, manzanita, poison oak, and madrone. The closest blue line stream is Dutch Henry Creek, located about 650 ft west of the development area.

The Napa County Electronic Document Retrieval site was reviewed for well log files for the subject site and adjacent parcels within the 500 ft radius. Wells within the 500 ft radius were identified for the neighboring parcel about 440 ft to the north (APN 021-010-076), see WAA Vicinity Map. Many electronic well documents were reviewed for neighboring parcels, but no other wells were identified within the 500 ft radius. Any wells outside the 500 ft radius depicted on the WAA map should be considered *approximate* locations for schematic purposes only.

Parameters of wells pertinent to this project review are summarized in TABLE 1.

TABLE 1 Well Information

APN	Year	Status	WH Elev ft asl	Casing Diam. in	Flow Rate GPM	Annular Seal ft: type	Total Depth ft bg	Screened Interval ft bg
021-010-077	2012	In use "Upper Well" (future vineyard & residence)	318	5	22.5 ¹	0-50: cement	340	200 – 220 and 260 – 340
021-010-077	2001	In use "Lower Well" (existing residence)	303	6	10 ²	0-24: cement	340	120 – 300 and 320 – 340
021-010-076	2014	In use (existing residence)	314	5	13 ³	0-5: cement 5-22: bent. chips	100	30 – 80
¹ Well pump test by Ray's Well Testing Service Inc., 8/11/21 ² Well pump test by McLean & Williams, 8/14/13 ³ Air Lift test at time of drilling by McLean & Williams, 4/10/01								

Due to the proximity of one neighboring well, a review of potential drawdown impacts was conducted. The Water Availability Analysis (WAA) Guidance Document (Adopted May 12, 2015), presents results that show wells pumping less than 30 gpm for periods less than 24-consecutive hours will likely have negligible drawdown at distances beyond 25 ft in a confined aquifer (pg 35).

A recent well test (by Ray's Well Testing Service Inc., 8/11/21) recorded a stabilized flow rate of 22.5 GPM for the subject site's "Upper Well" that is proposed for use in the new vineyard. No irrigation sets would exceed a maximum duration of 8 – 10 consecutive hours in any 24 hr period. As such, the project well meets the criteria stated in the WAA guidance document (pumping less than 30 gpm for less than 24-hrs) and no neighboring wells are less than 25 ft away. Given the construction of the wells on and off-site as well as operating constraints, no measurable drawdown is expected at neighboring wells as a result of project well use parameters.

Overland flow sheets to the west and discharges to the roadside ditch along the eastern side of Silverado Trail. The closest blueline stream is Dutch Henry Creek (notated as Biter Creek on some maps, which merges with Dutch Henry Creek upstream of the project area), located about 650 ft west of the subject site, which is within the 1500 ft radius.

Per the WAA Guidance Document, very low flow wells (up to 10 GPM) may be 500 ft or more away from a surface water channel (see **TABLE 2**). Although the "Upper Well" was tested at 22.5 GPM in 2021, the operational yield of the well will not exceed 3 GPM, based on proposed water uses (see **TABLE 4**).

Furthermore, there are several items which further limit any negative impacts to surface waters:

1. The project well (aka "Upper Well") does not meet the WAA definition of a *moderate to high pumping capacity well* (casing diameter greater than 6 in and capable of producing more than 30 GPM).
2. Annular seal of at least 50 ft
3. Uppermost perforations are 200 ft below grade (100+ ft deeper than recommended)
4. The hydraulic conductivity of the aquifer (ash, volcanic rock) is likely quite low (<0.5 ft/day), which indicates a lower potential zone of influence for the pumping well.

Reference table from WAA Guidance Document included below (**TABLE 2**).

Based on the operational yield of the well and other construction and geological factors, there is not potential for negative impact to surface waters. To further assure low draw on the well, a mechanical flow control valve will be installed, per attached wellhead schematic and flow control valve specification sheet.

TABLE 2 WAA Guidance Document Table, Well Distance Standards and Construction Assumptions; Very low capacity pumping rates (i.e., less than 10 gpm), constructed in unconsolidated deposits in the upper part of the aquifer system (unconfined aquifer conditions).

Aquifer Hydraulic Conductivity (ft/day)	Acceptable Distance from Surface Water Channel			Minimum Surface Seal Depth (feet)	Depth of Uppermost Perforations (feet)
	500 feet	1000 feet	1500 feet		
80	✓			50	100
50	✓			50	100
30	✓			50	100
0.5	✓			50	100

Water Supply Capacity:

The water supply well ("Upper Well") for the proposed new vineyard has a measured flow rate of 22.5 gpm. The proposed use of the well is for a single-family residence, pool, and the new vineyard. The existing vineyard is irrigated by a separate existing well ("Lower Well"). No pond, spring, or surface water use is proposed on-site. All groundwater uses on the parcel are considered in this analysis ("Lower Well" and "Upper Well").

The applicant will plant about 1.09 total acres of vines on a 6 ft x 4 ft spacing, which is the same spacing as the existing vineyard. The same vineyard manager will farm the existing and proposed vineyard, so water use assumptions are the same for all vines. Irrigation estimates are detailed in **TABLE 3** and total on-site groundwater use is summarized in **TABLE 4**.

TABLE 3 CURRENT and FUTURE Vineyard Irrigation Estimates

Variable	Units	Current VB	Future VB	Total VB	
VB net	ac	0.75	1.09	1.84	
row spacing	ft	6		-	
vine spacing	ft	4		-	
Vines per Acre	vines/ac	1815		-	
TOTAL Vines	vines	1,361	1,978	3,340	
long-term	gal/vine/yr	55		-	
establish	gal/vine/yr	75		-	
long-term	af/yr	0.23	0.33	0.56	0.3 af/acre/yr
establish	af/yr	0.31	0.46	0.77	0.4 af/acre/yr

TABLE 4 Total On-Site Groundwater Usage Estimates

	Current Water Use AF/yr	Future Water Use AF/yr	Operation Days	Peak Daily Demand (gal/day)	Operating Yield (GPM)
Residential	-	0.50	140	1,164	0.8
Guest House	-	0.10	140	233	0.2
Pool	-	0.05	140	116	0.1
Landscaping	-	0.43	140	1,001	0.7
Vineyard	0.23	0.56	140	1,312	0.9
Total	0.23	1.64		3,826	2.7

Future vineyard usage assumes a covered pool and about ½ ac of landscaping. Current water usage is estimated at 0.23 AF/yr with a total future water usage of about 1.64 AF/yr (**TABLE 4**). The “Lower Well” (10 GPM) and “Upper Well” (22.5 GPM), which are equivalent to about 16 AF/yr and 36 AF/yr, respectively, have more than enough capacity to support the proposed irrigation and domestic water uses for the site. As a conservative measure, storage was not considered and a 140 operation days were assumed for all water usages, which will inflate the estimated peak daily demand and operational yield of the well. As such, the yield to support all proposed water uses on-site is less than 3 GPM.

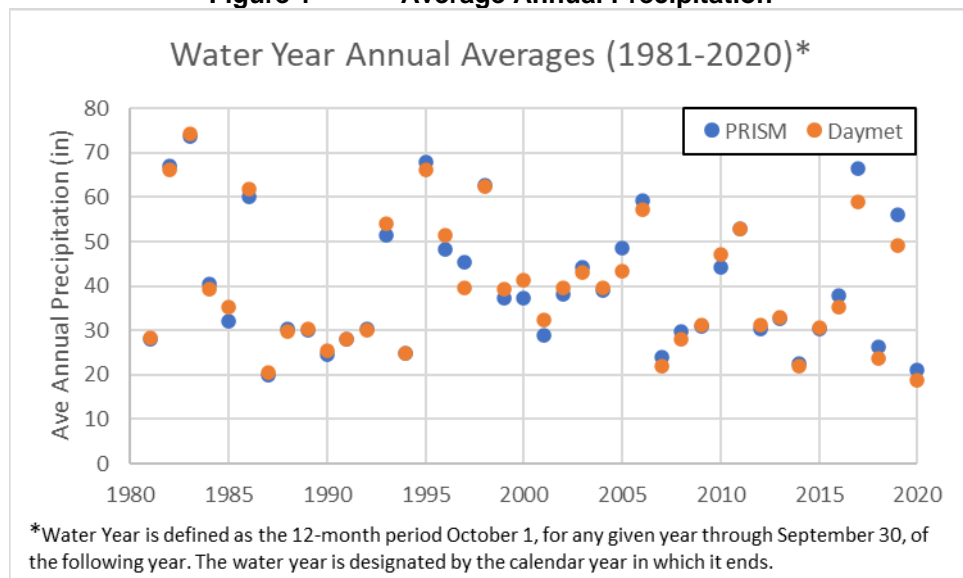
Aquifer Recharge:

Recharge was based on a parcel analysis where the proposed project is to be installed (APN 021-010-077, 5.67 ac). The property is zoned “AW” and the project area is located fully within the “Valley Floor” region. Following the Napa BOS determination in spring 2022, all Napa Valley regions must adhere to a 0.3 AF/ac/yr limitation on water use. For this project, the 5.67 ac parcel results in a 1.7 AF/ac/yr allotment.

Recharge based on precipitation data used rainfall data downloaded from DayMet [4] and PRISM [3] for the pixel that contained the subject site from 1980 to 2021 (Figure 1). Annual averages were calculated based on the “Water Year”, which is defined by the USGS as the 12-month period October 1, for any given year through September 30, of the following year. The water year is designated by the calendar year in which it ends. The Water Year was chosen for this methodology based on two primary reasons:

1. From a Hydrologic Perspective, it makes sense to use water years (Oct – Sep), rather than calendar years, since it represents the accumulation of precipitation in a given rainy season. Similarly, the water year also represents precipitation that is available for recharge preceding the irrigation season.
2. From a practical perspective, in the Napa Valley Region, the water year data would be mostly complete at the start of the irrigation season (typ. May-Sep), since precipitation during the latter months of the water year is not typical. One would have data from the preceding rainy season, and may be able to make irrigation adjustments accordingly, whereas the calendar year precipitation data would obviously be incomplete.

Figure 1 Average Annual Precipitation



Based on available data, the most recent 10-yr's of data from PRISM and DayMet were used to calculate average precipitation as well as maximum and minimum precipitation.

TABLE 5 Average Annual Precipitation based on Water Year

Water Year	PRISM in	DayMet in
2011	53	53
2012	30	31
2013	33	33
2014	23	22
2015	30	31
2016	38	35
2017	66	59
2018	26	24
2019	56	49
2020	21	19
AVE	37	
MAX	66	
MIN	19	

Average Water Year rainfall across both datasets was 37 in/yr. A recharge volume was calculated for the parcel based on the property acreage (5.67 acres) and an infiltration rate of 14%, based on results for the “Napa River at St Helena Watershed” region, in which the subject site is located [5].

$$(5.67 \text{ acres}) * (37 \text{ in/yr}) * (\text{ft}/12 \text{ in}) * (14\%) = \underline{2.45 \text{ AF/yr}}$$

Total future groundwater usage (including future residential development and future vineyard) is about 1.64 AF/yr (**TABLE 4**), which results in a net positive water balance of about 0.8 AF/yr.

No alternative water sources are required for this project.

References:

1. *Custom Soil Resource Report for Napa County, California*, Sebastien Marineau-Mes, from USDA NRCS Web Soil Survey, May 2022
2. Lambert, G., Kashiwagi, J. et al., Soil Survey of Napa County, California, USDA in cooperation with UC Agricultural Experiment Station, August 1978
3. *PRISM Time Series Data by Location*, <https://prism.oregonstate.edu/explorer/>
4. Thornton, M.M.; R. Shrestha; Y. Wei; P.E. Thornton; S. Kao; and B.E. Wilson. 2020. Daymet: Daily Surface Weather Data on a 1-km Grid for North America; Version 4. ORNL DAAC; Oak Ridge; Tennessee; USA. <https://daymet.ornl.gov/single-pixel/>
5. Updated Hydrogeologic Conceptualization and Characterization of Conditions, Prepared for Napa County, by Luhdorff & Scalmanini Consulting Engineers & MBK Engineers, January 2013
6. USGS California Department of Water Resources and CA Division of Mines map and information sources from 1900-1960, isohyetal_cnty.shp from Napa County GIS Data Catalog.

Attachments:

WAA Vicinity Map
Attachment D, form
Wellhead Schematic
Flow Control Valve Specification Sheet
"Upper Well" Flow Test and Well Log
"Lower Well" Flow Test and Well Log
"Neighbor Well", 021-010-076 Well Log

ATTACHMENT 8D:**Sebastien Marineau-Mes Vineyards
Water Availability Analysis (WAA)**

*Includes: Attachment D Form
June 3, 2022*

Property Owner:

Sebastien Marineau-Mes
619 Diamond St
San Francisco, CA 94114

Prepared By:

Sarah Pistone, CPESC #9225
HDVine LLC
2778 Royal Oak Pl
Santa Rosa, CA 95403

Site Map:

See attached Water Availability Map

Background:

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Parameters of wells pertinent to this project review are summarized in

TABLE 1.

TABLE 1 Well Information								
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Overland flow sheets to the west and discharges to the roadside ditch along the eastern side of Silverado Trail. The closest blueline stream is Dutch Henry Creek (aka Biter Creek, which merges with Dutch Henry Creek upstream of the project area), located about 650 ft west of the subject site, which is within the 1500 ft radius. Per the WAA Guidance Document, potential impacts to nearby surface waters were evaluated. There are several items which support a lesser distance from the surface channel, since there is a low likelihood of any negative impacts to surface waters:

1. The project well (aka "Upper Well") does not meet the WAA definition of a *moderate to high pumping capacity well* (casing diameter greater than 6 in and capable of producing more than 30 GPM).
2. Annular seal of at least 50 ft
3. Uppermost perforations are 100+ ft deeper than recommended
4. The hydraulic conductivity of the aquifer (ash, volcanic rock) is likely quite low (<0.5 ft/day), which indicates a lower potential zone of influence for the pumping well.

Reference table from WAA Guidance Document included below (TABLE 2).

TABLE 2 WAA Guidance Document Table, Well Distance Standards and Construction Assumptions; Low capacity pumping rates (i.e., between 10 gpm and 30 gpm), constructed in unconsolidated deposits in the upper part of the aquifer system (unconfined aquifer conditions).

Aquifer Hydraulic Conductivity (ft/day)	Acceptable Distance from Surface Water Channel			Minimum Surface Seal Depth (feet)	Depth of Uppermost Perforations (feet)
	500 feet	1000 feet	1500 feet		
80			✓	50	150
50			✓	50	150
30			✓	50	100
0.5		✓		50	100

Water Supply Capacity:

The water supply well (“Upper Well”) for the proposed new vineyard has a measured flow rate of 22.5 gpm. The proposed use of the well is for a single-family residence, pool, and the new vineyard. The existing vineyard is irrigated by a separate existing well (“Lower Well”). No pond, spring, or surface water use is proposed on-site. All groundwater uses on the parcel are considered in this analysis (“Lower Well” and “Upper Well”).

The applicant will plant about 1.29 total acres of vines on a 6 ft x 4 ft spacing, which is the same spacing as the existing vineyard. The same vineyard manager will farm the existing and proposed posed vineyard, so water use assumptions are the same for all vines. Irrigation estimates are detailed in **TABLE 3** and total on-site groundwater use is summarized in **TABLE 4**.

TABLE 3 CURRENT and FUTURE Vineyard Irrigation Estimates

Variable	Units	Current VB	Future VB	Total VB		
VB net	ac	0.75	1.29	2.04		
row spacing	ft	6		-		
vine spacing	ft	4		-		
Vines per Acre	vines/ac	1815		-		
TOTAL Vines	vines	1,361	2,341	3,703		
long-term	gal/vine/yr	60		-		
establish	gal/vine/yr	80		-		
long-term	af/yr	0.3	0.4	0.7	0.3	af/acre/yr
establish	af/yr	0.3	0.6	0.9	0.4	af/acre/yr

TABLE 4 Total On-Site Groundwater Usage Estimates

	Current AF/yr	Future AF/yr
Residential	-	0.50
Pool	-	0.05
Landscaping	-	0.75
Vineyard	0.25	0.68
Total	0.25	1.98

Future vineyard usage assumes a covered pool and about ½ ac of landscaping. Current water usage is estimated at 0.25 AF/yr with a total future water usage of about 1.98 AF/yr (**TABLE 4**). The “Lower Well” (10 GPM) and “Upper Well” (22.5 GPM), which are equivalent to about 16 AF/yr and 36 AF/yr, respectively, have more than enough capacity to support the proposed irrigation and domestic water uses for the site.

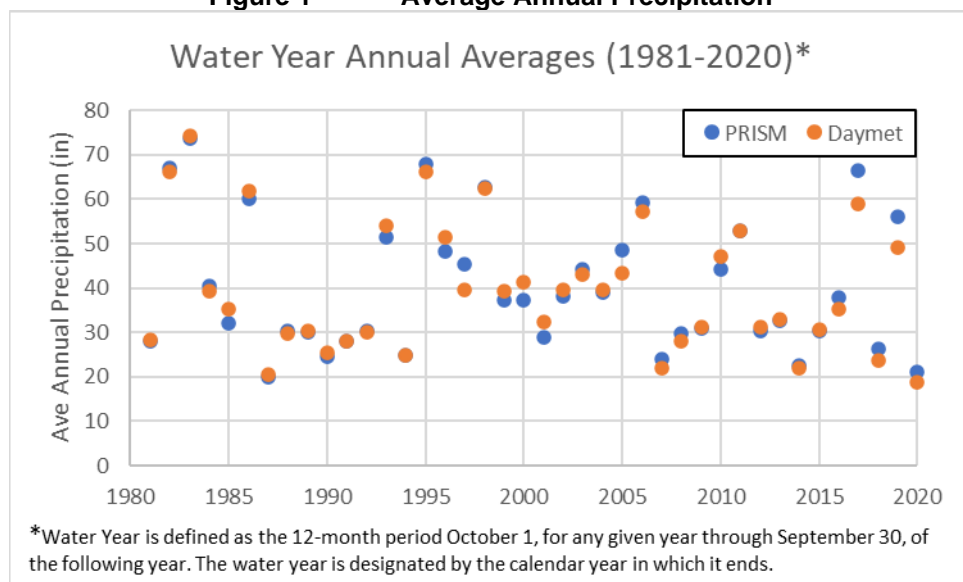
Aquifer Recharge:

Recharge was based on a parcel analysis where the proposed project is to be installed (APN 021-010-077, 5.67 ac). The property is zoned “AW” and the project area is located fully within the “Valley Floor” region for a Parcel Location Factor of 1.0 AF/ac/yr, which results in a water allotment of 5.67 AF/yr.

Recharge based on precipitation data used rainfall data downloaded from DayMet [4] and PRISM [3] for the pixel that contained the subject site from 1980 to 2021 (Figure 1). Annual averages were calculated based on the “Water Year”, which is defined by the USGS as the 12-month period October 1, for any given year through September 30, of the following year. The water year is designated by the calendar year in which it ends. The Water Year was chosen for this methodology based on two primary reasons:

1. From a Hydrologic Perspective, it makes sense to use water years (Oct – Sep), rather than calendar years, since it represents the accumulation of precipitation in a given rainy season. Similarly, the water year also represents precipitation that is available for recharge preceding the irrigation season.
2. From a practical perspective, in the Napa Valley Region, the water year data would be mostly complete at the start of the irrigation season (typ. May-Sep), since precipitation during the latter months of the water year is not typical. One would have data from the preceding rainy season, and may be able to make irrigation adjustments accordingly, whereas the calendar year precipitation data would obviously be incomplete.

Figure 1 Average Annual Precipitation



Based on available data, the most recent 10-yrns of data from PRISM and DayMet were used to calculate average precipitation as well as maximum and minimum precipitation.

TABLE 5 Average Annual Precipitation based on Water Year

Water Year	PRISM in	DayMet in
2011	53	53
2012	30	31
2013	33	33
2014	23	22
2015	30	31
2016	38	35
2017	66	59
2018	26	24
2019	56	49
2020	21	19
AVE	37	
MAX	66	
MIN	19	

Average Water Year rainfall across both datasets was 37 in/yr. A recharge volume was calculated for the parcel based on the property acreage (5.67 acres) and an infiltration rate of 14%, based on results for the “Napa River at St Helena Watershed” region, in which the subject site is located [5].

$$(5.67 \text{ acres}) * (37 \text{ in/yr}) * (\text{ft}/12 \text{ in}) * (14\%) = \underline{2.45 \text{ AF/yr}}$$

Total future groundwater usage (including future residential development and future vineyard) is about 1.98 AF/yr (**TABLE 4**), which results in a net positive water balance of about 0.5 AF/yr.

Drought years are included in average precipitation of 37 in/yr, with the lowest value in the past 10 years in water year 2020 (19 in/yr). Annual rainfall would have to drop below 16 in/yr to result in a net neutral water balance for this project site. In a scenario where precipitation falls below 30 in/yr then irrigation water would be curtailed accordingly, for example using the 2020 data:

$$(5.67 \text{ acres}) * (19 \text{ in/yr}) * (\text{ft}/12 \text{ in}) * (14\%) = \underline{1.3 \text{ AF/yr}}$$

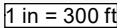
As such, landscaping and vineyard irrigation could be curtailed to a total of 0.75 AF/yr to result in a net neutral water balance. The reduced water usage is reasonable from a vineyard management perspective. The Napa County Form D, “Phase I Water Availability Analysis” references vineyard irrigation usage down to 0.2 AF/acre/year, which would result in 0.4 AF/yr for vineyard and 0.35 AF/yr for landscaping. Please note that all future residential water uses are estimated as final construction plans are in process. No alternative water sources are required for this project. Recharge calculations for the parcel are the primary constraint for this project; groundwater usage is well below the calculated Water Allotment for the subject site (5.67 AF/yr).

References:

1. *Custom Soil Resource Report for Napa County, California*, Sebastien Marineau-Mes, from USDA NRCS Web Soil Survey, May 2022
2. Lambert, G., Kashiwagi, J. et al., *Soil Survey of Napa County, California*, USDA in cooperation with UC Agricultural Experiment Station, August 1978
3. *PRISM Time Series Data by Location*, <https://prism.oregonstate.edu/explorer/>
4. Thornton; M.M.; R. Shrestha; Y. Wei; P.E. Thornton; S. Kao; and B.E. Wilson. 2020. Daymet: Daily Surface Weather Data on a 1-km Grid for North America; Version 4. ORNL DAAC; Oak Ridge; Tennessee; USA. <https://daymet.ornl.gov/single-pixel/>
5. Updated Hydrogeologic Conceptualization and Characterization of Conditions, Prepared for Napa County, by Luhdorff & Scalmanini Consulting Engineers & MBK Engineers, January 2013
6. USGS California Department of Water Resources and CA Division of Mines map and information sources from 1900-1960, isohyetal_cnty.shp from Napa County GIS Data Catalog.

Attachments:

WAA Vicinity Map
 Attachment D, form
 "Upper Well" Flow Test and Well Log
 "Lower Well" Flow Test and Well Log
 Neighbor, 021-010-076 Well Log



2778 Royal Oak Pl, Santa Rosa, CA 95403
www.HDVine.com
707-533-3511

Drawn by: Sarah Pistone, CPESC #9225

Date: 6/3/22

File: ...Sebastien A WAA.mxd

Attachment D

PHASE I WATER AVAILABILITY ANALYSIS

File #: P _____ - _____ Owner: Sebastien Marineau-Mes Parcel #: 021 - 010 - 077

This form is intended to help those who must prepare a Phase I Water Availability Analysis. **The Department will not accept an analysis that is not on this form.**

BACKGROUND: A Phase I Water Availability Analysis is done in order to determine what changes in water use will occur on a property as a result of the project. Staff uses this information to determine whether the project may have a adverse effect on groundwater levels. If it may, additional information will be required. You will be advised if additional information is needed.

PERSONS QUALIFIED TO PREPARE: Any person that can provide the needed information

PROCEDURE:

STEP 1: Prepare and attach to this form an 8-1/2"x11" site plan of your parcel(s) with the locations of all structures, gardens, vineyards, etc in which well water will be used shown

STEP 2: Determine the allowable groundwater use allotment for your parcel(s).

Total size of parcel(s)	<u>5.67</u>	acre(s)
Multiply by parcel location factor	x <u>1.0</u>	acre-foot per acre per year (see back)
Allowable groundwater allotment	= <u>5.67</u>	acre-foot per year

STEP 3: Determine the estimated water use for all vineyards on your parcel(s) currently and after the planned conversion; actual water usage figures may be substituted for the current usage estimate (please indicate if this is done). Estimate future use for both the vineyard establishment period and thereafter

Current Usage:

Number of <u>planted</u> acres	<u>0.75</u>	acres
Multiply by number of vines/acre	x <u>1,815</u>	vines per acre
Multiply by gallons/vine/year	x <u>60</u>	gallons of water per vine per year
Divide by 325,821 gallons/af	= <u>0.25</u>	af of water per yr used for vineyard irrigation

Future Usage:

Number of <u>planted</u> acres	(NEW) <u>2.04</u>	acres (7.3 ac > 5%; 0.75 ac <5%)
Multiply by number of vines/acre	x <u>1,815</u>	vines per acre
Multiply by gallons/vine/year	x <u>60</u>	gallons of water per vine per year (long-term)
	<u>80</u>	gallons of water per vine per year (establish)
Divide by 325,821 gallons/af	= <u>0.68</u>	af of water per yr used (vineyard long-term)
	<u>0.91</u>	af of water per yr used (vineyard establish)

STEP 4: Using the guidelines on the next page, actual water usage figures, and/or detailed water use projections, tabulate the existing and projected future water usage on the parcel(s) in acre-foot per year (af/yr) {1 af = 325,821 gallons}.

Existing Usage:

Residential	_____	af/yr
Farm Labor Dwelling	_____	af/yr
Winery	_____	af/yr
Commercial	_____	af/yr
Vineyard(long-term)	<u>0.25</u>	af/yr

Future Usage:

Residential	<u>0.50</u>	af/yr
Farm Labor Dwelling	_____	af/yr
Winery	_____	af/yr
Commercial	_____	af/yr
Vineyard(long-term)	<u>0.68</u>	af/yr

	(establish)	_____af/yr
Other Agriculture	_____af/yr	
Landscaping	_____af/yr	
Other Usage	_____af/yr	
TOTAL	0.5	af/yr

	(establish)	_____af/yr
Other Agriculture	_____af/yr	
Landscaping	0.75	af/yr
Other Usage	0.05	af/yr
TOTAL	1.98	af/yr

STEP 5: Attach all supporting information that may be significant to this analysis including but not limited to all water use calculations for the various uses listed

Parcel Location Factors

The allowable allotment of water is based on the location of your parcel. Valley floor areas include all locations on the floor of the Napa Valley and Carneros Basin except for groundwater deficient areas. Groundwater deficient areas are areas that have been determined by the Department of Public Works as having a history of problems with groundwater. All other areas are classified as Mountain Areas. Public Works can assist you in determining your classification.

Parcel Location Factors

Valley Floor	1.0 acre foot per acre per year
Mountain Areas	0.5 acre foot per acre per year
Groundwater Deficient Area (MST)	0.3 acre foot per acre per year

Guidelines For Estimating Water Usage:

Residential:

Single Family Residence	0.5 acre-foot per year
Farm Labor Dwelling	1.0 acre-foot per year (6 people)
Second Unit	0.4 acre-foot per year
Guest Cottage	0.1 acre-foot per year

Winery:

Process Water	2.15 acre-foot per 100,000 gal. of wine
Domestic and Landscaping	0.50 acre-foot per 100,000 gal. of wine

Commercial:

Office Space	0.01 acre-foot per employee per year
Warehouse	0.05 acre-foot per employee per year

Agricultural:

Vineyards	
Irrigation only	0.2 to 0.5 acre-foot per acre per year
Heat Protection	0.25 acre foot per acre per year
Frost Protection	0.25 acre foot per acre per year
Irrigated Pasture	4.0 acre-foot per acre per year
Orchards	4.0 acre-foot per acre per year
Livestock (sheep or cows)	0.01 acre-foot per acre per year

Landscaping:

Landscaping	1.5 acre-foot per acre per year
-------------	---------------------------------



Ray's Well Testing Service Inc.
 4853 Vine Hill Rd, Sebastopol Ca 95472
Phone 707 823 3191 **Fax** 707 317 0057 **Lic#** 903708

"Upper Well"

CUSTOMER INFORMATION

REPORT #: 8/11/21 By: Nick Brasesco	DATE OF TEST: 8/11/21
CUSTOMER NAME: Sebastien Marineau	CONTACT:
AGENT NAME:	CONTACT:
PROPERTY ADDRESS: 4000 Silverado Trail N, Calistoga Ca 94515	SENT TO: sebastien.marineau@gmail.com

WELL DATA

LOCATION OF WELL:	Upper Well
TYPE OF WELL:	Drilled
DEPTH OF COMPLETED WELL:	330 Feet. Per Pump Installer Records.
DIAMETER OF WELL CASING:	5" PVC
SANITARY WELL SEAL (PLATE SEAL AT OPENING OF WELL CASING):	Yes
ANNULAR SEAL (IN-GROUND SEAL OF BOREHOLE):	Unknown - Please Refer to well log
PUMP HP AND TYPE:	3 HP 230V 3PH Submersible, 1.5" tee, #8-4 cable, 18GS30
DEPTH OF PUMP SUCTION:	301 Feet. Per Pump Installer Records.

WATER PRODUCTION RESULTS

WATER LEVEL AT START (STATIC LEVEL):	37.2 Feet	FLOW RATE AT START:	25 GPM
FINAL PUMPING LEVEL:	75.2 Feet	FINAL FLOW RATE:	22.5 GPM
WATER LEVEL DRAWDOWN:	38 Feet	TOTAL LENGTH OF TEST:	2 Hours

CONSTANT PUMPING LEVEL INFORMATION

STABILIZED PUMPING LEVEL:	75.2 Feet	STABILIZED FLOW RATE (YIELD):	22.5 GPM
DURATION OF CONSTANT PUMPING LEVEL:	1 Hour	TOTAL YIELD:	1350 gallons

WATER SYSTEM INSPECTION

WELL PUMP	Functional	TECHNICAL INFO: 18GS30 . 9.3 Amps. Yaskawa Variable speed Pump Controller
ELECTRICAL	Functional	TECHNICAL INFO: 30 amp breaker
PRESSURE TANK	None	TECHNICAL INFO:
STORAGE TANK	None	TECHNICAL INFO:
BOOSTER PUMP	None	TECHNICAL INFO:

WATER QUALITY TESTING

THE FOLLOWING SAMPLES ARE BEING ANALYZED. PLEASE REFER TO FOLLOW-UP REPORT FOR RESULTS.		
Refer to Imboden Pump	DATED: -	TURNAROUND: -
	DATED:	TURNAROUND:
	DATED:	TURNAROUND:
	DATED:	TURNAROUND:

SEE NEXT PAGE FOR FURTHER INFORMATION...

DATE: 8/11/21

"Upper Well"

ADDRESS: 4000 Silverado Trail N, Calistoga Ca 94515

COMMENTS:

1. The recharge rate at the end of the test was 22.5 gallons per minute. This test may not represent the long term or seasonal yield.
2. The well pump was operated on temporary power during testing.

RECOMMENDATIONS:

PUMPING LOG:

Time:	Water Level:	Appearance	Sand	GPM
10:30AM	37.2'	Cloudy	No	25
10:40AM	65.2'	Clear	No	25
10:45AM	67.4'	Clear	No	25
11:00AM	71.4'	Clear	No	25
11:15AM	73.7'	Clear	No	25
11:30AM	75.2'	Clear	No	23
11:45AM	75.2'	Clear	No	22.5
12:15PM	75.2'	Clear	No	22.5
12:30PM	75.2'	Clear	No	22.5

Thank you for allowing us to do your well inspection!

APPROVED BY: NICK BRASESCO



Water levels and well depth are measured as feet below top of well casing unless otherwise noted.

All wells and springs are subject to seasonal and yearly changes in regards to water yield, production and quality. Wells may be influenced by creeks or other water sources and are likely to yield less water during dry months of the year; typically August, September, & October. We make no predictions of future water production or water quality.

This report is for informational use only and is in lieu of and supercedes any other representation or statements of the agent or employee of the company, and all other such representations or statements shall be relied upon at the customer's own risk. The data and conclusions provided herein are based upon the best information available to the company using standard and accepted practices of the water well drilling industry. However, conditions in water wells are subject to dramatic changes in short periods of time. Therefore, the data and conclusions are valid only as of the date of the test and should not be relied upon to predict either the future quantity or quality the well will produce. The company makes no warranties either expressed or implied as to future water production and expressly disclaims and excludes any liability for consequential or incidental damages arising out of the breach of any expressed or implied warranty of future water production or out of any further use of the report by the customer.

182

recent test for
old shared well

"Lower Well"



Well Drilling & Pump Service
878 El Centro Ave. Napa Ca, 94558
Office 707-255-6450
Fax 707-255-6489
Lic. #396352

SINCE 1949

WELL INSPECTION REPORT FOR:

Attn: Fidelity National Title c/o Robert Pursell Date of test: August 14th, 2013

Upon your request, we have checked the well and/or pressure system at
4020 Silverado Trail - Southern Parcel (Well by vineyard)

Our findings are as follows:

WELL INFORMATION

Casing Size: 6" pvc well casing F480
Static Water Level: 67' from top of well casing at time of test
Well Depth: 327' Draw down during test: 132' from top of well casing
Total water draw down level at end of flow test: 65'
How tested: Open discharge using existing pumping equipment in well
Well yield after test: 10 gallons per minute after 4 hours @ 132'
Well comments: Well was completed 04-10-2001 and estimated to yield 15 gpm.

WELL EQUIPMENT INFORMATION

Pump Make: Grundfos HP 1 1/2 Pump Setting: 315'
Type: Submersible Voltage: 230 Pipe Size: 1 1/4" galvanized
Pump Model: 10S15-21 Phase: 1 Wire Size: submersible pump cable #8-3/ wg
Pressure tank: Amtrol W.X.T. 302 85 gallon (Installed 06-19-2002) Tested ok
Comments: Well pump installed in 05-15-2001. Well pump equipped with a Pump Tec
plus to protect equipment from dry run. Manufacturer date code on control box and Pump
Tec are 2007.

WELL TEST INFORMATION

<u>TIME:</u>	<u>WATER LEVEL:</u>	<u>GPM:</u>	<u>COLOR:</u>	<u>PUMP AMPS</u>
12:15p.m.	67'	14	clear	9.8
12:25	94'	14	clear	9.8
12:35	109'	14	clear	9.8
12:45	117'	14	clear	9.8
12:55	124'	14	clear	9.7
01:00 Reduce flow to stabilize pumping level.				
01:05	130'	12	clear	10.2
01:10 Reduce flow to stabilize pumping level.				
01:15	130'	11	clear	10.3
01:20 Reduce flow to stabilize pumping level.				
01:25	131'	10	clear	10.3
04:15	132'	10	clear	10.4

Page #2 for 4020 Silverado Trail flow test and inspection

10 gallons per minute is the final well yield after 4 hours of continuous pumping. All measurements were taken to the top of wellhead using an electronic water level indicator 1-1/10th of an inch measurement.

FILTRATION

Amiad Brushaway 2" sediment filter 130 mesh. In line by well equip met

LAB- WORK AND BACTERIAL

A home 1, 3 and Irrigation sample were drawn and delivered to the lab, please see attachment (please see Arsenic levels are elevated)

RECOMMENDATIONS

Based on the wells history at time of well construction , well was heavily and water production diminish, we do not recommend a pumping rate greater than 5-7 gallons per minute for long periods of time to keep well healthy

FINAL COMMENTS

Please note that flow test results by McLean and Williams Inc. represents the well water yield and system condition for the time of the test only.

Thank you, *Gonzalo Salinas*

Gonzalo Salinas
McLean & Williams Inc.
Gonzalo.mwinc@sbcglobal.net

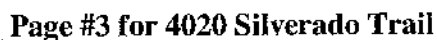
Pressure tanks

Well head

Screen filter

Well pump
control and
disconnect





Well water
production at time
of construction
15 gpm

QUADRUPPLICATE
For Local Requirements

STATE OF CALIFORNIA
WELL COMPLETION REPORT

Refer to Instruction Pamphlet

Page of

Owner's Well No.

Date Work Began 4/6/01, Ended 4/10/01

Local Permit Agency Napa

Permit No. 96-11750

Permit Date 2/23/01

No. **813797**

DWR USE ONLY

"Lower Well"

STATE WELL NO./STATION NO.

LATITUDE

LONGITUDE

APN/TRS/OTHER

GEOLOGIC LOG

WELL OWNER

ORIENTATION () ☒ VERTICAL ☐ HORIZONTAL ☐ ANGLE (SPECIFY)
DRILLING METHOD air FLUID foam

Name
Mailing Address

DEPTH FROM SURFACE
Fl. to Fl.

DESCRIPTION

Describe material, grain size, color, etc.

CITY STATE ZIP

Address 4020 Silverado Trail

City Calistoga

County Napa

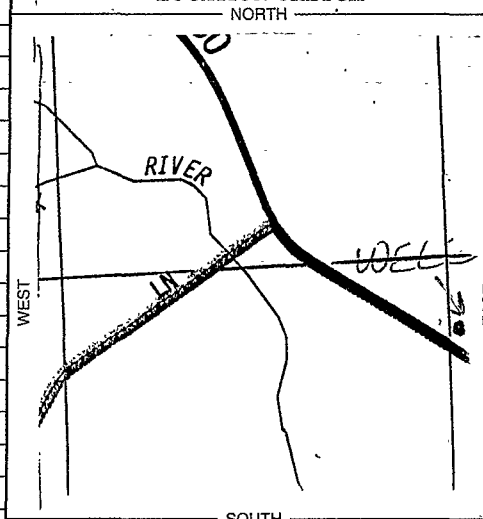
APN Book 21 Page 010 Parcel 34

Township Range Section

Latitude NORTH Longitude WEST

LOCATION SKETCH

ACTIVITY ()



☒ NEW WELL

MODIFICATION/REPAIR

☐ Deepen
☐ Other (Specify)

DESTROY (Describe Procedures and Materials Under "GEOLOGIC LOG")

PLANNED USES ()

☒ WATER SUPPLY
☐ Domestic ☐ Public
☐ Irrigation ☐ Industrial

MONITORING ☐

TEST WELL ☐

CATHODIC PROTECTION ☐

HEAT EXCHANGE ☐

DIRECT PUSH ☐

INJECTION ☐

VAPOR EXTRACTION ☐

SPARGING ☐

REMEDIATION ☐

OTHER (SPECIFY)

Illustrate or Describe Distance of Well from Roads, Buildings, Fences, Rivers, etc. and attach a map. Use additional paper if necessary. PLEASE BE ACCURATE & COMPLETE.

WATER LEVEL & YIELD OF COMPLETED WELL

DEPTH TO FIRST WATER (Fl.) BELOW SURFACE

DEPTH OF STATIC WATER LEVEL 75 (Fl.) & DATE MEASURED 4/10/01

ESTIMATED YIELD 15 (GPM) & TEST TYPE air

TEST LENGTH 2 (Hrs.) TOTAL DRAWDOWN 300 (Fl.)

* May not be representative of a well's long-term yield.

TOTAL DEPTH OF BORING 350 (Feet)
TOTAL DEPTH OF COMPLETED WELL 340 (Feet)

DEPTH FROM SURFACE		BORE-HOLE DIA. (Inches)	CASING (S)						DEPTH FROM SURFACE		ANNULAR MATERIAL				
			TYPE (\angle)				MATERIAL / GRADE	INTERNAL DIAMETER (Inches)			'GAUGE OR WALL THICKNESS	SLOT SIZE IF ANY (Inches)	TYPE		
Ft.	to Ft.		BLANK	SCREEN	CON- DUCTOR	FILL PIPE			CE- MENT (\angle)	BEN- TONITE (\angle)			FILL (\angle)	FILTER PACK (TYPE/SIZE)	
0	24	12 1/4	X				F480	6"	200						
24	120	9 7/8	X				F480	6"	200						
120	300	"		X			F480	6"	200			X	pea gravel		
300	320	"	X				F480	6"	200						
320	340	"		X			F480	6"	200						

ATTACHMENTS ()

- ☐ Geologic Log
- ☐ Well Construction Diagram
- ☐ Geophysical Log(s)
- ☐ Soil/Water Chemical Analyses
- ☐ Other

ATTACH ADDITIONAL INFORMATION, IF IT EXISTS.

CERTIFICATION STATEMENT

I, the undersigned, certify that this report is complete and accurate to the best of my knowledge and belief.

NAME McLean & Williams, Inc.
(PERSON, FIRM, OR CORPORATION) (TYPED OR PRINTED)
878 El Centro Ave., Napa, CA 94558
ADDRESS CITY STATE ZIP
Signed DATE SIGNED 6/19/01 C-57 LICENSE NUMBER 396352
WELL DRILLER/AUTHORIZED REPRESENTATIVE

Owner's Well No. 1-2014

Date Work Began 2/21/2014, Ended 2/26/2014

Local Permit Agency Napa County Environmental Mgmt

Permit No. E14-00070 Permit Date 1/31/2014

STATE OF CALIFORNIA
WELL COMPLETION REPORT
Refer to Instruction Pamphlet

No. **e0204374**

DWR USE ONLY	
STATE W	
LATITUDE	LONGITUDE
APN/TRS/OTHER	

"Neighbor Well"
021-010-076

GEOLOGIC LOG

WELL OWNER

ORIENTATION (✓) ☒ VERTICAL ☐ HORIZONTAL ☐ ANGLE (SPECIFY)

Name Ryan Gregory

Mailing Address 1515 Fourth Street

Napa

CA 94559

CITY

STATE

ZIP

WELL LOCATION

Address 4020 Silverado Trail

City Napa CA

County Napa

APN Book 021 Page 010 Parcel 076

Township _____ Range _____ Section _____

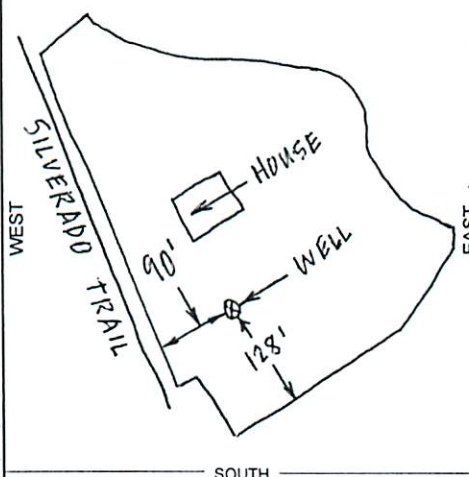
Latitude _____

DEG. MIN. SEC.

DEG. MIN. SEC.

LOCATION SKETCH

NORTH



SOUTH

Illustrate or Describe Distance of Well from Roads, Buildings, Fences, Rivers, etc. and attach a map. Use additional paper if necessary. PLEASE BE ACCURATE & COMPLETE.

ACTIVITY (✓)

☒ NEW WELL

MODIFICATION/REPAIR

☐ Deepen

☐ Other (Specify)

☐ DESTROY (Describe Procedures and Materials Under "GEOLOGIC LOG")

PLANNED USES (✓)

WATER SUPPLY

☒ Domestic ☐ Public

☐ Irrigation ☐ Industrial

MONITORING ☐

TEST WELL ☐

CATHODIC PROTECTION ☐

HEAT EXCHANGE ☐

DIRECT PUSH ☐

INJECTION ☐

VAPOR EXTRACTION ☐

SPARGING ☐

REMEDIATION ☐

OTHER (SPECIFY) _____

RECEIVED

MAY - 2 2014

Napa County Planning, Building
& Environmental Services

TOTAL DEPTH OF BORING 260 (Feet)

TOTAL DEPTH OF COMPLETED WELL 100 (Feet)

WATER LEVEL & YIELD OF COMPLETED WELL

DEPTH TO FIRST WATER 30 (Ft.) BELOW SURFACE

1

DEPTH OF STATIC WATER LEVEL 24 (Ft.) & DATE MEASURED 2/26/2014

ESTIMATED YIELD 13 (GPM) & TEST TYPE AIR LIFT

TEST LENGTH 2 (Hrs.) TOTAL DRAWDOWN N/A (Ft.)

May not be representative of a well's long-term yield.

DEPTH FROM SURFACE Fl. to Fl.	BORE-HOLE DIA. (Inches)	CASING (S)					
		TYPE (✓)			MATERIAL / GRADE	INTERNAL DIAMETER (Inches)	GAUGE OR WALL THICKNESS
		BLANK	SCREEN	CON- DUCTOR			
0 to 25	12						
25 to 260	9						
0 to 30		✓			PVC F480	5	SDR-21
30 to 80			✓		PVC F480	5	SDR-21 .032
80 to 100		✓			PVC F480	5	SDR-21

DEPTH FROM SURFACE Fl. to Fl.	ANNULAR MATERIAL			
	TYPE			
Fl. to Fl.	CE- MENT (✓)	BEN- TONITE (✓)	FILL (✓)	FILTER PACK (TYPE/SIZE)
0 to 5	✓			CONCRETE
5 to 22		✓		CHIPS
22 to 260			✓	PEA GRAVEL

ATTACHMENTS (✓)

- ☐ Geologic Log
- ☐ Well Construction Diagram
- ☐ Geophysical Log(s)
- ☐ Soil/Water Chemical Analysis
- ☐ Other

ATTACH ADDITIONAL INFORMATION, IF IT EXISTS.

CERTIFICATION STATEMENT

I, the undersigned, certify that this report is complete and accurate to the best of my knowledge and belief.

NAME HUCKFELDT WELL DRILLING, INC.

(PERSON, FIRM, OR CORPORATION) (TYPED OR PRINTED)

2110 Penny Lane

ADDRESS

Napa

CITY

CA

STATE

94559

ZIP

Signed _____

WELL DRILLER/AUTHORIZED REPRESENTATIVE

03/07/14

DATE SIGNED

439-746

C-57 LICENSE NUMBER